



## ADDENDUM

Public Building Commission of Chicago | Richard J. Daley Center | 50 West Washington Street, Room 200 | Chicago, Illinois 60602 | (312) 744-3090 | pbcchicago.com

**ADDENDUM NO.:** 03  
**PROJECT NAME:** CIP Central Hearing Facility Roof and MEP Upgrades  
**PROJECT NO.:** 04044  
**CONTRACT NO.:** C1606  
**DATE OF ISSUE:** December 29, 2023

### NOTICE OF CHANGES, MODIFICATIONS, OR CLARIFICATIONS TO CONTRACT DOCUMENTS

The following changes, modifications, or clarifications are hereby incorporated and made an integral part of the Contract Documents. Unless clearly expressed otherwise by this Addendum, all terms and conditions defined in the original Contract Documents shall continue in full force and effect and shall have the same meaning in this Addendum. Issued Addenda represent responses/clarifications to various inquiries. Contractors shall be responsible for including all associated labor/material costs in its bid. Drawings/specifications corresponding to inquiry responses will be issued with the Issue for Construction Documents, upon issuance of building permit.

**ITEM NO. 1: CHANGE TO KEY DATES**  
None.

**ITEM NO. 2: REVISIONS TO BOOK 1 – PBC INSTRUCTIONS TO BIDDERS**  
None.

**ITEM NO. 3: REVISIONS TO BOOK 2 – PBC STANDARD TERMS AND CONDITIONS**  
None.

**ITEM NO. 4: REVISIONS TO BOOK 3 – TECHNICAL SPECIFICATIONS**  
**Change 1** Book 3 – Volume 1 – **REVISED** Table of Contents to reflect revised specification(s)  
**Change 2** Book 3 – Volume 2 – **REVISED** Specification Section 07 54 19 –Polyvinyl Chloride (PVC)  
Roofing: deleted 2.9 in its entirety

**ITEM NO. 5: REVISIONS TO DRAWINGS**  
**Change 1** Drawing Index No. G-011– **REVISED** to reflect updated drawings dated 12.29.23  
**Change 2** Drawing No. ACD-101W – **REVISED** sheet to delete 1 keynote, dated 12.29.23  
**Change 3** Drawing No. ACD-102E – **REVISED** sheet to add 1 keynote, dated 12.29.23  
**Change 4** Drawing No. ARD-101 – **REVISED** Key Note 5, dated 12.29.23  
**Change 5** Drawing No. ARD-102 – **REVISED** Key Note 5, dated 12.29.23  
**Change 6** Drawing No. ARD-102A – **REVISED** Key Note 5, dated 12.29.23  
**Change 7** Drawing No. AR-101 – **REVISED** Key Notes 11, 39 and 47, dated 12.29.23  
**Change 8** Drawing No. AR-102 – **REVISED** Key Notes 11, 39 and 47; & one detail target, dated 12.29.23  
**Change 9** Drawing No. AR-102A – **REVISED** Key Notes 11, 39 and 47, dated 12.29.23  
**Change 10** Drawing No. P-000 – **REVISED** sheet to add Plumbing Piping Materials, dated 12.29.23  
**Change 11** Drawing No. PH-1 – Phasing – **REVISED** Legend and General Note 28, dated 12.29.23  
**Change 12** Drawing No. PH-2 – Phasing – **REVISED** Legend; reduced number of accessible elevators, freight elevator location highlighted, dated 12.29.23  
**Change 13** Drawing No. PH-3 – Phasing – **REVISED** Legend; reduced number of accessible elevators, dated 12.29.23  
**Change 14** Drawing No. PH-4 – Phasing – **REVISED** Legend; reduced number of accessible elevators, dated 12.29.23  
**Change 15** Drawing No. PH-5 – Phasing – **REVISED** updated title block, dated 12.29.23

**ITEM NO. 6: REQUESTS FOR INFORMATION**

**RFI-1.**

**Question:** What material staging and storage areas will be available?

**Response:** Material and equipment storage is available for the Contractor's use in the lower level basement areas. Contractor shall properly include any/all proposed material and storage requirements in its Site Utilization Plan, for review and approval. Upon approval of the Site Utilization Plan, Contractor shall properly coordinate any/all material and equipment deliveries and storage. Please refer to revised Phasing and Logistics Plan included in this addendum for additional details.

**RFI-2.**

**Question:** Where can dumpsters be placed and for how long?

**Response:** Areas for Contractor's temporary facilities are noted in the Phasing and Logistics Plan revised and included in this addendum. Specifically, Contractor's dumpsters may be located at the existing loading dock for the duration of the Project. Existing loading dock can accommodate one (1) 10CY dumpster. Other areas, including the PROW, may be for use by the Contractor. Contractor shall be responsible for coordinating and obtaining any/all required PROW closure permits. Upon approval of the Site Utilization Plan, Contractor shall properly coordinate any/all temporary facility requirements.

**RFI-3.**

**Question:** Can the public restrooms be use by construction personnel or where can temp toilets be place?

**Response:** The public restrooms will not be available for construction personnel. The Contractor shall be responsible for all Temporary facilities including and not limited to restrooms, hand washing stations, etc. Other areas, including the PROW, may be for use by the Contractor. Contractor shall be responsible for coordinating and obtaining any/all required PROW closure permits. Upon approval of the Site Utilization Plan, Contractor shall properly coordinate any/all temporary facility requirements.

**RFI-4.**

**Question:** What areas will be provided for the GC site office?

**Response:** Contractor's temporary site office area is available for the Contractor's use in the lower level basement area. Contractor shall submit its Site Utilization Plan for review and approval and access coordination prior to the commencement of any Work. Please refer to revised Phasing and Logistics Plan included in this addendum for additional details.

**RFI-5.**

**Question:** Who is the current BAS controls contractor in the building and what is the manufacture of the current system.

**Response:** Syserco is the existing BAS controls contractor for the building. The manufacturer of the BAS system is Alerton.

**RFI-6.**

**Question:** Will all FF& E be removed by the tenants or the contractor for spaces that the contractor will need access during construction.

**Response:** Contractor shall not be responsible for removing and re-locating existing FF&E items. Contractor shall be responsible for properly protecting any existing FF&E items. Prior to Contract award, a pre-installation conference will be conducted with the Contractor, building manager, AIS, and Commission. The purpose of the Conference will be to identify any/all existing FF&E items that may require removal re-location prior to the commencement of the Contractor's work. Upon completion of the Conference, Contractor shall prepare an execution plan for review and approval by the Commission. Contractor shall properly coordinate the removal/re-location of any/all existing FF&E items with the building manager.

**RFI-7.**

**Question:** During the walk thru there was mention of a phasing plan with areas where work must be completed on off hours. Can this plan be provided.

**Response:** Please refer to revised Phasing and Logistics Plan included in this addendum for areas of work to be performed during regular and after regular business hours.

**RFI-8.**

**Question:** There is plumbing shown on the drawings but no plumbing section in specifications. Please provide a specification section for plumbing.

**Response:** The project's plumbing scope is limited; therefore, the specification information is provided in the drawing notes. Please refer to the updated Plumbing Cover Sheet P-000 included in this Addendum.

**RFI-9.**

**Question:** There is mention of fireproofing in the elevator shaft can a specification be provided.

**Response:** Project scope does not include fireproofing work in the elevator shaft. The Architectural drawings sheets do call for "fire rated back boxes" at the elevators. The work, at the back boxes, is described in the Contract Documents. Please refer to Specification Sections 142200 (for the traction elevators) and Specification Sections 142500 (for the hydraulic elevator) included in the Contract Documents.

**RFI-10.**

**Question:** There is mention of waterproofing in the elevator shaft can a specification be provided.

**Response:** Project scope does not include waterproofing work in the elevator shaft. Sheet A-100 does call for injection grouting at the existing concrete cracks in the elevator shaft. Please refer to drawing sheet 1/A-100 included in the Contract Documents.

**RFI-11.**

**Question:** Spec section 075419-7 2.9 lists Hot Asphalt. Can the insulation and vapor barrier be done in hot asphalt or is this a typo? Foam adhesive is also listed.

**Response:** Specification Section 075419-7 2.9 is a typo. Section 2.9 has been deleted. The insulation and vapor barrier cannot be applied with hot asphalt. Please refer to revised Specification Section 075419 included in this Addendum.

**RFI-12.**

**Question:** Will the facility be occupied during construction?

**Response:** Yes, the facility will be occupied during construction. The Contractor shall not impact the facilities operations at any time. Please refer to revised Phasing and Logistics Plan included in this addendum for additional details.

**RFI-13.**

**Question:** Will we be allowed to access/work areas on more than one floor at a time?

**Response:** Yes, multiple areas of work at once is allowed as long as it does not impact facility operations. Contractor shall submit its Site Utilization Plan for review and approval and access coordination prior to the commencement of any Work. Upon approval of the Site Utilization Plan, Contractor shall properly coordinate any/all Work. Please refer to revised Phasing and Logistics Plan included in this addendum for additional details.

**RFI-14.**

**Question:** Will we be able to use the freight elevator to move men and materials?

**Response:** The project includes 3 elevators (freight and 2 passenger elevators). The freight elevator and passenger elevator (Car 1) is available for the Contractor's use. Passenger elevator (Car 2) is not available for the Contractor's use.

The freight elevator accesses the basement, 1st, and 2nd floors only. The freight elevator is available for the Contractor's use during the Project.

The passenger elevator (Car 1) accesses the 1st through 6th floors. The elevator is not available for the contractor's use from 8:00am to 9:30am and 4:00pm to 4:30pm daily (Monday through Friday). The elevator's capacity is 3,500lbs. Contractor shall not exceed the elevator's weight restrictions. The elevator's dimensions are 68"L x 78"W x 99"h. Contractor shall properly maintain any/all existing elevator protection at all times, including wall padding, floor protection, etc. Upon completion of the Work, Contractor shall test the elevator, as needed, to ensure proper function and operations. The elevator's service provider is Parkway Elevators.

Refer to revised Phasing & Logistics Plan 1, included in this Addendum.

The Elevator Representative's contact information is as follows:

John Posluszny  
[jp@parkwayelevators.com](mailto:jp@parkwayelevators.com)

The general contact information is:

312.374.9995 Phone  
[info@parkwayelevators.com](mailto:info@parkwayelevators.com)

**RFI-15.**

**Question:** On sheet ACD-101W there is a KN letter J at Corridor #W137. Please advise if this keynote is for the entire gypsum board ceiling area or a portion thereof, as there are no hatch lines indicating the extent.

**Response:** Keynote J on sheet ACD-101W has been revised and is included in this Addendum.

**RFI-16.**

**Question:** On sheet ACD-102E there is a hatch line around Office Room E227 without a keynote. Please advise.

**Response:** Keynote M for room E227 on sheet ACD-102E has been added and is included in this Addendum.

**RFI-17.**

**Question:** On the reflected ceiling demolition plans there are a lot of remove and salvaged for reinstallation, such as light fixtures, cameras and other electrical components and fixtures. Yet, none of this is shown on the electrical drawings to be removed or reinstalled, especially in the gypsum board ceilings, that are being removed. Please advise on how this is to be quantified or addressed by the electrical subs.

**Response:** The work to be performed is reflected on the ACD and AC series of the Reflected Ceiling Plans.

This Addendum includes the following attached Specifications and/or Documents:

1. Specification Section 00 01 00 – Table of Contents
2. Specification Section 07 54 19 – Polyvinyl Chloride (PVC)

This Addendum includes the following attached Drawings:

1. DRAWING INDEX NO. G-011, dated 12.29.23
2. ACD-101W – FIRST FLOOR WEST REFLECTED CEILING DEMOLITION PLAN, dated 12/29/23
3. ACD-102E – SECOND FLOOR EAST REFLECTED CEILING DEMOLITION PLAN, dated 12/29/23
4. ARD-101 – WEST ROOF DEMOLITION PLAN, dated 12/29/23
5. ARD-102 – FOURTH & SIXTH FLOOR ROOF DEMOTION PLANS BASE BID, dated 12/29/23
6. ARD-102A – FOURTH & SIXTH FLOOR ROOF DEMOTION PLANS ALTERNATE 1 & 2, dated 12/29/23
7. AR-101 – WEST ROOF CONSTRUCTION PLAN, dated 12/29/23
8. AR-102 – FOURTH & SIXTH FLOOR ROOF CONSTRUCTION PLAN BASE BID, dated 12/29/23
9. AR-102A – FOURTH & SIXTH FLOOR ROOF CONSTRUCTION PLAN BASE BID, dated 12/29/23
10. P-000 – PLUMBING COVER SHEET, dated 12/29/23
11. PH-1 – PHASING & LOGISTICS PLAN 1, dated 12.29.23
12. PH-2 – PHASING & LOGISTICS PLAN 2, dated 12.29.23
13. PH-3 – PHASING & LOGISTICS PLAN 3, dated 12.29.23
14. PH-4 – PHASING & LOGISTICS PLAN 4, dated 12.29.23
15. PH-5 – PHASING & LOGISTICS PLAN 5, dated 12.29.23

**END OF ADDENDUM NO. 03**

**SECTION 00 01 02**

**TABLE OF CONTENTS – BOOK 3, PART 1**

**DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS - PER PBC**

00 01 00 SUPPLEMENTAL PROJECT INFORMATION ..... 00 01 00-1-1

**DIVISION 01 - GENERAL REQUIREMENTS**

01 23 00 ALTERNATES ..... 01 23 00 1-2  
01 25 00 SUBSTITUTION PROCEDURES ..... 01 25 00-1-2  
01 50 03 TEMPORARY FACILITIES AND CONTROLS – RENOVATION ..... 01 50 03-1-9  
01 56 11 GENERAL DUST, FUME AND ODOR CONTROLS (by Verde 2) ..... 01 56 11-1-5  
01 60 00 PRODUCT REQUIREMENTS ..... 01 60 00 -1-5  
01 62 10 PRE-CONSTRUCTION PROJECT MOCK-UP ..... 01 62 10-1-2  
01 70 00 EXECUTION REQUIREMENTS ..... 01 70 00-1-11  
01 73 29 CUTTING AND PATCHING ..... 01 73 29-1-5  
01 78 23.1 OPERATIONS & MAINTENANCE DATA – COMMISSIONING ..... 01 78 23.1-1-5  
01 79 00 DEMONSTRATION AND TRAINING ..... 01 79 00-1-4  
01 79 00.1 DEMONSTRATION AND TRAINING – COMMISSIONING ..... 01 79 00.1-1-5  
01 91 00 GENERAL COMMISSIONING (Cx) REQUIREMENTS ..... 01 91 00-1-10

**DIVISION 02 - EXISTING CONDITIONS**

02 24 00 ENVIRONMENTAL SURVEY AND SCOPE (by Verde 2) ..... 02 24 00  
02 82 15 ASBESTOS ABATEMENT - EXTERIORS (by Verde 2) ..... 02 82 15-1-11  
02 82 19 LEAD BASED PAINT ABATEMENT (by Verde 2) ..... 02 82 19-1-12  
02 41 19 SELECTIVE DEMOLITION ..... 02 41 19-1-7

**DIVISION 03 – CONCRETE**

03 30 53 MISCELLANEOUS CAST-IN-PLACE CONCRETE ..... 03 30 53-1-9  
03 64 00 INJECTION GROUTING ..... 03 64 00-1-4

**DIVISION 04 - MASONRY**

04 01 10 MASONRY CLEANING ..... 04 01 10-1-11  
04 01 20.63 BRICK MASONRY REPAIR ..... 04 01 20.63-1-10  
04 01 20.64 BRICK MASONRY REPOINTING ..... 04 01 20.64-1-7  
04 22 00 CONCRETE UNIT MASONRY ..... 04 22 00-1-12

**DIVISION 05 - METALS**

05 50 00 METAL FABRICATIONS ..... 05 50 00-1-9  
05 52 13 PIPE AND TUBE RAILINGS ..... 05 52 13-1-3

**DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES**

06 10 53 MISCELLANEOUS ROUGH CARPENTRY ..... 06 10 53–1-6  
06 15 16 WOOD ROOF DECKING ..... 06 15 16-1-4  
06 20 23 FINISH CARPENTRY ..... 06 20 23-1-8

**TABLE OF CONTENTS – BOOK 3, PART 1 (CONTINUED)**

**DIVISION 07 - THERMAL AND MOISTURE PROTECTION**

07 01 50.19	PREPARATION FOR RE-ROOFING.....	07 01 50.19-1-5
07 01 50.61	ROOF DECK REPAIR .....	07 01 50.61-1-5
07 01 50.65	ROOF PATCHING .....	07 01 50.65-1-3
07 54 19	POLYVINYL-CHLORIDE(PVC) ROOFING .....	07 54 19-1-13
07 71 00	ROOF SPECIALTIES.....	07 71 00-1-13
07 72 00	ROOF ACCESSORIES.....	07 72 00-1-11
07 84 00	FIRESTOPPING .....	07 84 00-1-6
07 92 00	JOINT SEALANTS.....	07 92 00-1-7

**DIVISION 08 - OPENINGS**

08 11 13	HOLLOW METAL DOORS AND FRAMES.....	08 11 13-1-5
08 14 16	FLUSH WOOD DOORS .....	08 14 16-1-4
08 71 00	DOOR HARDWARE .....	08 71 00-1-12
08 71 00.01	DOOR HARDWARE SCHEDULE.....	08 71 00.01-3

**DIVISION 09 - FINISHES**

09 21 16	GYPSUM BOARD ASSEMBLIES.....	09 21 16-1-7
09 22 16	NON-STRUCTURAL METAL FRAMING .....	09 22 16-1-5
09 51 13	ACOUSTICAL PANEL CEILING.....	09 51 13-1-9
09 65 00	RESILIENT FLOORING.....	09 65 00-1-5
09 91 03	SURFACE PREPARATION FOR RENOVATION PAINTING .....	09 91 03-1-7
09 91 05	RENOVATION PAINTING .....	09 91 05-1-6
09 91 13	EXTERIOR PAINTING.....	09 91 13-1-9
09 91 23	INTERIOR PAINTING.....	09 91 23-1-12

**DIVISION 10 – SPECIALTIES – NOT USED**

**DIVISION 11 – EQUIPMENT – NOT USED**

**DIVISION 12 – FURNISHINGS – NOT USED**

**DIVISION 13 - SPECIAL CONSTRUCTION – NOT USED**

**DIVISION 14 - CONVEYING EQUIPMENT**

14 22 00	TRACTION PASSENGER ELEVATORS.....	14 22 00-1-4
14 25 00	HYDRAULIC SERVICE ELEVATORS.....	14 25 00-1-4

**DIVISION 17 – INTEGRATED AUTOMATION SYSTEM**

17800	- GLOBAL BUILDING MANAGEMENT SYSTEM.....	17800-1-19
17815	- CONTRACTOR QUALIFICATIONS AND SUBMITTALS .....	17815-1-7
17825	- CONTRACTOR SUMMARY OF WORK.....	17825-1-6
17830	- FIELD LEVEL CONTROLLERS, DEVICES, AND I/O COMPONENTS .....	17830-1-6
17840	- FIELD PANELS.....	17840-1-8
17855	- BUILDING MANAGEMENT SYSTEM .....	17855-1-5
17865	- GRAPHICS AND POINT NAMING STANDARDS.....	17865-1-45
17875	- BUILDING MANAGEMENT SYSTEM COMMISSIONING .....	17875-1-10
17885	- CONTRACTOR TRAINING .....	17885-1-4

**TABLE OF CONTENTS – BOOK 3, PART 1 (CONTINUED)**

**DIVISION 21 - FIRE SUPPRESSION**

211300 – FIRE SUPPRESSION SYSTEMS..... 211300-1-05

**DIVISION 22 – PLUMBING – NOT USED**

**DIVISION 23 - HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)**

230500 - BASIC HVAC REQUIREMENTS ..... 230500-1-14  
230505 - HVAC DEMOLITION FOR REMODELING ..... 230505-1-4  
230513 - MOTORS ..... 230513-1-4  
230529 - HVAC SUPPORTS AND ANCHORS ..... 230529-1-9  
230548 - HVAC VIBRATION ISOLATION ..... 230548-1-7  
230553 - HVAC IDENTIFICATION ..... 230553-1-4  
230593 - TESTING, ADJUSTING, AND BALANCING ..... 230593-1-11  
230713 - DUCTWORK INSULATION ..... 230713-1-5  
230716 - HVAC EQUIPMENT INSULATION ..... 230716-1-3  
230719 - HVAC PIPING INSULATION ..... 230719-1-7  
230900 - CONTROLS ..... 230900-1-27  
230913 - INSTRUMENTATION ..... 230913-1-3  
232100 - HYDRONIC PIPING ..... 232100-1-13  
232116 - HYDRONIC SPECIALTIES ..... 232116-1-6  
232123 - HVAC PUMPS ..... 232123-1-3  
232300 - REFRIGERATION PIPING AND SPECIALTIES ..... 232300-1-5  
232500 - CHEMICAL (WATER) TREATMENT ..... 232500-1-3  
233100 - DUCTWORK ..... 233100-1-13  
233300 - DUCTWORK ACCESSORIES ..... 233300-1-5  
233413 AXIAL FANS ..... 233413-1-3  
233423 - POWER VENTILATORS ..... 233423-1-4  
233600 – AIR TERMINAL UNITS ..... 233600-1-4  
233700 – AIR INLETS AND OUTLETS ..... 233700-1-6  
236430 – AIR COOLED WATER CHILLERS ..... 236430-1-7  
233713 – INDOOR MODULAR AIR HANDLERS ..... 237313-1-7  
238121 – COMPUTER ROOM AIR CONDITIONING UNITS..... 238121-1-4

**DIVISION 26 – ELECTRICAL**

260500 – BASIC ELECTRICAL REQUIREMENTS ..... 260500-1-19  
260505- - ELECTRICAL DEMOLITION FOR REMODELING ..... 260505-1-3  
260513 – WIRE AND CABLE ..... 260513-1-5  
260517- ELECTRIC HEAT TRACE AND SNOW MELT ..... 260517-1-3  
260526 – GROUNDING AND BONDING ..... 260526-1-4  
260527 – SUPPORTING DEVICES ..... 260527-1-4  
260533 – CONDUIT AND BOXES ..... 260533-1-14  
260535- SURFACE RACEWAYS ..... 260535-1-2  
260553 – ELECTRICAL IDENTIFICATION ..... 260553-1-7  
262816 – DISCONNECT SWITCHES ..... 262816-1-2  
262923 – VARIABLE FREQUENCY DRIVES ..... 262923-1-14

**DIVISION 27 - COMMUNICATIONS – NOT USED**

**TABLE OF CONTENTS – BOOK 3, PART 1 (CONTINUED)**

**DIVISION 28 - ELECTRONIC SAFETY AND SECURITY – NOT USED**

**DIVISION 31 – EARTHWORK – NOT USED**

**DIVISION 32 - EXTERIOR IMPROVEMENTS – NOT USED**

**DIVISION 33 – UTILITIES – NOT USED**

ATTACHMENT A- Roofing Survey and Evaluation at Chicago Central Heating Facility – 400 West. Superior Street, Chicago IL” prepared by IRCA and dated April 18, 2022.

ATTACHMENT B – Section “B.4 – Fire Escape” of RADA Architects Team’s Facility Assessment.

**END OF SECTION**



**SECTION 07 54 19 – POLYVINYL  
CHLORIDE (PVC) ROOFING**

**PART 1 - GENERAL**

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
  - 1. Adhered polyvinyl chloride (PVC) roofing system.
- B. Related Requirements:
  - 1. Section 06 10 53 "Miscellaneous Rough Carpentry" for wood nailers, curbs, and blocking; and for wood-based, structural-use roof deck panels.
  - 2. Section 07 21 00 "Thermal Insulation" for insulation beneath the roof deck.
  - 3. Section 07 62 00 "Sheet Metal Flashing and Trim" for metal roof flashings and counterflashing's.
  - 4. Section 07 71 00 "Roof Specialties" for premanufactured copings and roof edge flashings.

1.3 DEFINITIONS

- A. Roofing Terminology: Definitions in ASTM D1079 and glossary in NRCA's "The NRCA Roofing Manual: Membrane Roof Systems" apply to work of this Section.

1.4 PREINSTALLATION MEETINGS

- A. Preliminary Roofing Conference: Before starting roof deck construction, conduct conference at Project site.
  - 1. Meet with Owner, Architect, Owner's insurer if applicable, testing and inspecting agency representative, roofing Installer, roofing system manufacturer's representative, deck Installer, air barrier Installer, and installers whose work interfaces with or affects roofing, including installers of roof accessories and roof-mounted equipment.
  - 2. Review methods and procedures related to roofing installation, including manufacturer's written instructions.
  - 3. Review and finalize construction schedule, and verify availability of materials, Installer's personnel, equipment, and facilities needed to make progress and avoid delays.
  - 4. Review deck substrate requirements for conditions and finishes, including flatness and fastening.
  - 5. Review structural loading limitations of roof deck during and after roofing.
  - 6. Review base flashings, special roofing details, roof drainage, roof penetrations, equipment curbs, and condition of other construction that affects roofing system.
  - 7. Review governing regulations and requirements for insurance and certificates if applicable.

8. Review temporary protection requirements for roofing system during and after installation.
9. Review roof observation and repair procedures after roofing installation.

#### 1.5 ACTION SUBMITTALS

- A. Product Data: For each type of product.
  1. For insulation and roof system component fasteners, include copy of FM Approvals' RoofNav listing.
- B. Shop Drawings: Include roof plans, sections, details, and attachments to other work, including the following:
  1. Layout and thickness of insulation.
  2. Base flashings and membrane terminations.
  3. Flashing details at penetrations.
  4. Tapered insulation thickness and slopes.
  5. Roof plan showing orientation of steel roof deck and orientation of roof membrane..
  6. Insulation fastening patterns for corner, perimeter, and field-of-roof locations.
  7. Tie-in with air barrier.
- C. Samples for Verification: For the following products:
  1. Roof membrane and flashing, of color required.
  2. Walkway pads or rolls, of color required.
- D. Wind Uplift Resistance Submittal: For roofing system, indicating compliance with wind uplift performance requirements.

#### 1.6 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For Installer and manufacturer.
- B. Manufacturer Certificates:
  1. Performance Requirement Certificate: Signed by roof membrane manufacturer, certifying that roofing system complies with requirements specified in "Performance Requirements" Article.
    - a. Submit evidence of compliance with performance requirements.
  2. Special Warranty Certificate: Signed by roof membrane manufacturer, certifying that all materials supplied under this Section are acceptable for special warranty.
- C. Product Test Reports: For roof membrane and insulation, tests performed by independent qualified testing agency indicating compliance with specified requirements.
- D. Evaluation Reports: For components of roofing system, from ICC-ES.
- E. Field Test Reports:
  1. Concrete internal relative humidity test reports.
  2. Fastener-pullout test results and manufacturer's revised requirements for fastener patterns.
- F. Field quality-control reports.
- G. Sample Warranties: For manufacturer's special warranties.

1.7 CLOSEOUT SUBMITTALS

- A. Maintenance Data: For roofing system to include in maintenance manuals.
- B. Certified statement from existing roof membrane manufacturer stating that existing roof warranty has not been affected by Work performed under this Section.

1.8 QUALITY ASSURANCE

- A. Manufacturer Qualifications: A qualified manufacturer that is listed in SPRI's Directory of Roof Assemblies for roofing system identical to that used for this Project.
- B. Installer Qualifications: A qualified firm that is approved, authorized, or licensed by roofing system manufacturer to install manufacturer's product and that is eligible to receive manufacturer's special warranty.

1.9 DELIVERY, STORAGE, AND HANDLING

- A. Deliver roofing materials to Project site in original containers with seals unbroken and labeled with manufacturer's name, product brand name and type, date of manufacture, approval or listing agency markings, and directions for storing and mixing with other components.
- B. Store liquid materials in their original undamaged containers in a clean, dry, protected location and within the temperature range required by roofing system manufacturer. Protect stored liquid material from direct sunlight.
  - 1. Discard and legally dispose of liquid material that cannot be applied within its stated shelf life.
- C. Protect roof insulation materials from physical damage and from deterioration by sunlight, moisture, soiling, and other sources. Store in a dry location. Comply with insulation manufacturer's written instructions for handling, storing, and protecting during installation.
- D. Handle and store roofing materials, and place equipment in a manner to avoid permanent deflection of deck.

1.10 FIELD CONDITIONS

- A. Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit roofing system to be installed according to manufacturer's written instructions and warranty requirements.

1.11 WARRANTY

- A. Special Warranty: Manufacturer agrees to repair or replace components of roofing system that fail in materials or workmanship within specified warranty period.
  - 1. Special warranty includes roof membrane, base flashings, roof insulation, fasteners, cover boards, substrate board, roof pavers, and other components of roofing system.
  - 2. Warranty Period: 20 years from date of Substantial Completion.
- B. Special Project Warranty: Submit roofing Installer's warranty, on warranty form at end of this Section, signed by Installer, covering the Work of this Section, including all components of

roofing system such as roof membrane, base flashing, roof insulation, fasteners, cover boards, substrate boards, vapor retarders, roof pavers, and walkway products, for the following warranty period:

1. Warranty Period: Two years from date of Substantial Completion.

## PART 2 - PRODUCTS

### 2.1 PERFORMANCE REQUIREMENTS

- A. General Performance: Installed roofing and base flashings shall withstand specified uplift pressures, thermally induced movement, and exposure to weather without failure due to defective manufacture, fabrication, installation, or other defects in construction. Roof system and flashings shall remain watertight.
  1. Accelerated Weathering: Roof membrane shall withstand 2000 hours of exposure when tested according to ASTM G152, ASTM G154, or ASTM G155.
  2. Impact Resistance: Roof membrane shall resist impact damage when tested according to ASTM D3746, ASTM D4272/D4272M, or the "Resistance to Foot Traffic Test" in FM Approvals 4470.
- B. Material Compatibility: Roofing materials shall be compatible with one another and adjacent materials under conditions of service and application required, as demonstrated by roof membrane manufacturer based on testing and field experience.
- C. Wind Uplift Resistance: Design roofing system to resist the following wind uplift pressures when tested according to FM Approvals 4474, UL 580, or UL 1897:
  1. Zone 1 (Roof Area Field): **12.6 lbf/sq. ft.**
  2. Zone 2 (Roof Area Perimeter): **24.4 lbf/sq. ft.**
    - a. Location: From roof edge to 10 feet. inside roof edge.
  3. Zone 3 (Roof Area Corners): **36.8 lbf/sq. ft.**
    - a. Location: 10 feet in each direction from building corner.
- D. FM Approvals' RoofNav Listing: Roof membrane, base flashings, and component materials shall comply with requirements in FM Approvals 4450 or FM Approvals 4470 as part of a roofing system, and shall be listed in FM Approvals' RoofNav for Class 1 or noncombustible construction, as applicable. Identify materials with FM Approvals Certification markings.
  1. Fire/Windstorm Classification: Class 1A-90.
  2. Hail-Resistance Rating: FM Global Property Loss Prevention Data Sheet 1-34 MH.
- E. SPRI's Directory of Roof Assemblies Listing: Roof membrane, base flashings, and component materials shall comply with requirements in FM Approvals 4450 or FM Approvals 4470 as part of a roofing system and shall be listed in SPRI's Directory of Roof Assemblies for roof assembly identical for that specified for this Project.
  1. Wind Uplift Load Capacity: 90 psf.
- F. Energy Performance: Roofing system shall have an initial solar reflectance of not less than 0.75 when tested according to CRRC-1.
- G. Exterior Fire-Test Exposure: ASTM E108 or UL 790, Class A; for application and roof slopes indicated; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.
- H. Fire-Resistance Ratings: Comply with fire-resistance-rated assembly designs indicated. Identify products with appropriate markings of applicable testing agency.

## 2.2 POLYVINYL CHLORIDE (PVC) ROOFING

- A. PVC Sheet: ASTM D4434/D4434M, Type III, fabric reinforced and fabric backed.
  - 1.
  - 2. CARLISLE Sure-Flex
  - 3. DURO-LAST Duro-Last
  - 4. GAF EverGuard
  - 5. MANVILLE JM PVC
  - 6. SARNAFIL Sarnafil
- B. Membrane Thickness: 60 mils (1.5 mm).
- C. Exposed Face Color: White.

## 2.3 AUXILIARY ROOFING MATERIALS

- A. General: Auxiliary materials recommended by roofing system manufacturer for intended use and compatible with other roofing components.
  - 1. Adhesives and Sealants: Comply with VOC limits of authorities having jurisdiction.
- B. Sheet Flashing: Manufacturer's standard sheet flashing of same material, type, reinforcement, thickness, and color as PVC sheet.
- C. Prefabricated Pipe Flashings: As recommended by roof membrane manufacturer.
- D. Bonding Adhesive: Manufacturer's standard.
- E. Water-Based, Fabric-Backed Membrane Adhesive: Roofing system manufacturer's standard water-based, cold-applied adhesive formulated for compatibility and use with fabric-backed membrane roofing.
- F. Metal Termination Bars: Manufacturer's standard, predrilled stainless steel or aluminum bars, approximately 1 by 1/8 inch (25 by 3 mm) thick; with anchors.
- G. Fasteners: Factory-coated steel fasteners and metal or plastic plates complying with corrosion-resistance provisions in FM Approvals 4470, designed for fastening roofing components to substrate, and acceptable to roofing system manufacturer.
- H. Miscellaneous Accessories: Provide pourable sealers, preformed cone and vent sheet flashings, preformed inside and outside corner sheet flashings, T-joint covers, lap sealants, termination reglets, and other accessories.

## 2.4 SUBSTRATE BOARDS

- A. Substrate Board: ASTM C1177/C1177M, glass-mat, water-resistant gypsum substrate or ASTM C1278/C1278M, fiber-reinforced gypsum board.
  - 1. Thickness: 1/2 inch (13 mm).
  - 2. Surface Finish: Factory primed.

## 2.5 VAPOR RETARDER

- A. Self-Adhering-Sheet Vapor Retarder: Polyethylene film laminated to layer of butyl rubber adhesive, minimum 30-mil- (0.76-mm-) total thickness; maximum permeance rating of 0.1 perm (6 ng/Pa x s x sq. m); cold applied, with slip-resisting surface and release paper backing. Provide primer when recommended by vapor retarder manufacturer.

## 2.6 ROOF INSULATION

- A. General: Preformed roof insulation boards manufactured or approved by PVC roof membrane manufacturer.
- B. Polyisocyanurate Board Insulation: ASTM C1289, with or glass-fiber mat facers.
- C. 1. Carlisle Syntec Incorporated
- D. 2. Firestone Building Products
- E. 3. John Manville; a Berkshire Hathaway Company.
- F. 4. As Approved by roofing manufacturer.
- G. Mineral Wool Insulation - Single Density: ASTM C726, Type II, Class 1, comprising monolithic fibrous material having 12.5-lb/cu. ft. (200-kg/cu. m) density.
- H. Tapered Insulation: Provide factory-tapered insulation boards.
  - 1. Material: Match roof insulation.
  - 2. Minimum Thickness: 1/4 inch (6.35 mm).
  - 3. Slope:
    - a. Roof Field: 1/4 inch per foot (1:48) unless otherwise indicated on Drawings.
    - b. Saddles and Crickets: 1/2 inch per foot (1:24) unless otherwise indicated on Drawings.

## 2.7 ROOF INSULATION

- A. General: Performed roof insulation boards manufactured or approved by PVC roof membrane manufacturer.

## 2.8 INSULATION ACCESSORIES

- A. General: Roof insulation accessories recommended by insulation manufacturer for intended use and compatibility with other roofing system components.
- B. Insulation Adhesive: Insulation manufacturer's recommended adhesive formulated to attach roof insulation to substrate or to another insulation layer as follows:
  - 1. Bead-applied, low-rise, one-component or multicomponent urethane adhesive.
  - 2. Full-spread, spray-applied, low-rise, two-component urethane adhesive.
- C. Cover Board: ASTM C208, Type II, Grade 2, gypsum-fiber insulation board, 1/2 inch (13 mm) thick.
  - 1. Thickness: 1/2 inch (13 mm).
  - 2. Surface Finish: Factory primed.

- D. Protection Mat: Woven or nonwoven polypropylene, polyolefin, or polyester fabric, water permeable and resistant to UV degradation, type and weight as recommended by roofing system manufacturer for application.

## ~~2.9 ASPHALT MATERIALS~~

~~A. Roofing Asphalt: ASTM D312/D312M, Type III or Type IV.~~

~~B. Asphalt Primer: ASTM D411/D411M.~~

## 2.10 WALKWAYS

- A. Flexible Walkways: Factory-formed, nonporous, heavy-duty, slip-resisting, surface-textured walkway rolls, approximately 72 mil (1.83mm) thick and acceptable to roofing system manufacturer.
  - 1. Size: Approximately 36 by 60 inches (914 by 1524 mm).
  - 2. Color: Contrasting with roof membrane.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements and other conditions affecting performance of the Work.
  - 1. Verify that roof openings and penetrations are in place, curbs are set and braced, and roof-drain bodies are securely clamped in place.
  - 2. Verify that wood blocking, curbs, and nailers are securely anchored to roof deck at penetrations and terminations and that nailers match thicknesses of insulation.
  - 3. Verify that surface plane flatness and fastening of steel roof deck complies with requirements in Section 05 31 00 "Steel Decking."
  - 4.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 PREPARATION

- A. Clean substrate of dust, debris, moisture, and other substances detrimental to roofing system installation according to roofing system manufacturer's written instructions. Remove sharp projections.
- B. Prevent materials from entering and clogging roof drains and conductors and from spilling or migrating onto surfaces of other construction. Remove roof-drain plugs when no work is taking place or when rain is forecast.
- C. Perform fastener-pullout tests according to roof system manufacturer's written instructions.
  - 1. Submit test result within 24 hours of performing tests.
    - a. Include manufacturer's requirements for any revision to previously submitted fastener patterns required to achieve specified wind uplift requirements.

### 3.3 INSTALLATION OF ROOFING, GENERAL

- A. Install roofing system according to roofing system manufacturer's written instructions, FM Approvals' RoofNav listed roof assembly requirements, and FM Global Property Loss Prevention Data Sheet 1-29.
- B. Complete terminations and base flashings and provide temporary seals to prevent water from entering completed sections of roofing system at end of workday or when rain is forecast. Remove and discard temporary seals before beginning work on adjoining roofing.

### 3.4 INSTALLATION OF SUBSTRATE BOARD

- A. Install substrate board with long joints in continuous straight lines, with end joints staggered not less than **24 inches (610 mm)** in adjacent rows.
  - 1. At steel roof decks, install substrate board at right angle to flutes of deck.
    - a. Locate end joints over crests of steel roof deck.
  - 2. Tightly butt substrate boards together.
  - 3. Cut substrate board to fit tight around penetrations and projections, and to fit tight to intersecting sloping roof decks.
  - 4. Fasten substrate board to top flanges of steel deck according to recommendations in FM Approvals' RoofNav listed roof assembly requirements for specified Windstorm Resistance Classification and FM Global Property Loss Prevention Data Sheet 1-29.
  - 5. Fasten substrate board to top flanges of steel deck to resist uplift pressure at corners, perimeter, and field of roof according to roofing system manufacturers' written instructions.

### 3.5 INSTALLATION OF VAPOR RETARDER

- A. Self-Adhering-Sheet Vapor Retarder: Prime substrate if required by manufacturer. Install self-adhering-sheet vapor retarder over area to receive vapor retarder, side and end lapping each sheet a minimum of **3-1/2 and 6 inches (90 and 150 mm)**, respectively.
  - 1. Extend vertically up parapet walls and projections to a minimum height equal to height of insulation and cover board.
  - 2. Seal laps by rolling.

### 3.6 INSTALLATION OF INSULATION

- A. Coordinate installing roofing system components, so insulation is not exposed to precipitation or left exposed at end of workday.
- B. Comply with roofing system and insulation manufacturer's written instructions for installing roof insulation.
- C. Installation Over Wood Decking:
  - 1. Install base layer of insulation with joints staggered not less than **24 inches (610 mm)** in adjacent rows end joints staggered not less than **12 inches (305 mm)** in adjacent rows.
    - a. Trim insulation neatly to fit around penetrations and projections, and to fit tight to intersecting sloping roof decks.
    - b. Make joints between adjacent insulation boards not more than **1/4 inch (6 mm)** in width.
    - c. At internal roof drains, slope insulation to create a square drain sump with each side equal to the diameter of the drain bowl plus **24 inches (610 mm)**.



- 1) Trim insulation so that water flow is unrestricted.
    - d. Fill gaps exceeding **1/4 inch (6 mm)** with insulation.
    - e. Cut and fit insulation within **1/4 inch (6 mm)** of nailers, projections, and penetrations.
    - f. Loosely lay base layer of insulation units over substrate.
      - 1) Fasten insulation according to requirements in SPRI's Directory of Roof Assemblies for specified Wind Uplift Load Capacity.
      - 2) Fasten insulation to resist specified uplift pressure at corners, perimeter, and field of roof.
  2. Install upper layers of insulation and tapered insulation with joints of each layer offset not less than **12 inches (305 mm)** from previous layer of insulation.
    - a. Install with long joints continuous and with end joints staggered not less than **12 inches (305 mm)** in adjacent rows.
    - b. Trim insulation neatly to fit around penetrations and projections, and to fit tight to intersecting sloping roof decks.
    - c. Make joints between adjacent insulation boards not more than **1/4 inch (6 mm)** in width.
    - d. At internal roof drains, slope insulation to create a square drain sump with each side equal to the diameter of the drain bowl plus **24 inches (610 mm)**.
      - 1) Trim insulation so that water flow is unrestricted.
    - e. Fill gaps exceeding **1/4 inch (6 mm)** with insulation.
    - f. Cut and fit insulation within **1/4 inch (6 mm)** of nailers, projections, and penetrations.
    - g. Adhere each layer of insulation to substrate using adhesive according to SPRI's Directory of Roof Assemblies listed roof assembly requirements for specified Wind Uplift Load Capacity and FM Global Property Loss Prevention Data Sheet 1-29, as follows:
      - 1) Set each layer of insulation in ribbons of bead-applied insulation adhesive, firmly pressing and maintaining insulation in place.

### 3.7 INSTALLATION OF COVER BOARDS

- A. Install cover boards over insulation with long joints in continuous straight lines with end joints staggered between rows. Offset joints of insulation below a minimum of **6 inches (150 mm)** in each direction.
  1. Trim cover board neatly to fit around penetrations and projections, and to fit tight to intersecting sloping roof decks.
  2. At internal roof drains, conform to slope of drain sump.
    - a. Trim cover board so that water flow is unrestricted.
  3. Cut and fit cover board tight to nailers, projections, and penetrations.
  4. Install upper layers of insulation and tapered insulation with joints of each layer offset not less than 12 inches (305 mm) from previous layer of insulation
    - a. Adhere each layer of insulation to substrate using adhesive according to SPRI's Directory of Roof Assemblies listed roof assembly requirements for specified Wind Uplift Load Capacity and FM Global Property Loss Prevention Data Sheet 1-29, as follows:
      - b. Set each layer of insulation in ribbons of bead-applied insulation adhesive, firmly pressing and maintaining insulation in place.
    - c.

### 3.8 INSTALLATION OF ADHERED ROOF MEMBRANE

- A. Adhere roof membrane over area to receive roofing according to roofing system manufacturer's written instructions.

- B. Unroll roof membrane and allow to relax before installing.
- C. Start installation of roofing in presence of roofing system manufacturer's technical personnel Owner's testing and inspection agency.
- D. Accurately align roof membrane and maintain uniform side and end laps of minimum dimensions required by manufacturer. Stagger end laps.
- E. Bonding Adhesive: Apply to substrate and underside of roof membrane at rate required by manufacturer and allow to partially dry before installing roof membrane. Do not apply to splice area of roof membrane.
- F. Fabric-Backed Roof Membrane Adhesive: Apply to substrate at rate required by manufacturer and install fabric-backed roof membrane.
- G. In addition to adhering, mechanically fasten roof membrane securely at terminations, penetrations, and perimeter of roofing.
- H. Apply roof membrane with side laps shingled with slope of roof deck where possible.
- I. Seams: Clean seam areas, overlap roofing, and hot-air weld side and end laps of roof membrane and sheet flashings to ensure a watertight seam installation.
  - 1. Test lap edges with probe to verify seam weld continuity. Apply lap sealant to seal cut edges of roof membrane and sheet flashings.
  - 2. Verify field strength of seams a minimum of twice daily, and repair seam sample areas.
  - 3. Repair tears, voids, and lapped seams in roof membrane that do not comply with requirements.
- J. Spread sealant bed over deck-drain flange at roof drains, and securely seal roof membrane in place with clamping ring.

### 3.9 INSTALLATION OF BASE FLASHING

- A. Install sheet flashings and preformed flashing accessories, and adhere to substrates according to roofing system manufacturer's written instructions.
- B. Apply bonding adhesive to substrate and underside of sheet flashing at required rate, and allow to partially dry. Do not apply to seam area of flashing.
- C. Flash penetrations and field-formed inside and outside corners with cured sheet flashing.
- D. Clean seam areas, overlap, and firmly roll sheet flashings into the adhesive. Hot-air weld side and end laps to ensure a watertight seam installation.
- E. Terminate and seal top of sheet flashings and mechanically anchor to substrate through termination bars.

### 3.10 INSTALLATION OF WALKWAYS

- A. Flexible Walkways: Install walkway products according to manufacturer's written instructions.
  - 1. Install flexible walkways at the following locations:
    - a. Locations indicated on Drawings.
    - b. As required by roof membrane manufacturer's warranty requirements.

2. Provide 6-inch (76-mm) clearance between adjoining pads and at all membrane seams
3. Heat weld to substrate or adhere walkway products to substrate with compatible adhesive according to roofing system manufacturer's written instructions.

### 3.11 FIELD QUALITY CONTROL

- A. Testing Agency: Owner will engage a qualified testing agency to inspect substrate conditions, surface preparation, roof membrane application, sheet flashings, protection, and drainage components, and to furnish reports to Architect.
  - a. Testing agency shall prepare survey report indicating locations of initial discontinuities, if any.
  2. Testing agency shall prepare survey report indicating locations of initial discontinuities, if any.
- B. Final Roof Inspection: Arrange for roofing system manufacturer's technical personnel to inspect roofing installation on completion, in presence of owner and Architect, and to prepare inspection report.
- C. Repair or remove and replace components of roofing system where inspections indicate that they do not comply with specified requirements.
- D. Additional testing and inspecting, at Contractor's expense, will be performed to determine if replaced or additional work complies with specified requirements.

### 3.12 PROTECTING AND CLEANING

- A. Protect roofing system from damage and wear during remainder of construction period. When remaining construction does not affect or endanger roofing, inspect roofing system for deterioration and damage, describing its nature and extent in a written report, with copies to Architect and Owner.
- B. Correct deficiencies in or remove roofing system that does not comply with requirements, repair substrates, and repair or reinstall roofing system to a condition free of damage and deterioration at time of Substantial Completion and according to warranty requirements.
- C. Clean overspray and spillage from adjacent construction using cleaning agents and procedures recommended by manufacturer of affected construction.

### 3.13 ROOFING INSTALLER'S WARRANTY

- A. WHEREAS \_\_\_\_\_ of \_\_\_\_\_, herein called the "Roofing Installer," has performed roofing and associated work ("work") on the following project:
  1. Owner: <Insert name of Owner>.
  2. Address: <Insert address>.
  3. Building Name/Type: <Insert information>.
  4. Address: <Insert address>.
  5. Area of Work: <Insert information>.
  6. Acceptance Date: \_\_\_\_\_.
  7. Warranty Period: <Insert time>.
  8. Expiration Date: \_\_\_\_\_.

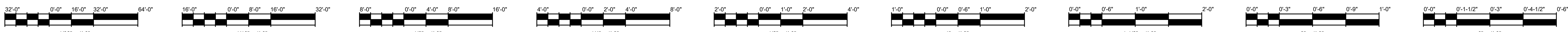
- B. AND WHEREAS Roofing Installer has contracted (either directly with Owner or indirectly as a subcontractor) to warrant said work against leaks and faulty or defective materials and workmanship for designated Warranty Period,
- C. NOW THEREFORE Roofing Installer hereby warrants, subject to terms and conditions herein set forth, that during Warranty Period Roofing Installer will, at Roofing Installer's own cost and expense, make or cause to be made such repairs to or replacements of said work as are necessary to correct faulty and defective work and as are necessary to maintain said work in a watertight condition.
- D. This Warranty is made subject to the following terms and conditions:
1. Specifically excluded from this Warranty are damages to work and other parts of the building, and to building contents, caused by:
    - a. lightning.
    - b. peak gust wind speed exceeding 120 mph (m/s)
    - c. fire.
    - d. failure of roofing system substrate, including cracking, settlement, excessive deflection, deterioration, and decomposition.
    - e. faulty construction of parapet walls, copings, chimneys, skylights, vents, equipment supports, and other edge conditions and penetrations of the work.
    - f. vapor condensation on bottom of roofing; and
    - g. activity on roofing by others, including construction contractors, maintenance personnel, other persons, and animals, whether authorized or unauthorized by Owner.
  2. When work has been damaged by any of foregoing causes, Warranty shall be null and void until such damage has been repaired by Roofing Installer and until cost and expense thereof have been paid by Owner or by another responsible party so designated.
  3. Roofing Installer is responsible for damage to work covered by this Warranty but is not liable for consequential damages to building or building contents resulting from leaks or faults or defects of work.
  4. During Warranty Period, if Owner allows alteration of work by anyone other than Roofing Installer, including cutting, patching, and maintenance in connection with penetrations, attachment of other work, and positioning of anything on roof, this Warranty shall become null and void on date of said alterations, but only to the extent said alterations affect work covered by this Warranty. If Owner engages Roofing Installer to perform said alterations, Warranty shall not become null and void unless Roofing Installer, before starting said work, shall have notified Owner in writing, showing reasonable cause for claim, that said alterations would likely damage or deteriorate work, thereby reasonably justifying a limitation or termination of this Warranty.
  5. During Warranty Period, if original use of roof is changed and it becomes used for, but was not originally specified for, a promenade, work deck, spray-cooled surface, flooded basin, or other use or service more severe than originally specified, this Warranty shall become null and void on date of said change, but only to the extent said change affects work covered by this Warranty.
  6. Owner shall promptly notify Roofing Installer of observed, known, or suspected leaks, defects, or deterioration and shall afford reasonable opportunity for Roofing Installer to inspect work and to examine evidence of such leaks, defects, or deterioration.
  7. This Warranty is recognized to be the only warranty of Roofing Installer on said work and shall not operate to restrict or cut off Owner from other remedies and resources lawfully available to Owner in cases of roofing failure. Specifically, this Warranty shall not operate to relieve Roofing Installer of responsibility for performance of original work according to requirements of the Contract Documents, regardless of whether Contract was a contract directly with Owner or a subcontract with Owner's General Contractor.

E. IN WITNESS THEREOF, this instrument has been duly executed this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

1. Authorized Signature: \_\_\_\_\_.
2. Name: \_\_\_\_\_.
3. Title: \_\_\_\_\_.

END OF SECTION 07 54 19



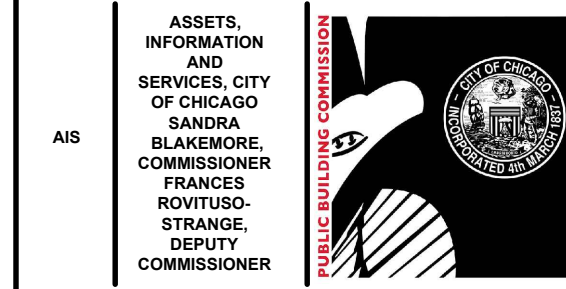
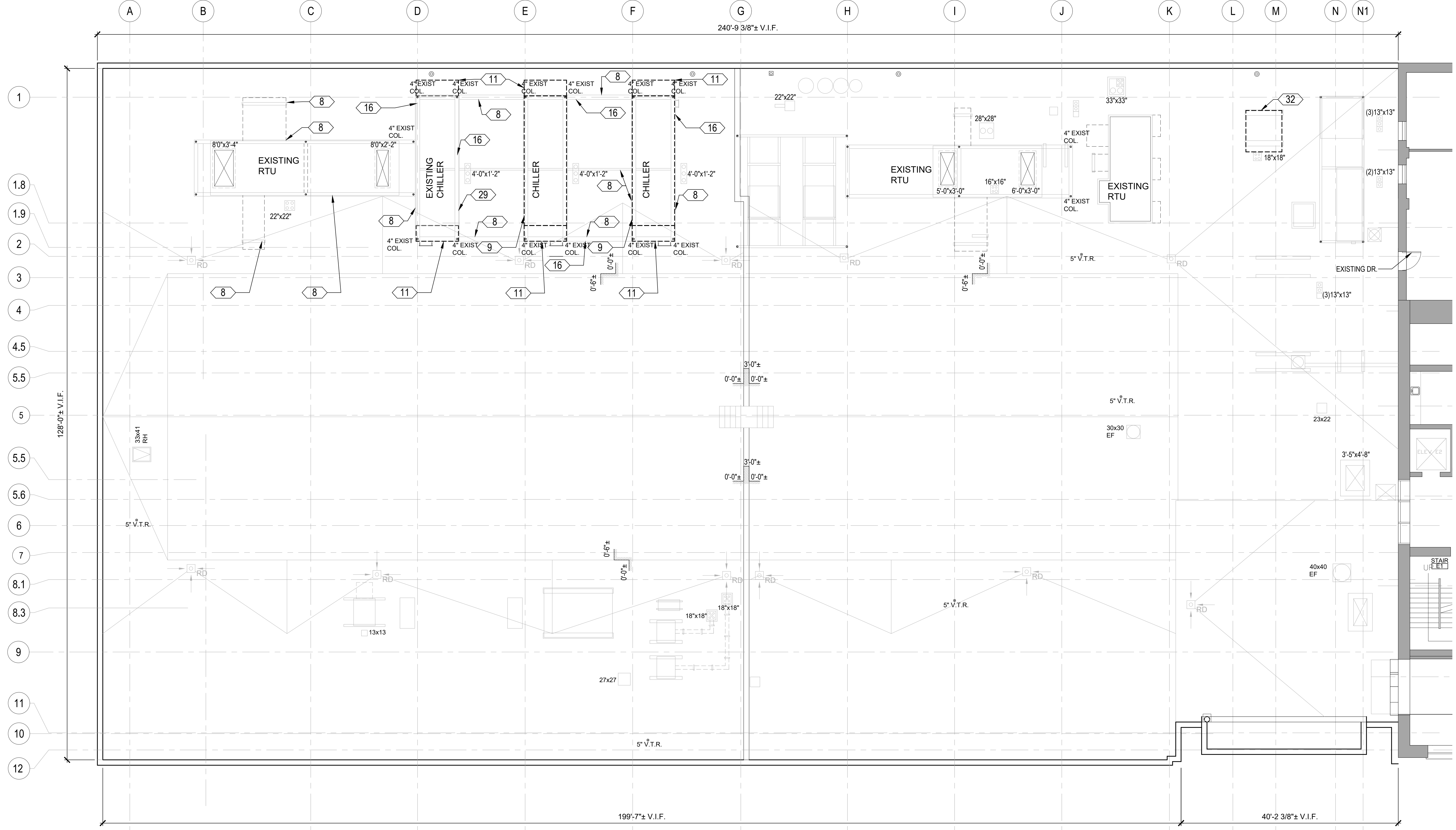
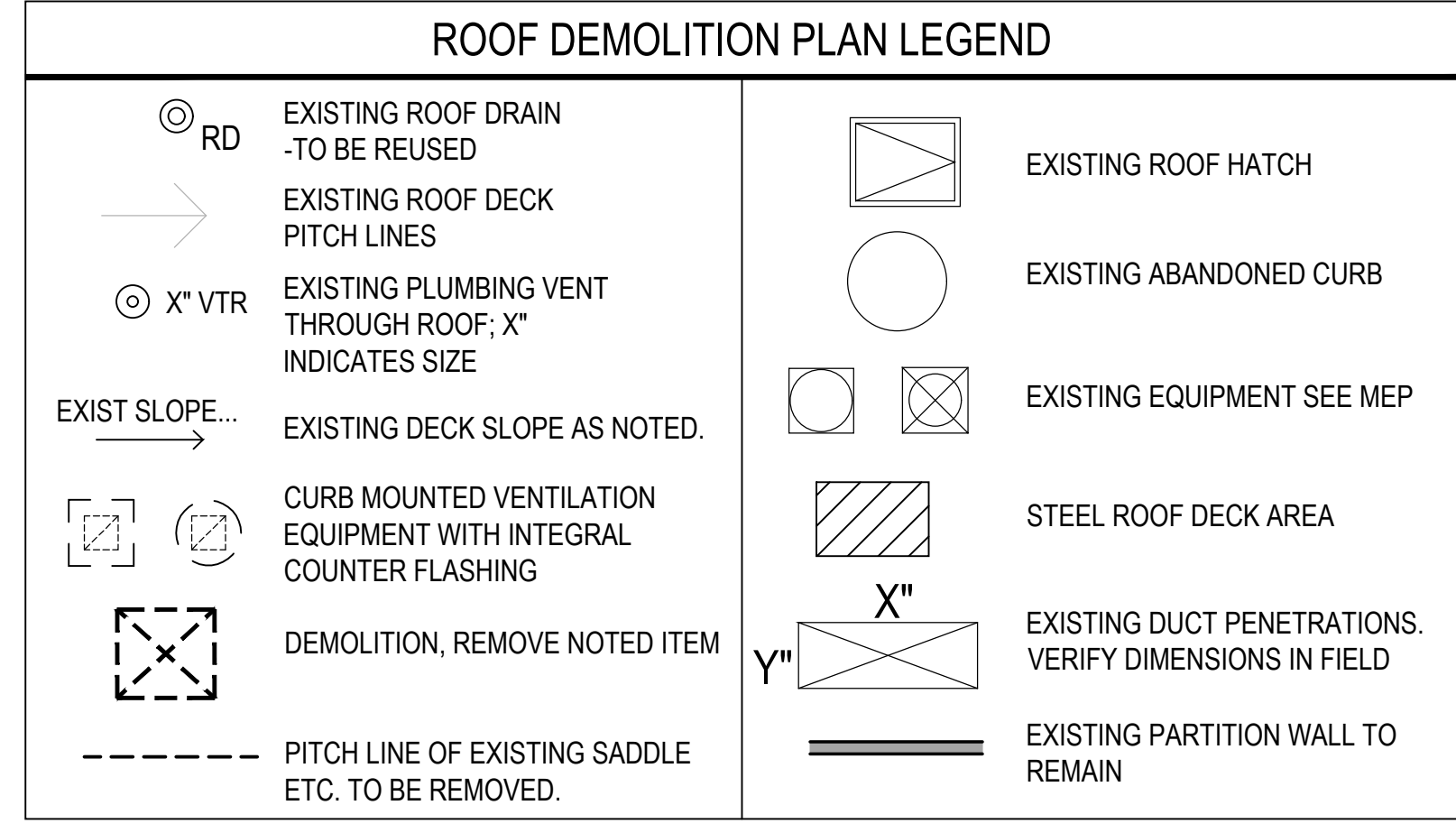


**ROOF DEMOLITION KEYNOTE LEGEND**

KEYNOTE TAG

- GENERAL NOTES:**
- ROOF AND DECK SLOPES SHOWN ARE EXISTING. CONTRACTOR SHALL VERIFY ALL SLOPES IN THE FIELD AND REPORT ANY DISCREPANCIES BACK TO THE OWNER AND DESIGN TEAM.
  - THE EXISTING ROOF DECK OVER THE 2ND FLOOR BETWEEN COLUMN LINES K, 3, 7 AND THE WEST PARAPET IS AN EXISTING WOOD DECK. THE REMAINDER IS A SLOPED METAL DECK.
  - THE EXISTING ROOF DECK OVER THE 4TH AND 6TH FLOORS ARE SLOPED WOOD DECKS.
  - DUCT PENETRATIONS SIZES ARE APPROXIMATE - V.I.F. ALLOWANCE A-11: IN ADDITION TO THE WOOD ROOF DECK REPLACEMENT SHOWN IN THE DRAWINGS, CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR 1200 SF OF WOOD DECK REPLACEMENT IN 20 LOCATIONS OF VARYING SIZES.
  - ALLOWANCE A-12: IN ADDITION TO WORK SHOWN ON THESE DRAWINGS, CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR 300 SF TOTAL OF BRICK REPLACEMENT AT 30 LOCATIONS AT PARAPETS.

- KEYNOTES:** 1/16" = 1'-0"
- EXISTING ROOF DRAIN TYP. REMOVE EXISTING DRAIN SEE PLUMBING DRAWINGS.
  - EXISTING PLUMBING VENT. REMOVE VENT FLASHING. SIZE IS AS SHOWN ON THE DRAWINGS V.I.F. SEE PLUMBING DRAWINGS.
  - REMOVE EXISTING PVC ROOFING AND APPROXIMATELY 2 1/2" OF INSULATION AND COVER BOARD. EXISTING WOOD DECK TO REMAIN.
  - REMOVE EXISTING PVC ROOFING AND APPROXIMATELY 2 1/2" OF INSULATION AND COVER BOARD. STEEL DECK TO REMAIN.
  - REMOVE EXISTING MODIFIED BITUMEN ROOFING & 1-1/2" OF INSULATION. WOOD DECK TO REMAIN.
  - REMOVE EXHAUST FAN AND CURB. SEE MECHANICAL & ELECTRICAL DRAWINGS FOR DETAILS. (" x ") INDICATES APPROXIMATE CURB SIZE. SEE 10/A-501
  - EXISTING HM DOOR & FRAME TO REMAIN
  - REMOVE EXISTING GUTTER AND DOWNSPOUTS.
  - EXISTING MECHANICAL EQUIPMENT & SUPPORT TO REMAIN.
  - EXIST. CHILLER TO BE REPLACED. SEE MEP DRAWINGS.
  - REMOVE EXISTING PIPE PENETRATION BOX. SEE MEP DRAWINGS FOR MORE INFORMATION. SIZE SHOWN ARE APPROXIMATE. V.I.F.
  - REMOVE EXISTING WOOD PLATFORM. FRAME TO REMAIN
  - REMOVE EXISTING PTD. STEEL ROOF COPING
  - REMOVE EXISTING ROOFING AND CURB AT DUCT. SEE MEP DRAWINGS.
  - EXISTING DUCT, DUCT SUPPORTS AND DUCT TO BE REMOVED. SEE MEP DRAWINGS FOR MORE INFORMATION.
  - REMOVE EXISTING DUCT SUPPORT CURB AND DUCT. SEE MEP DRAWINGS FOR MORE INFORMATION.
  - EXISTING STEEL FRAMED EQUIPMENT SUPPORT TO REMAIN. PREP, PRIME & PAINT STEEL.
  - EXISTING 30" X 30" DOOR. REMOVE SEALANT @ FRAME
  - REMOVE EXISTING POLYACRYLIC SKYLIGHT LENSES & REPLACE WITH NEW TO MATCH EXIST. SEE DETAIL 1/A-502.
  - REMOVE TERM BAR & ROOF FLASHING FROM MASONRY WALL.
  - REMOVE SPRING LOCK COUNTER FLASHING TERM BAR. AND EXISTING ROOFING FROM VERTICAL SURFACE.
  - REMOVE EXISTING GUARDRAIL.
  - REMOVE SEALANT FROM EXISTING LIMESTONE COPINGS ALL 3 SIDES OF COPING - NUMBER OF LOCATIONS OF COPING IS INDICATED ON PLAN
  - EXISTING STEEL PLATE DOOR, SCRAPE, PREP, PRIME & PAINT. DOOR IS WELDED SHUT.
  - REMOVE ABANDONED ROOF HATCH OR OTHER CAPPED OPENING. SIZE AS NOTED SEE 6/A-503 FOR DECK INFILL.
  - NOT USED
  - REMOVE DOWNSPOUT UP TO CONNECTION TO CAST IRON UNIT IN NORTH ELEVATION.
  - REMOVE EXISTING EXHAUST FAN & CURB INFILL DECK PER 6/A-503.
  - REMOVE EXISTING CHILLER TO REMAIN SEE MEP DRAWINGS FOR MORE INFORMATION.
  - EXISTING ROOFING, CURB, AND DUCT. SEE MEP DRAWINGS FOR MORE INFORMATION.
  - INFILL ROOF DECK OPENINGS SEE DETAIL 6/A-503 FOR DECK INFILL.
  - EXISTING ROOF TOP UNIT TO BE REMOVED. CURB & UTILITY BOX TO BE REUSED.
  - EXISTING EXHAUST FAN TO REMAIN
  - EXISTING PVC ROOF WITH MINIMUM OF 2-1/2" INSULATION AND COVER BOARD OVER EXISTING WOOD DECK TO REMAIN.
  - EXISTING EXHAUST FAN AND CURB TO BE REMOVED. SEE MECHANICAL DRAWINGS.
  - EXISTING STEEL PLATE DOOR, SCRAPE, PREP, PRIME & PAINT.
  - SEE SHEET ARD-102 FOR WORK AT FAN
  - SEE SHEET ARD-102 FOR DUCT REMOVAL WORK
  - SEE SHEET ARD-102 FOR DUCT REMOVAL WORK



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**

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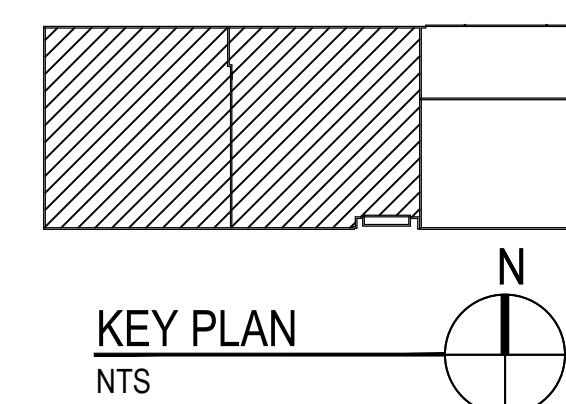
**IRCA**  
Chicago, IL  
Roofing Consultant

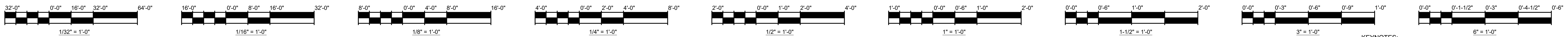
**VERDES ENVIRONMENTAL SOLUTIONS**  
Chicago, IL  
Environmental Consultant

Issuance	Mark	Description	Date
1		ISSUE FOR BID	11.29.23
2		ISSUE FOR PERMIT	11.29.23
3		ADDENDUM NO. 3	12.29.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
PBC Contract No: C1606  
Project No: 04044  
Title  
**WEST ROOF DEMOLITION PLAN**  
Sheet  
**ARD-101**

1 WEST ROOF DEMOLITION PLAN  
SCALE: 1/8"=1'-0"





ROOF DEMOLITION KEYNOTE LEGEND

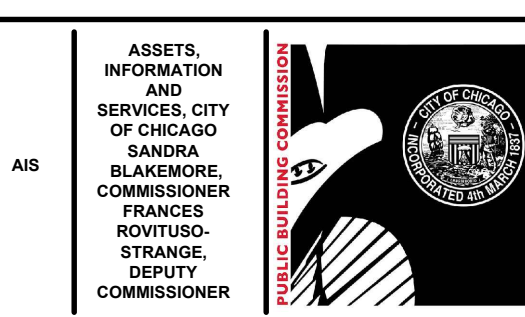
KEYNOTE TAG

GENERAL NOTES:

- A. ROOF AND DECK SLOPES SHOWN ARE EXISTING. CONTRACTOR SHALL VERIFY ALL SLOPES IN THE FIELD AND REPORT ANY DISCREPANCIES BACK TO THE OWNER AND DESIGN TEAM.
- B. THE EXISTING ROOF DECK OVER THE 2ND FLOOR, BETWEEN COLUMN LINES K, 3, 7 AND THE WEST PARAPET IS AN EXISTING WOOD DECK. THE REMAINDER IS A SLOPED METAL DECK.
- C. THE EXISTING ROOF DECK OVER THE 4TH AND 6TH FLOORS ARE SLOPED WOOD DECKS.
- D. DUCT PENETRATIONS SIZES ARE APPROXIMATE - V.I.F. ALLOWANCE A-11; IN ADDITION TO THE WOOD ROOF DECK REPLACEMENT SHOWN IN THE DRAWINGS, CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR 1200 SF OF WOOD DECK REPLACEMENT IN 20 LOCATIONS OF VARYING SIZES.
- F. ALLOWANCE A-12; IN ADDITION TO WORK SHOWN ON THESE DRAWINGS, CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR 300 SF TOTAL OF BRICK REPLACEMENT AT 30 LOCATIONS AT PARAPETS.

KEYNOTES:

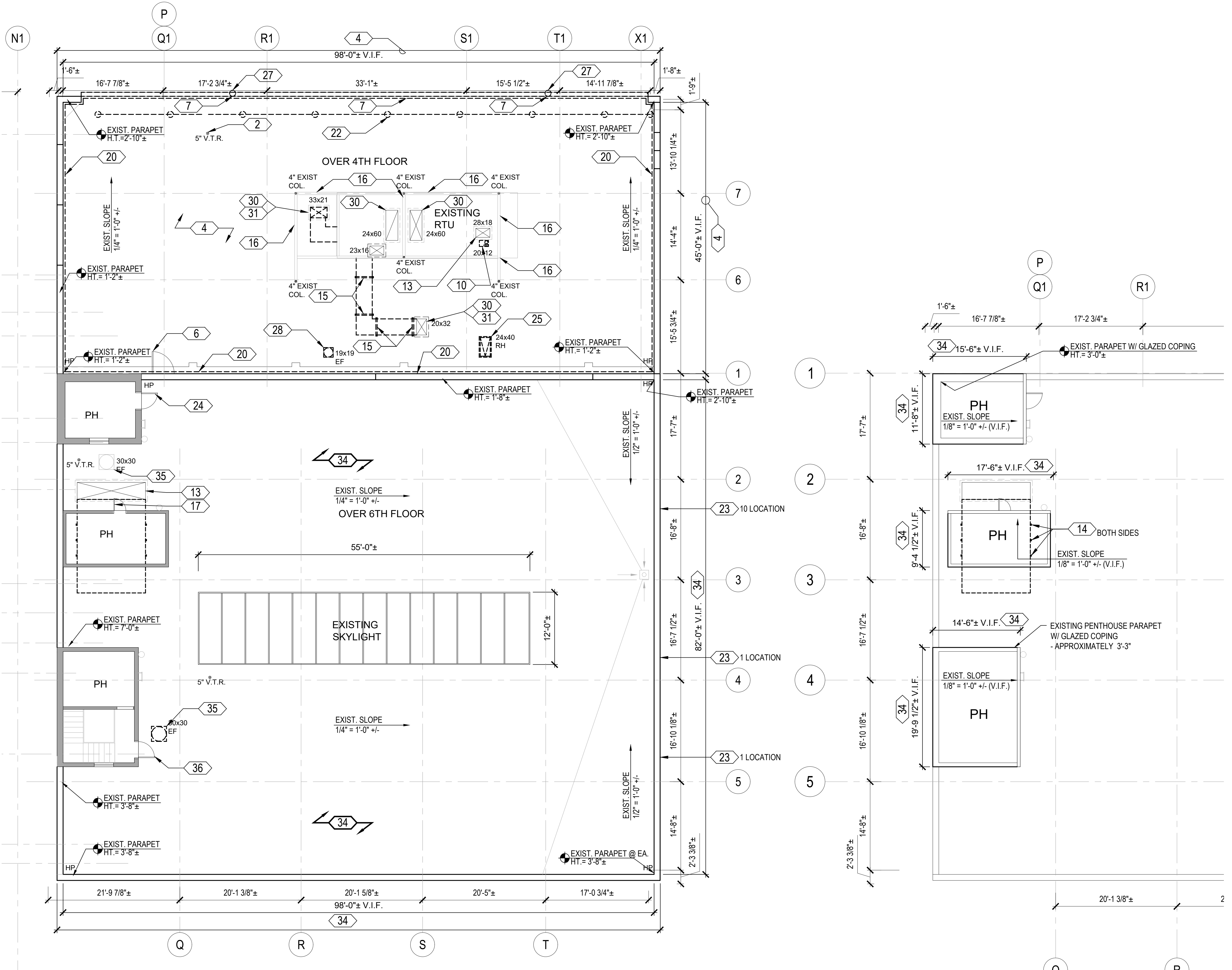
1. EXISTING ROOF DRAIN TYP. REMOVE EXISTING DRAIN. SEE PLUMBING DRAWINGS.
2. EXISTING PLUMBING VENT. REMOVE VENT FLASHING. SIZE IS AS SHOWN ON THE DRAWINGS V.I.F. SEE PLUMBING DRAWINGS.
- 3W. REMOVE EXISTING PVC ROOFING AND APPROXIMATELY 2 1/2" OF INSULATION AND COVER BOARD. EXISTING WOOD DECK, TO REMAIN.
- 3S. REMOVE EXISTING PVC ROOFING AND APPROXIMATELY 2 1/2" OF INSULATION AND COVER BOARD. STEEL DECK, TO REMAIN.
4. REMOVE EXISTING MODIFIED BITUMEN ROOFING & 1-1/2" OF INSULATION, WOOD DECK, TO REMAIN.
5. REMOVE EXHAUST FAN AND CURB. SEE MECHANICAL & ELECTRICAL DRAWINGS FOR DETAILS. ("x") INDICATES APPROXIMATE CURB SIZE. SEE 10/A-501.
6. EXISTING HM DOOR & FRAME TO REMAIN.
7. REMOVE EXISTING GUTTER AND DOWNSPOUTS.
8. EXISTING MECHANICAL EQUIPMENT & SUPPORT TO REMAIN.
9. EXIST. CHILLER TO BE REPLACED, SEE MEP DRAWINGS.
10. REMOVE EXISTING PIPE PENETRATION BOX. SEE MEP DRAWINGS FOR MORE INFORMATION. SIZE SHOWN ARE APPROXIMATE. V.I.F.
11. REMOVE EXISTING WOOD PLATFORM. FRAME TO REMAIN.
12. REMOVE EXISTING PTD. STEEL ROOF COPING.
13. REMOVE EXISTING ROOFING AND CURB AT DUCT. SEE MEP DRAWINGS.
14. EXISTING DUCT, DUCT SUPPORTS AND DUCT TO BE REMOVED. SEE MEP DRAWINGS FOR MORE INFORMATION.
15. REMOVE EXISTING DUCT SUPPORT CURB AND DUCT. SEE MEP DRAWINGS FOR MORE INFORMATION.
16. EXISTING STEEL FRAMED EQUIPMENT SUPPORT TO REMAIN. PREP. PRIME & PAINT STEEL.
17. EXISTING 30" X 30" DOOR. REMOVE SEALANT @ FRAME.
18. REMOVE EXISTING ROOFING FLASHING AND COUNTER FLASHING. CURB TO REMAIN.
19. REMOVE EXISTING POLYACRYLIC SKYLIGHT LENSES & REPLACE WITH NEW TO MATCH EXIST. SEE DETAIL 1/A-502.
20. REMOVE TERM BAR & ROOF FLASHING FROM MASONRY WALL.
21. REMOVE SPRING LOCK COUNTER FLASHING. TERM BAR, AND EXISTING ROOFING FROM VERTICAL SURFACE.
22. REMOVE EXISTING GUARDRAIL.
23. REMOVE SEALANT FROM EXISTING LESTONE COPINGS ALL 3 SIDES OF COPING - NUMBER OF LOCATIONS OF COPING IS INDICATED ON PLAN.
24. EXISTING STEEL PLATE DOOR, SCRAPE, PREP. PRIME & PAINT. DOOR IS WELDED SHUT.
25. REMOVE ABANDONED ROOF HATCH OR OTHER CAPPED OPENING, SIZE AS NOTED SEE 6/A-503 FOR DECK INFILL.
26. NOT USED.
27. REMOVE DOWNSPOUT UP TO CONNECTION TO CAST IRON UNIT IN NORTH ELEVATION.
28. REMOVE EXISTING EXHAUST FAN & CURB INFILL DECK PER 6/A-503.
29. EXISTING CHILLER TO REMAIN SEE MEP DRAWINGS FOR MORE INFORMATION.
30. REMOVE EXISTING ROOFING, CURB, AND DUCT. SEE MEP DRAWINGS FOR MORE INFORMATION.
31. INFILL ROOF DECK OPENINGS SEE DETAIL 6/A-503 FOR DECK INFILL.
32. EXISTING ROOF TOP UNIT TO BE REMOVED, CURB & UTILITY BOX TO BE REUSED.
33. EXISTING EXHAUST FAN TO REMAIN.
34. EXISTING PVC ROOF WITH MINIMUM OF 2-1/2" INSULATION AND COVER BOARD OVER EXISTING WOOD DECK TO REMAIN.
35. EXISTING EXHAUST FAN AND CURB TO BE REMOVED. SEE MECHANICAL DRAWINGS.
36. EXISTING STEEL PLATE DOOR, SCRAPE, PREP. PRIME & PAINT.
37. SEE SHEET ARD-102 FOR WORK AT FAN.
38. SEE SHEET ARD-102 FOR WORK.
39. SEE SHEET ARD-102 FOR DUCT REMOVAL WORK.



**CIP - Central Hearing Facility**  
**Roof and MEP Upgrades**  
 400 W. SUPERIOR  
 CHICAGO, IL 60654  
 PUBLIC BUILDING COMMISSION  
 CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
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**IRCA Chicago, IL**  
 Roofing Consultant  
**VERDES ENVIRONMENTAL SOLUTIONS Chicago, IL**  
 Environmental Consultant



**ROOF DEMOLITION PLAN LEGEND**

	EXISTING ROOF DRAIN - TO BE REUSED		EXISTING ROOF HATCH
	EXISTING ROOF DECK PITCH LINES		EXISTING ABANDONED CURB
	EXISTING PLUMBING VENT THROUGH ROOF; 'X' INDICATES SIZE		EXISTING EQUIPMENT SEE MEP
	EXIST. SLOPE...		STEEL ROOF DECK AREA
	EXISTING DECK SLOPE AS NOTED.		EXISTING DUCT PENETRATIONS. VERIFY DIMENSIONS IN FIELD
	CURB MOUNTED VENTILATION EQUIPMENT WITH INTEGRAL COUNTER FLASHING		EXISTING PARTITION WALL TO REMAIN
	DEMOLITION, REMOVE NOTED ITEM		
	PITCH LINE OF EXISTING SADDLE ETC. TO BE REMOVED.		

**1 FOURTH & SIXTH FLOOR ROOF DEMOLITION PLAN**  
 SCALE: 1/8"=1'-0"

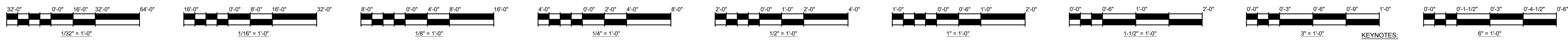
**2 PENTHOUSE ROOF DEMOLITION PLAN**  
 SCALE: 1/8"=1'-0"

Issuance

Mark	Description	Date
1	ISSUE FOR BID	11/29/23
2	ISSUE FOR PERMIT	11/29/23
3	ADDENDUM NO. 3	12/29/23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
 PBC Contract No: C1606  
 Project No.: 04044  
 Title: **FOURTH & SIXTH FLOOR ROOF DEMOLITION PLANS BASE BID**  
 Sheet: **ARD-102**





**ROOF DEMOLITION KEYNOTE LEGEND**

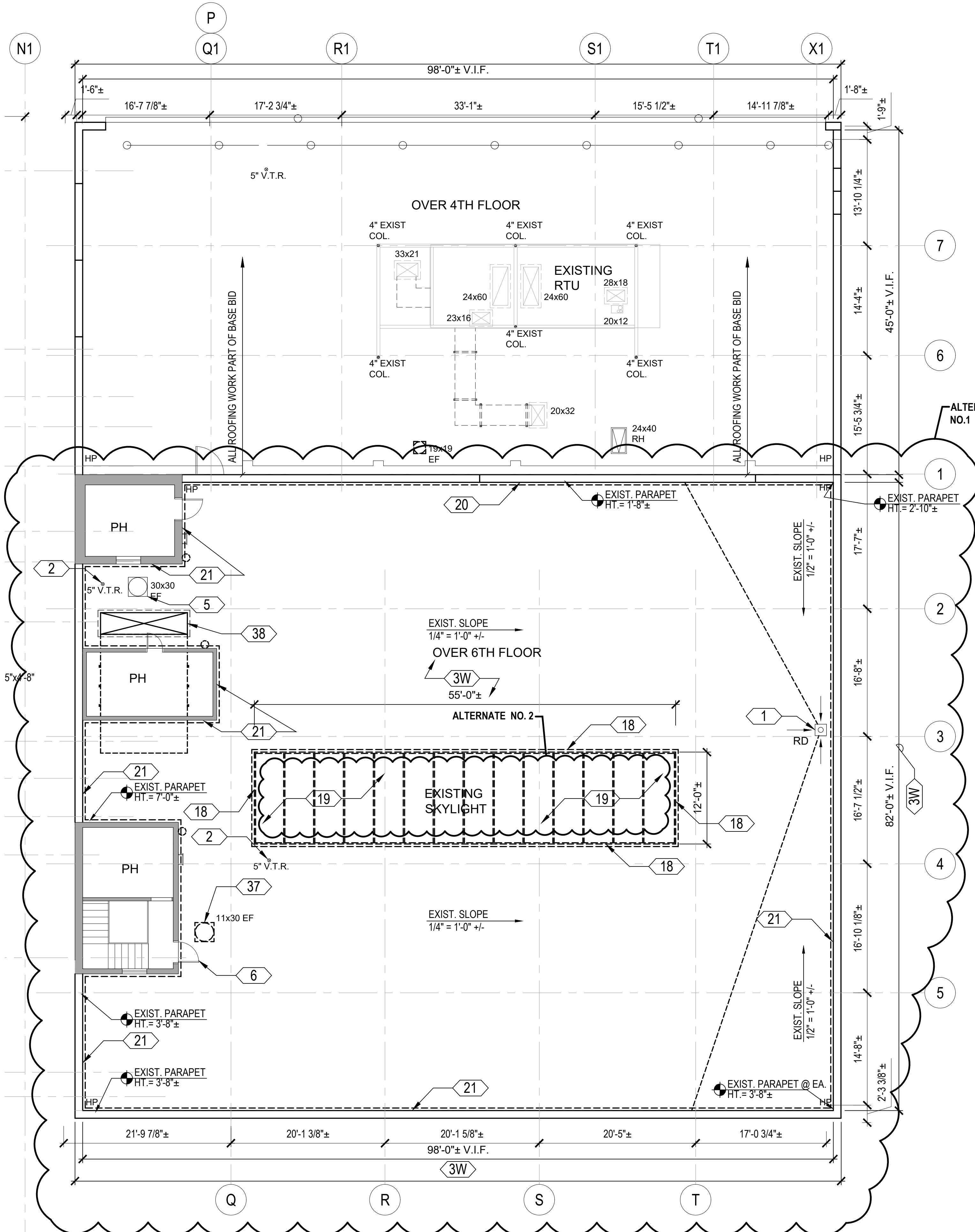
KEYNOTE TAG

**GENERAL NOTES:**

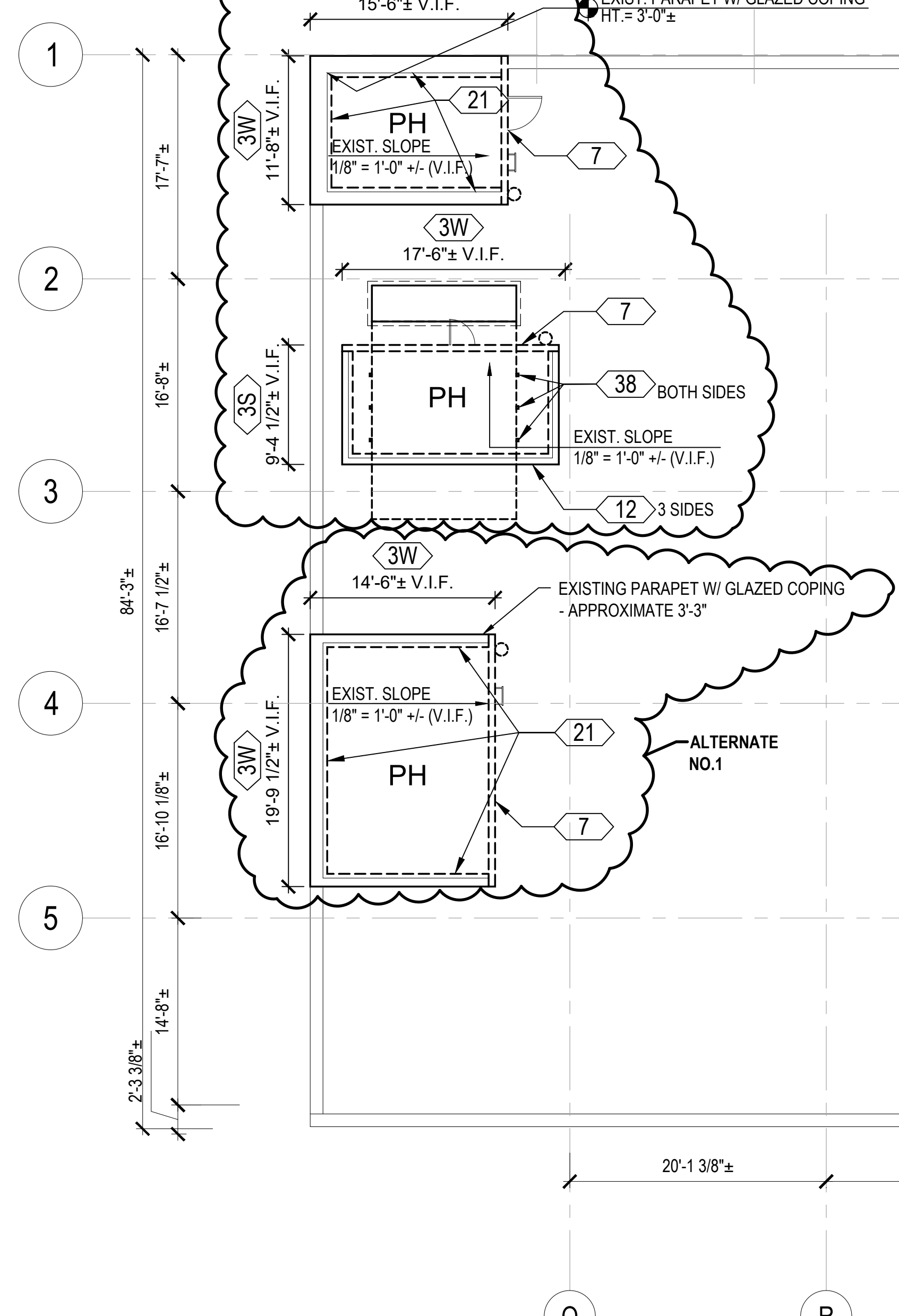
- A. ROOF AND DECK SLOPES SHOWN ARE EXISTING. CONTRACTOR SHALL VERIFY ALL SLOPES IN THE FIELD AND REPORT ANY DISCREPANCIES BACK TO THE OWNER AND DESIGN TEAM.
- B. THE EXISTING ROOF DECK OVER THE 2ND FLOOR, BETWEEN COLUMN LINES K, 3, 7 AND THE WEST PARAPET IS AN EXISTING WOOD DECK. THE REMAINDER IS A SLOPED METAL DECK.
- C. THE EXISTING ROOF DECK OVER THE 4TH AND 6TH FLOORS ARE SLOPED WOOD DECKS.
- D. DUCT PENETRATIONS SIZES ARE APPROXIMATE - V.I.F.
- E. ALLOWANCE A-11: IN ADDITION TO THE WOOD ROOF DECK REPLACEMENT SHOWN IN THE DRAWINGS, CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR 1200 SF OF WOOD DECK REPLACEMENT IN 20 LOCATIONS OF VARYING SIZES.
- F. ALLOWANCE A-12: IN ADDITION TO WORK SHOWN ON THESE DRAWINGS, CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR 300 SF TOTAL OF BRICK REPLACEMENT AT 30 LOCATIONS AT PARAPETS.

**KEYNOTES:**

1. EXISTING ROOF DRAIN TYP. REMOVE EXISTING DRAIN SEE PLUMBING DRAWINGS.
2. EXISTING PLUMBING VENT. REMOVE VENT FLASHING. SIZE IS AS SHOWN ON THE DRAWINGS V.I.F. SEE PLUMBING DRAWINGS.
- 3W. REMOVE EXISTING PVC ROOFING AND APPROXIMATELY 2 1/2" OF INSULATION AND COVER BOARD. EXISTING WOOD DECK, TO REMAIN.
- 3S. REMOVE EXISTING PVC ROOFING AND APPROXIMATELY 2 1/2" OF INSULATION AND COVER BOARD. STEEL DECK, TO REMAIN.
4. REMOVE EXISTING MODIFIED BITUMEN ROOFING & 1-1/2" OF INSULATION, WOOD DECK, TO REMAIN.
5. REMOVE EXHAUST FAN AND CURB. SEE MECHANICAL & ELECTRICAL DRAWINGS FOR DETAILS. (L x W) INDICATES APPROXIMATE CURB SIZE. SEE 10/A-501.
6. EXISTING 14" DOOR & FRAME TO REMAIN.
7. REMOVE EXISTING GUTTER AND DOWNSPOUTS.
8. EXISTING MECHANICAL EQUIPMENT & SUPPORT TO REMAIN.
9. EXIST. CHILLER TO BE REPLACED. SEE MEP DRAWINGS.
10. REMOVE EXISTING PIPE PENETRATION BOX. SEE MEP DRAWINGS FOR MORE INFORMATION. SIZE SHOWN ARE APPROXIMATE. V.I.F.
11. REMOVE EXISTING WOOD PLATFORM. FRAME TO REMAIN.
12. REMOVE EXISTING PTD. STEEL ROOF COPING.
13. REMOVE EXISTING ROOFING AND CURB AT DUCT. SEE MEP DRAWINGS.
14. EXISTING DUCT, DUCT SUPPORTS AND DUCT TO BE REMOVED. SEE MEP DRAWINGS FOR MORE INFORMATION.
15. REMOVE EXISTING DUCT SUPPORT CURB AND DUCT. SEE MEP DRAWINGS FOR MORE INFORMATION.
16. EXISTING STEEL FRAMED EQUIPMENT SUPPORT TO REMAIN. PREP, PRIME & PAINT STEEL.
17. EXISTING 30" X 30" DOOR. REMOVE SEALANT @ FRAME REMOVE EXISTING ROOFING FLASHING AND COUNTER FLASHING. CURB TO REMAIN.
18. REMOVE EXISTING POLY/ACRYLIC SKYLIGHT LENSES & REPLACE WITH NEW TO MATCH EXIST. SEE DETAIL 1/A-502. ALTERNATE NO. 2.
20. REMOVE TERM BAR & ROOF FLASHING FROM MASONRY WALL.
21. REMOVE SPRING LOCK COUNTER FLASHING TERM BAR, AND EXISTING ROOFING FROM VERTICAL SURFACE.
22. REMOVE EXISTING GUARDRAIL.
23. REMOVE SEALANT FROM EXISTING LIMESTONE COPINGS ALL 3 SIDES OF COPING - NUMBER OF LOCATIONS OF COPING IS INDICATED ON PLAN.
24. EXISTING STEEL PLATE DOOR, SCRAPE, PREP, PRIME & PAINT. DOOR IS WELDED SHUT.
25. REMOVE ABANDONED ROOF HATCH OR OTHER CAPPED OPENING, SIZE AS NOTED SEE 6/A-503 FOR DECK INFILL. NOT USED.
26. REMOVE DOWNSPOUT UP TO CONNECTION TO CAST IRON UNIT IN NORTH ELEVATION.
27. REMOVE EXISTING EXHAUST FAN & CURB INFILL DECK PER 6/A-503.
28. EXISTING CHILLER TO REMAIN SEE MEP DRAWINGS FOR MORE INFORMATION.
29. REMOVE EXISTING ROOFING, CURB, AND DUCT. SEE MEP DRAWINGS FOR MORE INFORMATION.
31. INFILL ROOF DECK OPENINGS SEE DETAIL 6/A-503 FOR DECK INFILL.
32. EXISTING ROOF TOP UNIT TO BE REMOVED. CURB & UTILITY BOX TO BE REUSED.
33. EXISTING EXHAUST FAN TO REMAIN.
34. EXISTING PVC ROOF WITH MINIMUM OF 2-1/2" INSULATION AND COVER BOARD OVER EXISTING WOOD DECK TO REMAIN.
35. EXISTING EXHAUST FAN AND CURB TO BE REMOVED. SEE MECHANICAL DRAWINGS.
36. EXISTING STEEL PLATE DOOR, SCRAPE, PREP, PRIME & PAINT.
37. SEE SHEET ARD-102 FOR WORK AT FAN.
38. SEE SHEET ARD-102 FOR WORK.
39. SEE SHEET ARD-102 FOR DUCT REMOVAL WORK.



ALTERNATE NO.1

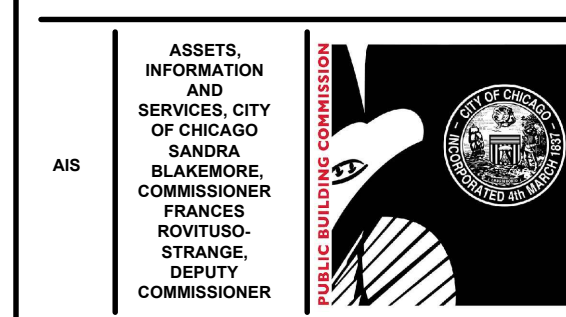
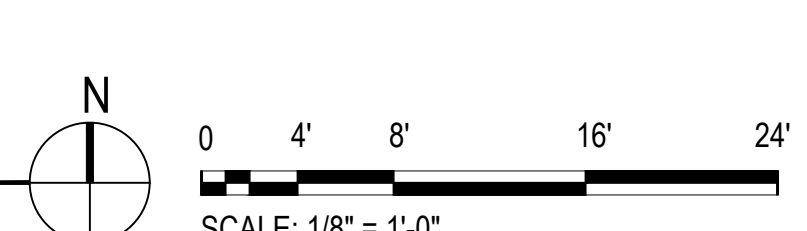
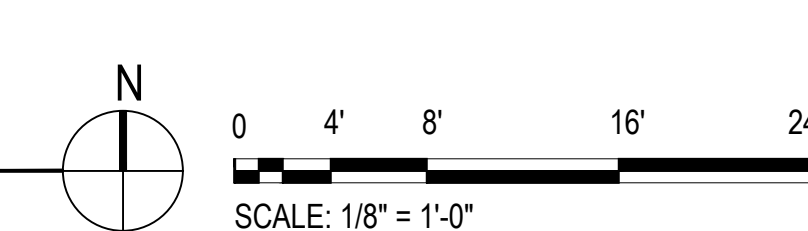


2 PENTHOUSE ROOF DEMOLITION PLAN  
SCALE: 1/8"=1'-0"

**ROOF DEMOLITION PLAN LEGEND**

	EXISTING ROOF DRAIN - TO BE REUSED		EXISTING ROOF HATCH
	EXISTING ROOF DECK PITCH LINES		EXISTING ABANDONED CURB
	EXISTING PLUMBING VENT THROUGH ROOF; X" INDICATES SIZE		EXISTING EQUIPMENT SEE MEP
	EXIST. SLOPE... EXISTING DECK SLOPE AS NOTED.		STEEL ROOF DECK AREA
	CURB MOUNTED VENTILATION EQUIPMENT WITH INTEGRAL COUNTER FLASHING		EXISTING DUCT PENETRATIONS. VERIFY DIMENSIONS IN FIELD
	DEMOLITION, REMOVE NOTED ITEM		EXISTING PARTITION WALL TO REMAIN
	PITCH LINE OF EXISTING SADDLE ETC. TO BE REMOVED.		

1 FOURTH & SIXTH FLOOR ROOF DEMOLITION PLAN  
SCALE: 1/8"=1'-0"



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**  
400 W. SUPERIOR  
CHICAGO, IL 60654  
PUBLIC BUILDING COMMISSION  
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Structural Engineers of Record

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MEFP Engineers of Record

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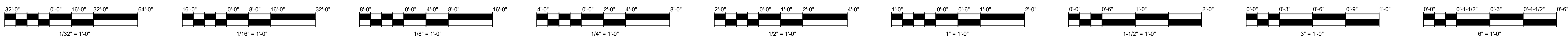
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Environmental Consultant

Issue	Mark	Description	Date
ADDENDUM NO. 3			12.29.23
ISSUE FOR PERMIT			11.29.23
ISSUE FOR BID			11.29.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
PBC Contract No: C1606

Project No: 04044  
Title: FOURTH & SIXTH FLOOR ROOF DEMOLITION PLANS ALTERNATE NO. 1 & 2

Sheet  
**ARD-102A**



**NEW ROOF CONSTRUCTION KEYNOTE LEGEND**

KEYNOTE TAG  
GENERAL NOTES:

- A. ALL EXISTING ROOF PITCHES SHOWN ARE EXISTING. VERIFY IN FIELD AND REPORT DISCREPANCIES TO OWNER & ARCHITECT.
- B. THE EXISTING ROOF DECK OVER THE 2ND FLOOR, BETWEEN COLUMN LINES K, 3, 7 AND BETWEEN COLUMN LINES A&B IS AN EXISTING WOOD DECK. THE REMAINDER IS A SLOPED METAL DECK.
- C. THE EXISTING ROOF DECK OVER THE 4TH AND 6TH FLOORS ARE SLOPED WOOD DECKS.
- D. ALL ROOFING SADDLES HAVE A 1/2" PER FOOT SLOPE UNLESS NOTED OTHERWISE.
- E. UNLESS NOTED OTHERWISE ALL PARAPET HEIGHTS ARE TO EXISTING ROOF DECK, VERIFY HEIGHT.
- F. ALLOWANCE A-11: IN ADDITION TO THE WOOD ROOF DECK REPLACEMENT SHOWN IN THE DRAWINGS, CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR 1200 SF OF WOOD DECK REPLACEMENT IN 20 LOCATIONS OF VARYING SIZES.
- G. ALLOWANCE A-12: IN ADDITION TO WORK SHOWN ON THESE DRAWINGS, CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR 300 SF TOTAL OF BRICK REPLACEMENT AT 30 LOCATIONS AT PARAPETS.

H. ALL NEW ROOF INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 & SMOKE DEVELOPMENT INDEX OF NOT LESS THAN 450, IN ACCORDANCE WITH ASTM E84 OR UL723.

**KEYNOTES:**

1. PROVIDE NEW FULLY ADHERED PVC ROOF SYSTEM ON EXISTING SLOPED WOOD DECK. SEE DETAIL 2/A-501
2. PROVIDE NEW FULLY ADHERED PVC ROOF SYSTEM ON EXISTING SLOPED METAL DECK. SEE DETAIL 1/A-501
3. W. WALKWAY
4. TUCK POINT EXISTING COMMON BRICK
5. NEW ROOF DRAIN IN WOOD DECK SEE 4/A-501 & P-000 FOR MORE INFORMATION.
6. EXISTING PLUMBING VENT IN WOOD DECK WITH NEW FLASHING & EXTENSION. SEE DETAIL 5/A-501
7. PREFABRICATED STEEL PLATFORM & RAIL SYSTEM MOUNTED ON TOP OF EXISTING STEEL FRAMING. PROVIDE CONTINUOUS CHANNEL BELOW EDGES BETWEEN EXISTING FRAMING
8. PROVIDE NEW FLASHING UP MASONRY WALL SEE DETAIL 8/A-501.
9. TUCKPOINT BRICK BACKSIDE OF PARAPET, HEIGHTS ARE AS NOTED.

10. LADDER FROM ROOF TO WALKWAY.

11. EXISTING OR NEW EXHAUST FAN ON NEW CURB. SEE DETAIL 10/A-501. CURB SIZE IS AS NOTED. SEE MECHANICAL DRAWINGS.

12. PROVIDE NEW BRACED GUARD RAIL. SEE 11/A-501

13. SCRAPE, PREP, PRIME AND PAINT EXISTING STEEL DOOR. REMOVE EXISTING SEALANT FROM BETWEEN DOOR AND MASONRY AND INSTALL NEW. REMOVE EXISTING MORTAR AND INSTALL NEW BETWEEN EXISTING GLAZED TILE COPING PIECES

14. NEW 6"x6" PTD ALUM. DOWNSPOUT WITH SPLASH BLOCK.

15. NEW METAL ROOF COPING - SEE DETAIL 7/A-503

16. NEW SKYLIGHT LENSES AND NEW TOP RIB. SEE DETAIL 1/A-502

17. EXISTING SKYLIGHT AND CURB TO REMAIN. REMOVE EXISTING AND PROVIDE NEW COUNTER FLASHING & ROOF FLASHING. SEE DETAIL 2/A-502

18. NEW CURB AT EXISTING DUCT PENETRATION. SEE DETAIL 5/A-502

19. NEW GUTTER AT WOOD DECK ROOF. SEE DETAIL 8/A-502

20. NEW GUTTER AT METAL DECK ROOF SEE DETAIL 8/A-502 SIM

21. NEW DRAINAGE SADDLE - 1/4"=1'-0" SLOPE U.N.O.

22. REPLACE CRACKED 8" CMU

23. TUCK POINT EPOXY & SEAL EXISTING CMU, 6'-0" HEIGHT. REPOINT CMU BOTH SIDES

24. NEW DUCT, PIPING, OR EQUIPMENT SUPPORT CURB. SEE DETAIL 6/A-501.

25. NEW FLASHING UP MASONRY WALL DETAILS AS NOTED.

26. NEW 8" Ø (MATCH EXISTING) PTD. MTL. DOWNSPOUT CONNECT TO CAST IRON OUTLET IN EXTERIOR WALL BELOW 2ND FLOOR WINDOWS. PROVIDE DOWNSPOUT STRAPS, 4" Ø C.C. MAX.

27. NEW ROOF LEVEL DUCT PLENUM. SEE MEP DRAWINGS FOR MORE INFORMATION, & SEE 9/A-502 FOR FLASHING DETAIL COORDINATE SIZE WITH MEP.

28. PROVIDE NEW OVERFLOW SCUPPER. SEE DETAIL 8/A-503

29. INFILL ROOF DECK. SEE DETAIL 6/A-503 FOR DECK INFILL.

30. NEW CONDENSOR & RAILS. SEE MEP DRAWINGS. PROVIDE NEW BLOCKING AND PTD. SHEET METAL CAP TO EXISTING CURBS. SEE 7/A-501

31. EXISTING PIPE PENETRATION HOUSING. SEE DETAIL 6/A-502.

32. RE-USE EXISTING PIPE PENETRATION BOX IN EXISTING ROOF. SEE DETAIL 3/A-501.

33. SCRAPE, PREP, PRIME AND PAINT EXISTING STEEL EQUIPMENT SUPPORTS.

34. REMOVE EXHAUST DUCT THROUGH EXISTING OPENING. SEE MEP DRAWINGS.

35. SCRAPE, PREP, PRIME, & PAINT EXISTING STEEL LADDER.

36. NEW EXHAUST FAN ON NEW CURBS IN EXISTING ROOFING. SEE DETAIL 11/A-502

37. PIPE PENETRATION IN EXISTING ROOFING. SEE DETAIL 12/A-502

38. NEW CU ON NEW CURBS IN EXISTING ROOFING SEE DETAIL 11/A-502

39. PATCH EXISTING PVC ROOF WHERE DUCT SUPPORTS WERE REMOVED.

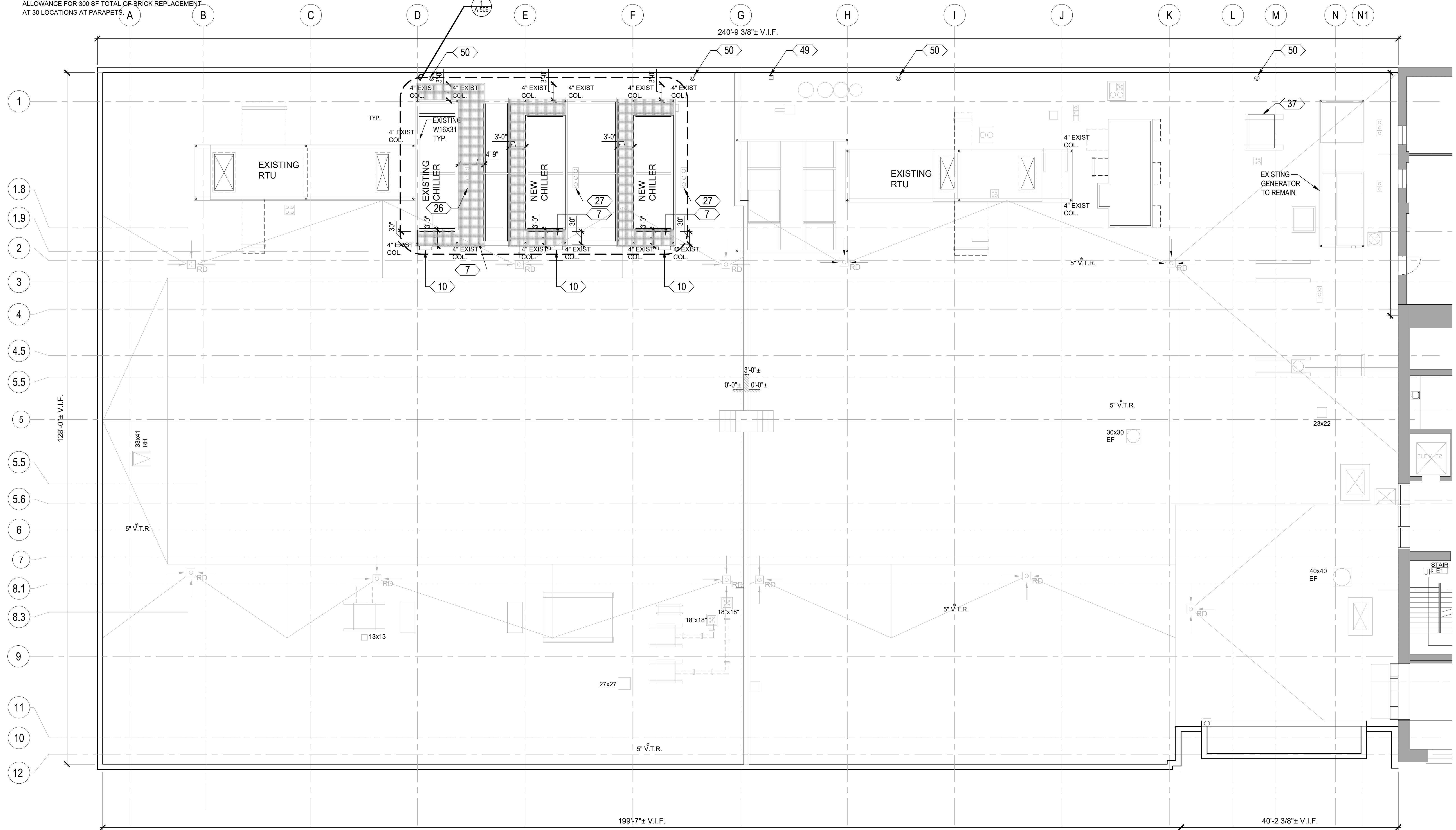
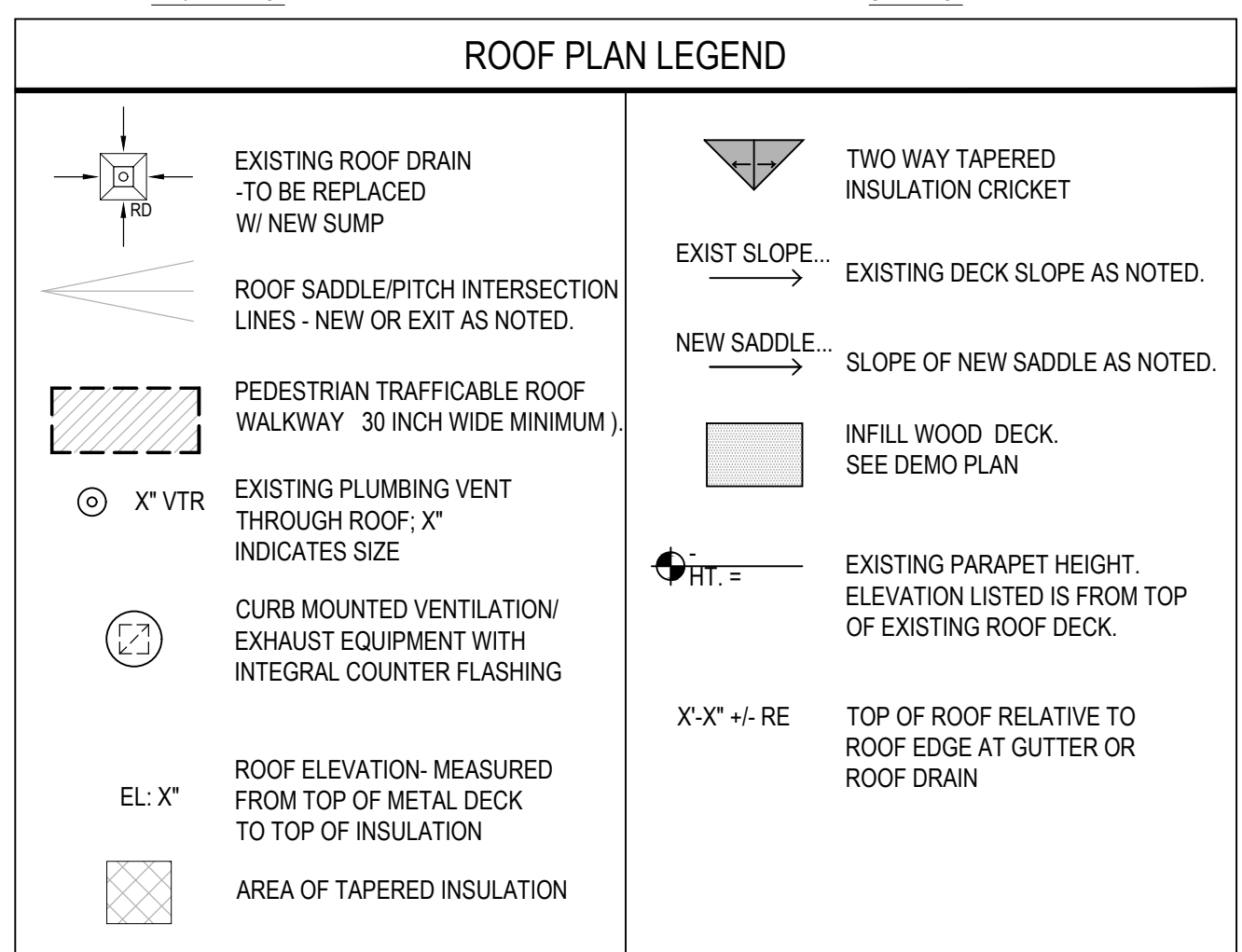
40. EXISTING ROOF SEE 12/A-501

41. NEW OR EXISTING EXHAUST FAN AND NEW CURB ON EXISTING ROOF SEE DETAIL 13/A-502 SEE MECHANICAL DRAWINGS.

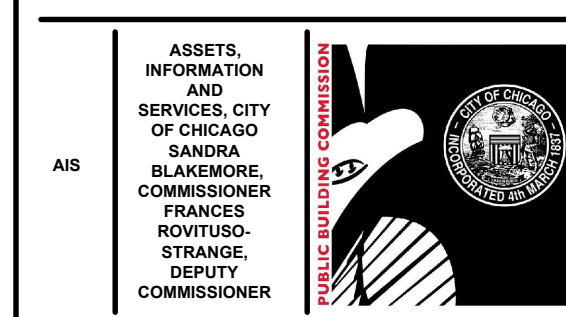
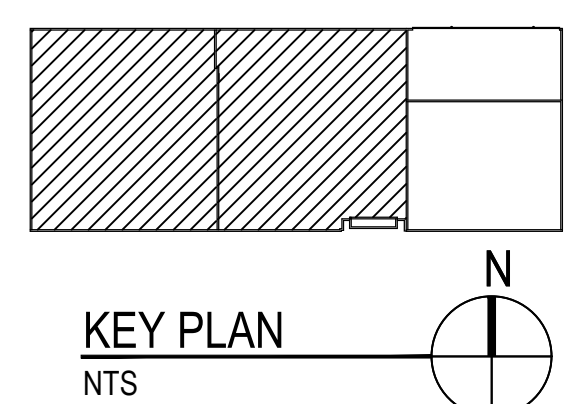
42. NEW CU ON NEW CURBS SEE 6/A-501

43. NEW HOSE BIB PIPE SEE 12/A-502

44. CONDUIT PENETRATION FOR NEW RECEPTACLE SEE DETAIL 12/A-502 & ELECTRICAL DRAWINGS



1 WEST ROOF CONSTRUCTION PLAN  
SCALE: 1/8"=1'-0"



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**

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Chicago, IL  
MEFP Engineers of Record

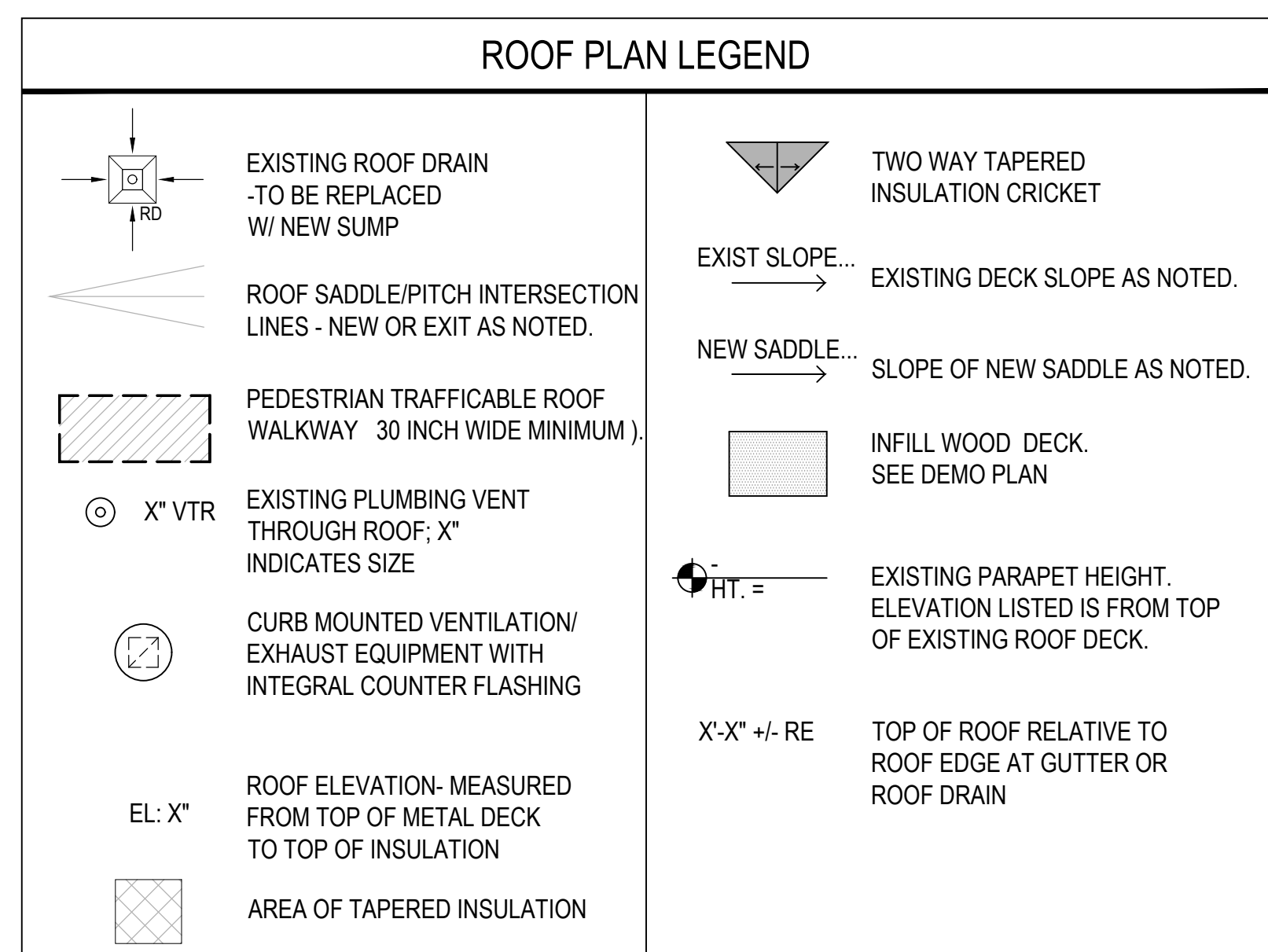
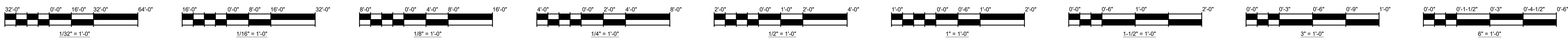
**LERCH BATES**  
Chicago, IL  
Elevator Consultant

**IRCA**  
Chicago, IL  
Roofing Consultant

**VERDES ENVIRONMENTAL SOLUTIONS**  
Chicago, IL  
Environmental Consultant

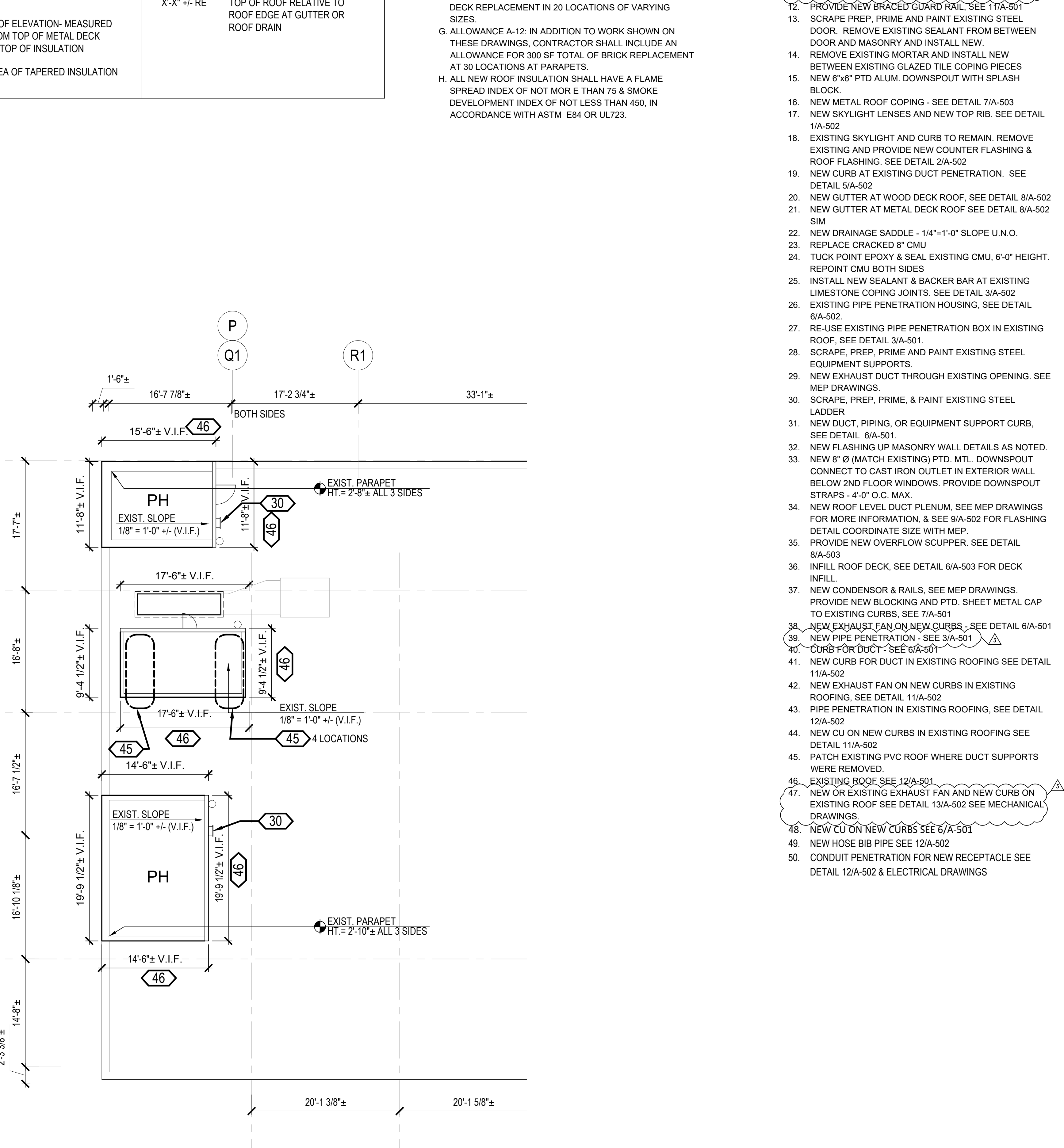
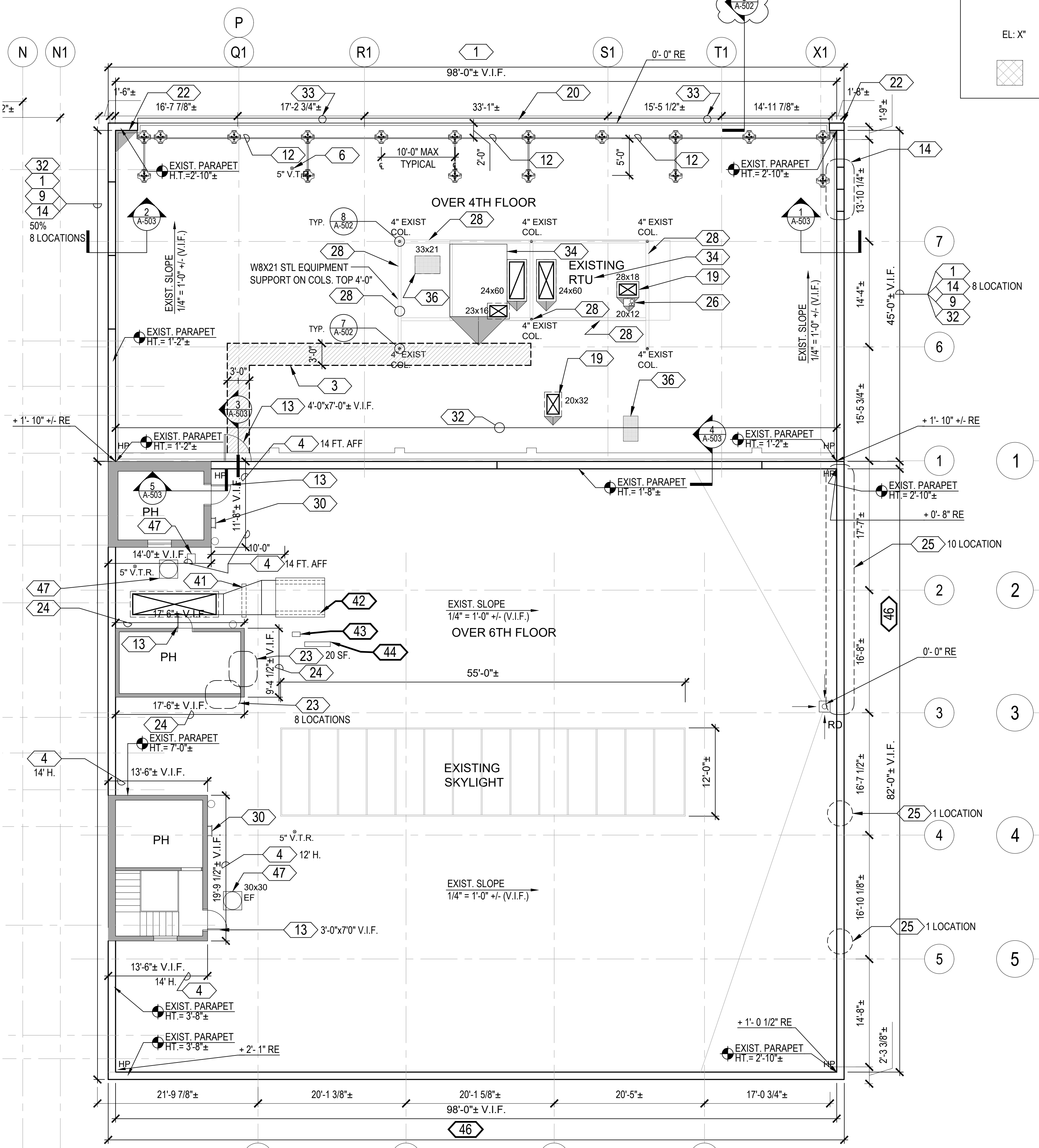
Mark	Description	Date
Δ	ADDENDUM NO. 3	12.29.23
2	ISSUE FOR PERMIT	11.29.23
1	ISSUE FOR BID	11.29.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
PBC Contract No: C1606  
Project No: 04044  
Title  
**WEST ROOF CONSTRUCTION PLAN**  
Sheet  
**AR-101**



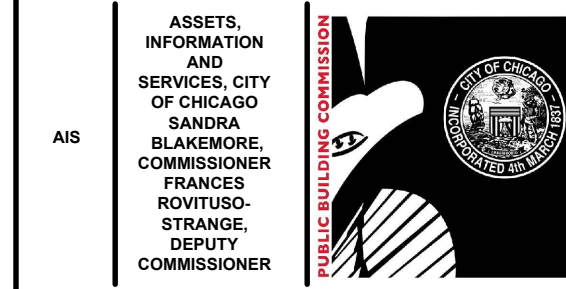
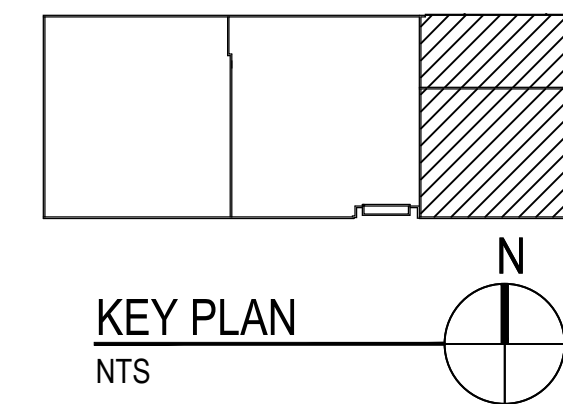
- ### NEW ROOF CONSTRUCTION KEYNOTE LEGEND
- KEYNOTE TAG
- GENERAL NOTES:
- ALL EXISTING ROOF PITCHES SHOWN ARE EXISTING. VERIFY IN FIELD AND REPORT DISCREPANCIES TO OWNER & ARCHITECT.
  - THE EXISTING ROOF DECK OVER THE 2ND FLOOR, BETWEEN COLUMN LINES K, 3, 7 AND BETWEEN COLUMN LINES 8 & B IS AN EXISTING WOOD DECK. THE REMAINDER IS A SLOPED METAL DECK.
  - THE EXISTING ROOF DECK OVER THE 4TH AND 6TH FLOORS ARE SLOPED WOOD DECKS.
  - ALL ROOFING SADDLES HAVE A 1/2" PER FOOT SLOPE UNLESS NOTED OTHERWISE.
  - UNLESS NOTED OTHERWISE ALL PARAPET HEIGHTS ARE TO EXISTING ROOF DECK. VERIFY HEIGHT.
  - ALLOWANCE A-11: IN ADDITION TO THE WOOD ROOF DECK REPLACEMENT SHOWN IN THE DRAWINGS, CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR 1200 SF OF WOOD DECK REPLACEMENT IN 20 LOCATIONS OF VARYING SIZES.
  - ALLOWANCE A-12: IN ADDITION TO WORK SHOWN ON THESE DRAWINGS, CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR 300 SF TOTAL OF BRICK REPLACEMENT AT 30 LOCATIONS AT PARAPETS.
  - ALL NEW ROOF INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 & SMOKE DEVELOPMENT INDEX OF NOT LESS THAN 450, IN ACCORDANCE WITH ASTM E84 OR UL723.

- ### KEYNOTES:
- PROVIDE NEW FULLY ADHERED PVC ROOF SYSTEM ON EXISTING SLOPED WOOD DECK. SEE DETAIL 2/A-501
  - PROVIDE NEW FULLY ADHERED PVC ROOF SYSTEM ON EXISTING SLOPED METAL DECK. SEE DETAIL 1/A-501
  - W. WALKWAY
  - TUCK POINT EXISTING COMMON BRICK
  - NEW ROOF DRAIN IN WOOD DECK SEE 4/A-501 & P-000 FOR MORE INFORMATION.
  - EXISTING PLUMBING VENT IN WOOD DECK WITH NEW FLASHING & EXTENSION. SEE DETAIL 5/A-501
  - PREFABRICATED STEEL PLATFORM & RAIL SYSTEM MOUNTED ON TOP OF EXISTING STEEL FRAMING. PROVIDE CONTINUOUS CHANNEL BELOW EDGES BETWEEN EXISTING FRAMING
  - PROVIDE NEW FLASHING UP MASONRY WALL SEE DETAIL 8/A-501.
  - TUCKPOINT BRICK BACKSIDE OF PARAPET, HEIGHTS ARE AS NOTED.
  - LADDER FROM ROOF TO WALKWAY
  - EXISTING OR NEW EXHAUST FAN ON NEW CURB, SEE DETAIL 10/A-501. CURB SIZE IS AS NOTED. SEE MECHANICAL DRAWINGS.
  - PROVIDE NEW BRACED GUARD RAIL, SEE 11/A-501
  - SCRAPE, PREP, PRIME AND PAINT EXISTING STEEL DOOR. REMOVE EXISTING SEALANT FROM BETWEEN DOOR AND MASONRY AND INSTALL NEW.
  - REMOVE EXISTING MORTAR AND INSTALL NEW BETWEEN EXISTING GLAZED TILE COPING PIECES
  - NEW 6"x6" PTD ALUM. DOWNSPOUT WITH SPLASH BLOCK
  - NEW METAL ROOF COPING - SEE DETAIL 7/A-503
  - NEW SKYLIGHT LENSES AND NEW TOP RIB. SEE DETAIL 1/A-502
  - EXISTING SKYLIGHT AND CURB TO REMAIN. REMOVE EXISTING AND PROVIDE NEW COUNTER FLASHING & ROOF FLASHING. SEE DETAIL 2/A-502
  - NEW CURB AT EXISTING DUCT PENETRATION. SEE DETAIL 5/A-502
  - NEW GUTTER AT WOOD DECK ROOF. SEE DETAIL 8/A-502
  - NEW GUTTER AT METAL DECK ROOF SEE DETAIL 8/A-502 SIM
  - NEW DRAINAGE SADDLE - 1/4"=1'-0" SLOPE U.O.
  - REPLACE CRACKED 8" CMU
  - TUCK POINT EPOXY & SEAL EXISTING CMU, 6'-0" HEIGHT. REPOINT CMU BOTH SIDES
  - INSTALL NEW SEALANT & BACKER BAR AT EXISTING LIMESTONE COPING JOINTS. SEE DETAIL 3/A-502
  - EXISTING PIPE PENETRATION HOUSING, SEE DETAIL 8/A-502
  - RE-USE EXISTING PIPE PENETRATION BOX IN EXISTING ROOF. SEE DETAIL 3/A-501.
  - SCRAPE, PREP, PRIME AND PAINT EXISTING STEEL EQUIPMENT SUPPORTS.
  - NEW EXHAUST DUCT THROUGH EXISTING OPENING. SEE MEP DRAWINGS.
  - SCRAPE, PREP, PRIME, & PAINT EXISTING STEEL LADDER
  - NEW DUCT, PIPING, OR EQUIPMENT SUPPORT CURB, SEE DETAIL 6/A-501.
  - NEW FLASHING UP MASONRY WALL DETAILS AS NOTED.
  - NEW 8" Ø (MATCH EXISTING) PTD. MTL. DOWNSPOUT CONNECT TO CAST IRON OUTLET IN EXTERIOR WALL BELOW 2ND FLOOR WINDOWS. PROVIDE DOWNSPOUT STRAPS - 4'-0" O.C. MAX.
  - NEW ROOF LEVEL DUCT PLENUM. SEE MEP DRAWINGS FOR MORE INFORMATION, & SEE 9/A-502 FOR FLASHING DETAIL. COORDINATE SIZE WITH MEP
  - PROVIDE NEW OVERFLOW SCUPPER. SEE DETAIL 8/A-503
  - INFILL ROOF DECK. SEE DETAIL 6/A-503 FOR DECK INFILL
  - NEW CONDENSER & RAILS. SEE MEP DRAWINGS. PROVIDE NEW BLOCKING AND PTD. SHEET METAL CAP TO EXISTING CURBS. SEE 7/A-501
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  - EXISTING ROOF SEE 12/A-501
  - NEW OR EXISTING EXHAUST FAN AND NEW CURB ON EXISTING ROOF SEE DETAIL 13/A-502 SEE MECHANICAL DRAWINGS.
  - NEW CU ON NEW CURBS SEE 6/A-501
  - NEW HOSE BIB PIPE SEE 12/A-502
  - CONDUIT PENETRATION FOR NEW RECEPTACLE SEE DETAIL 12/A-502 & ELECTRICAL DRAWINGS



2 FOURTH & SIXTH FLOOR ROOF CONSTRUCTION PLANS  
SCALE: 1/8" = 1'-0"

1 PENTHOUSE ROOF CONSTRUCTION PLAN  
SCALE: 1/8" = 1'-0"



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**

400 W. SUPERIOR  
CHICAGO, IL 60654

PUBLIC BUILDING COMMISSION  
CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
RADA ARCHITECTS LTD.

**RADA ARCHITECTS**  
RUNDOS CENTER | 233 N Michigan Avenue  
8th Floor | Chicago, IL 60601 | 312.856.1970  
www.rada-arch.com | WBE | DBE

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MEPP Engineers of Record

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Issue	Mark	Description	Date
1		ISSUE FOR BID	11/29/23
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3	Δ	ADDENDUM NO. 3	12/29/23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

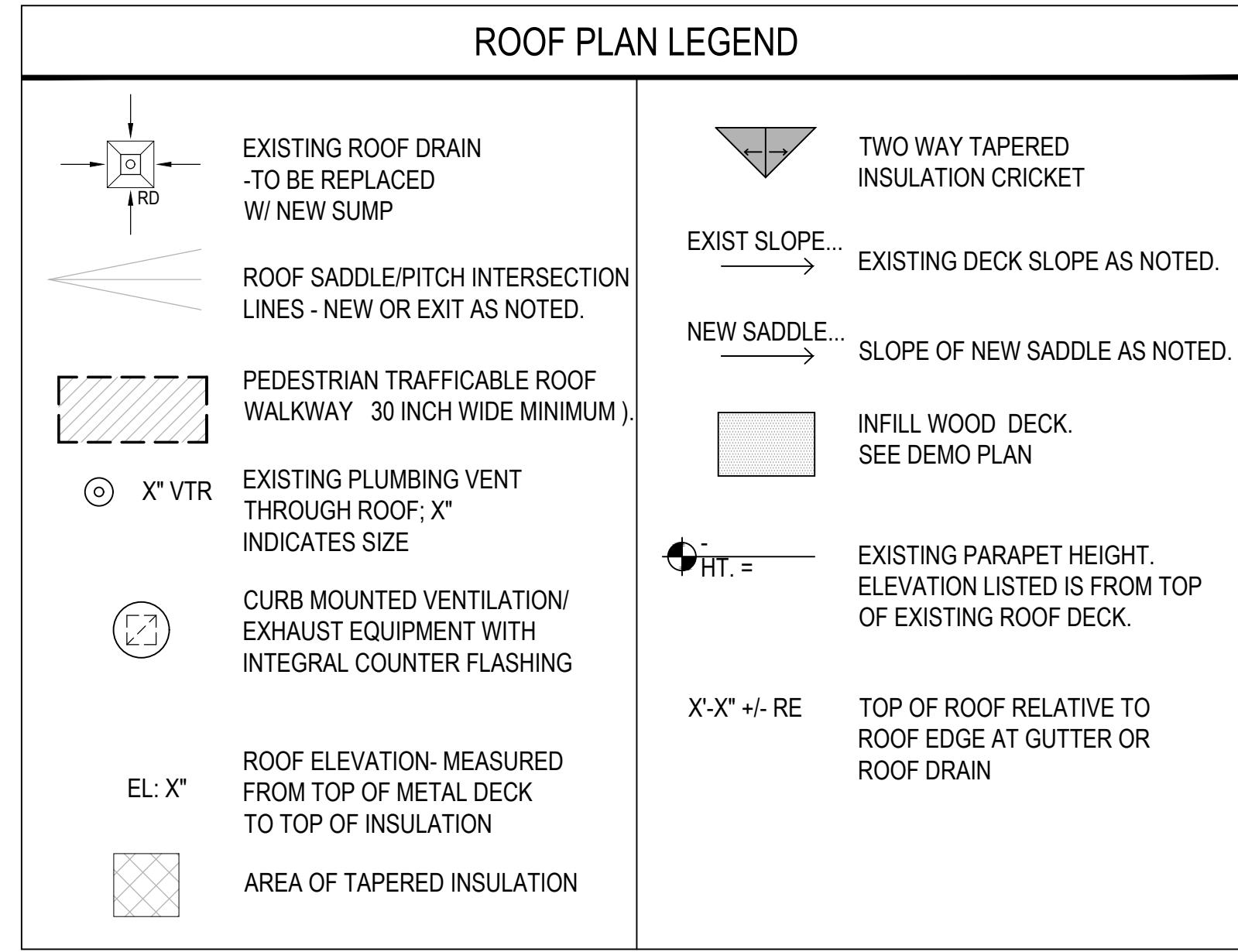
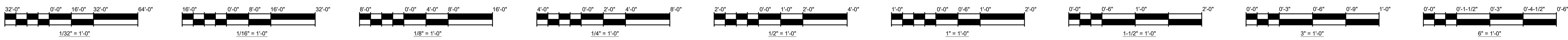
PBC Contract No: C1606

Project No.: 04044

Title: FOURTH & SIXTH FLOOR ROOF CONSTRUCTION PLAN BASE BID

Sheet

AR-102



### NEW ROOF CONSTRUCTION KEYNOTE LEGEND

KEYNOTE TAG  
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Architect of Record:  
RADA ARCHITECTS LTD.  
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1100 N. MICHIGAN AVE. CHICAGO, ILLINOIS 60611  
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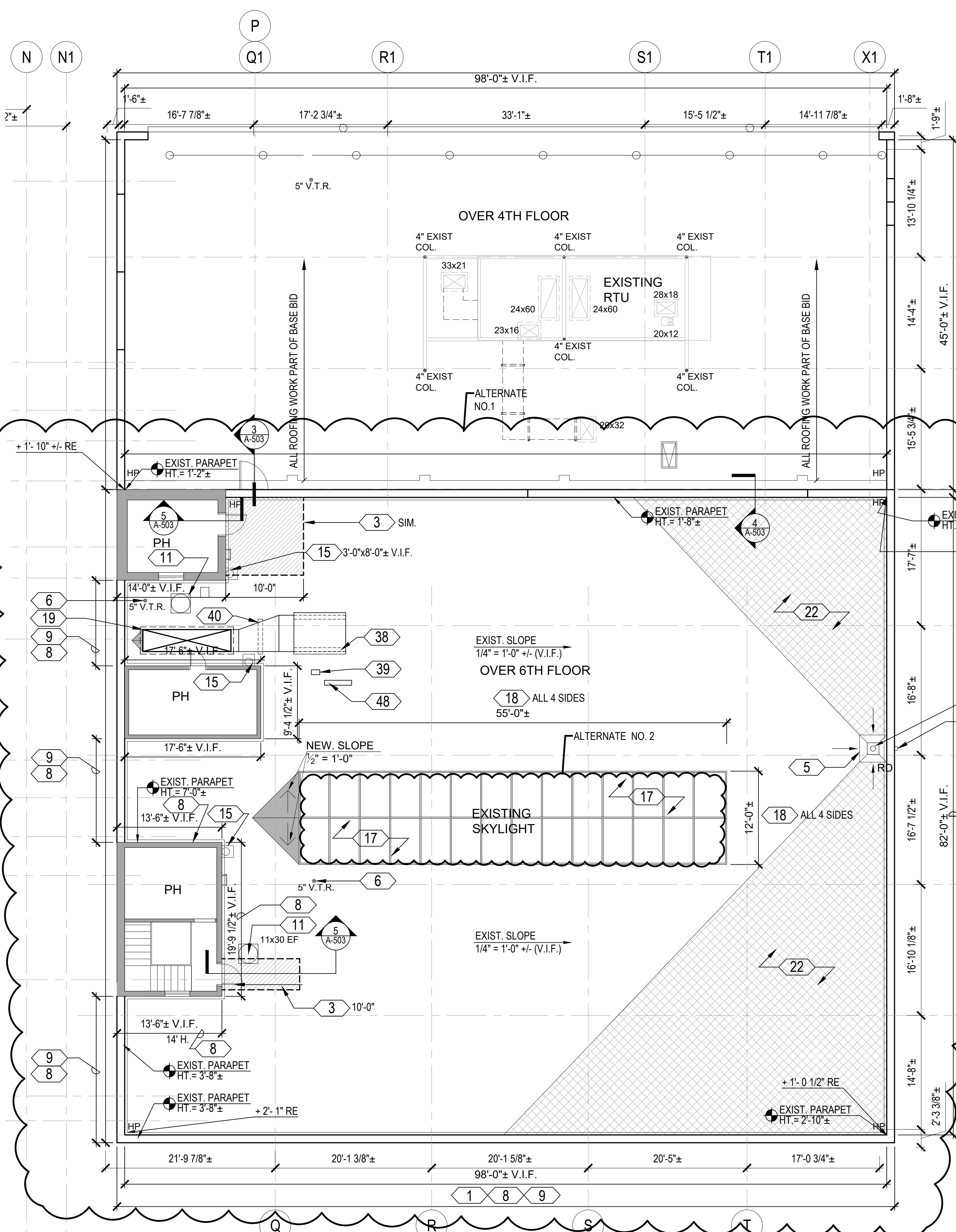
IMEG Chicago, IL  
Structural Engineers of Record

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MEPP Engineers of Record

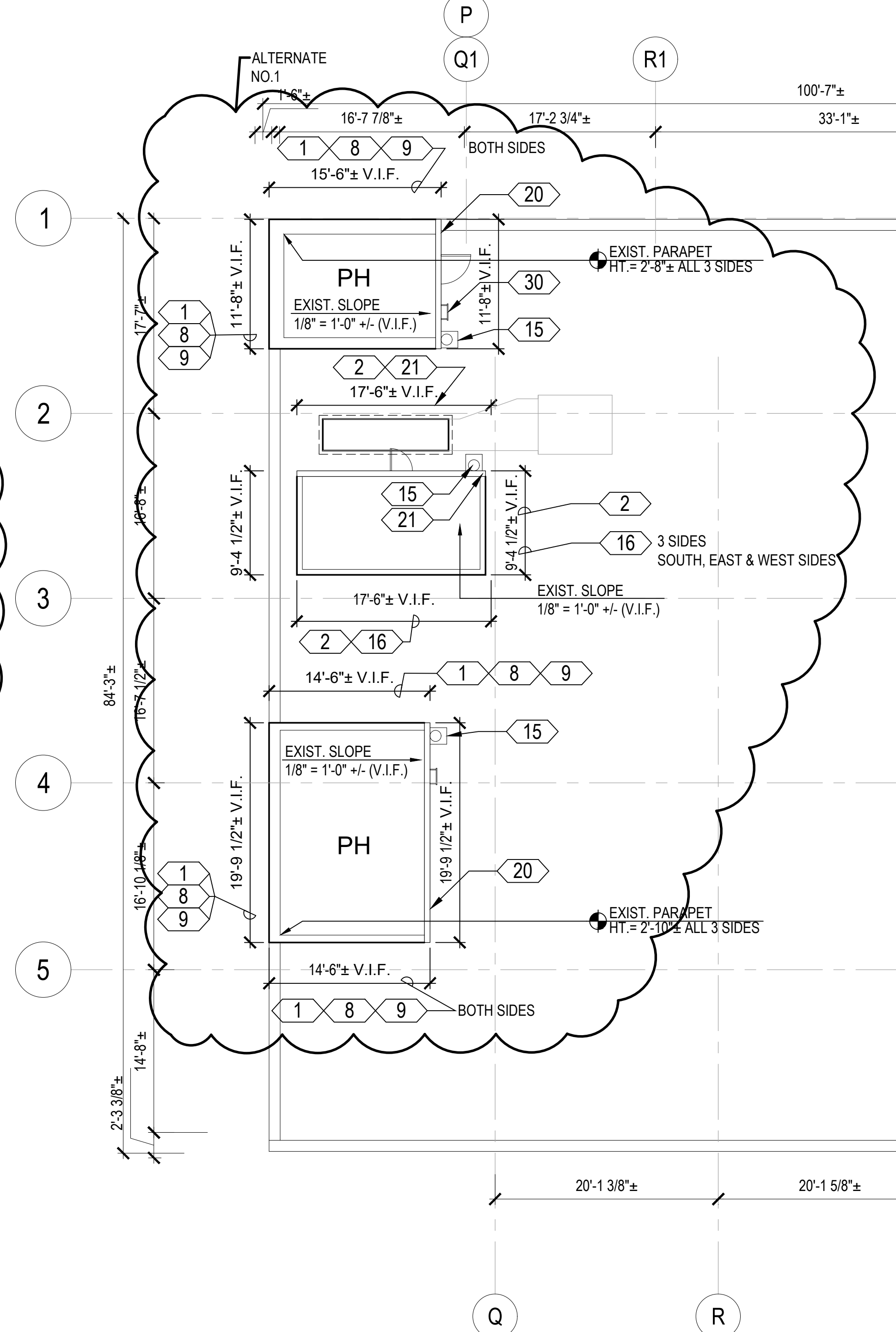
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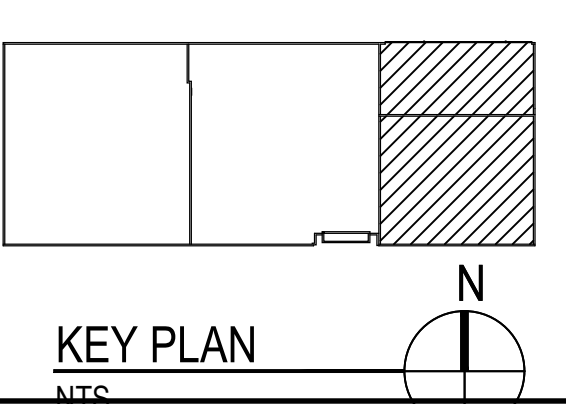
VERDES ENVIRONMENTAL SOLUTIONS Chicago, IL  
Environmental Consultant



2 FOURTH & SIXTH FLOOR ROOF CONSTRUCTION PLANS  
SCALE: 1/8"=1'-0"



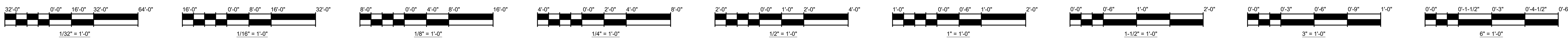
1 PENTHOUSE ROOF CONSTRUCTION PLAN  
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Δ	ADDENDUM NO. 3	12.29.23
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1	ISSUE FOR BID	11.29.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
PBC Contract No: C1606  
Project No.: 04044  
Title: FOURTH & SIXTH FLOOR ROOF CONSTRUCTION PLAN ALTERNATE NO. 1 & 2

Sheet  
**AR-102A**



**REFLECTED CEILING PLAN DEMO LEGEND**

	EXISTING 2 X 4 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING
	EXISTING 2 X 2 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING TO BE REMOVED
	EXISTING RECESSED CAN LIGHT		2 X 4 ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING CEILING HUNG BARE BULB		2 X 2 ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING WALL HUNG LIGHT		2 X 4 ACOUSTIC TILE CEILING TO BE REPLACED
	EXISTING SUSPENDED 4\"/>		2 X 4 ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SUSPENDED 4\"/>		2 X 2 ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SURFACE MOUNTED 4\"/>		EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN
	EXISTING 4\"/>		EXISTING CEILING MOUNTED CAMERA
	EXISTING 4\"/>		EXISTING WALL MOUNTED CAMERA
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING VISUAL FIRE ALARM DEVICE TO REMAIN
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN		
	EXISTING RETURN/SUPPLY DIFFUSER TO BE REMOVED		
	EXISTING PARTITION WALL TO REMAIN		
	EXISTING AUDIO FIRE ALARM DEVICE TO REMAIN		
	EXISTING EXIT SIGNS TO REMAIN		

**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

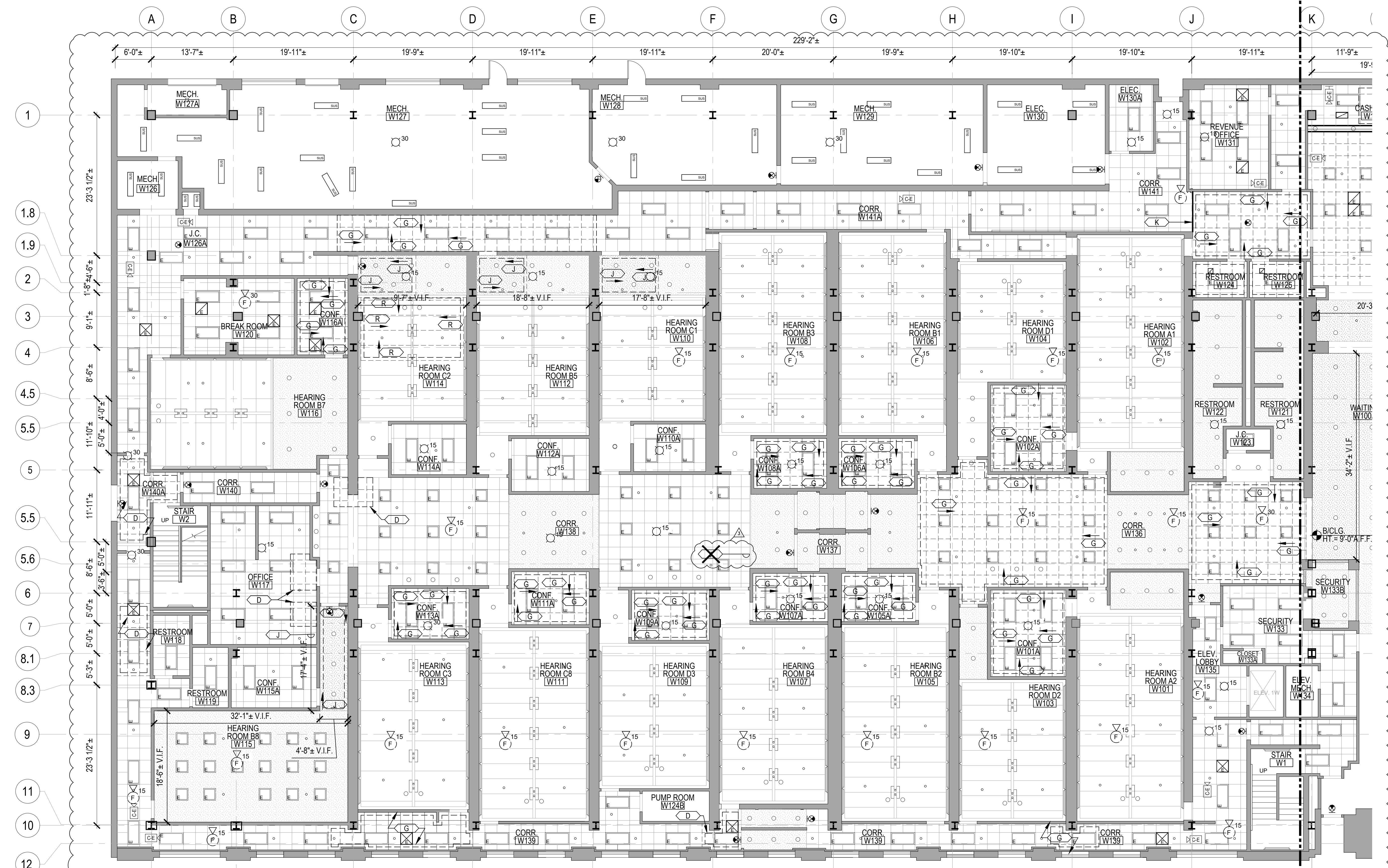
- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SHT. A-602 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES.
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS, CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.

**REFLECTED CEILING PLAN GENERAL DEMO & NEW WORK NOTES**

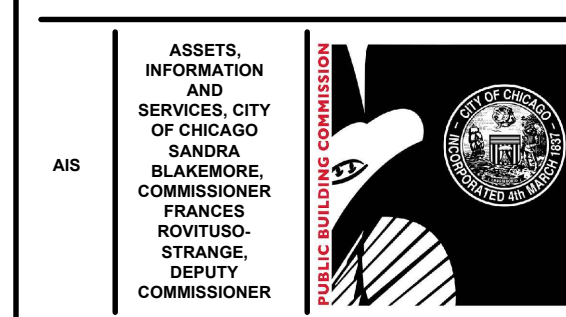
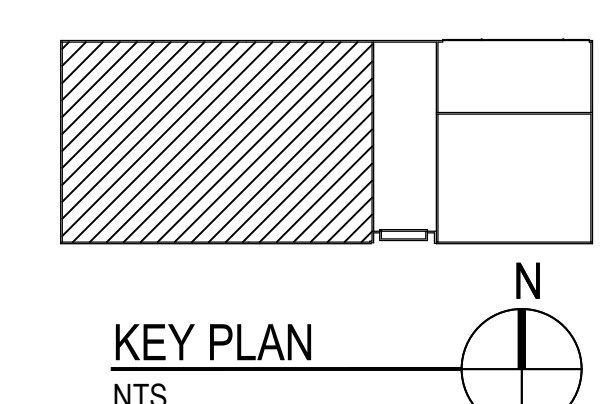
- FIELD VERIFY THE POSITION OF ALL LIGHT FIXTURES, DIFFUSERS, ALARMS SENSORS, SPRINKLER HEADS ETC.
- PROTECT CONSTRUCTION TO REMAIN INCLUDING FLOORING AGAINST DAMAGE AND SOILING DURING CONSTRUCTION ACTIVITIES.
- TIMING OF ALL CUTTING, SAWING, AND OTHER OPERATIONS RESULTING IN NOISE AFFECTING ADJACENT SPACES SHALL BE COORDINATED WITH OWNER. TORCH CUTTING IS NOT ALLOWED.
- CEILING WITHOUT MATERIAL INDICATIONS ARE OPEN TO STRUCTURE ABOVE.
- ITEMS INDICATED TO BE SALVAGED OR REUSED SHALL BE CAREFULLY REMOVED WITHOUT DAMAGE TO THEM TO ALLOW FOR REINSTALLATION.
- ALL ACOUSTIC TILE, CEILING GRID, GYPSUM BOARD CEILINGS, LIGHTING, DIFFUSER GRILLES ETC. SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL CEILINGS ARE BETWEEN APPROXIMATELY 8 FEET AND 10 FEET AFF. NEW CEILING HEIGHTS TO MATCH EXISTING U.N.O.
- CONTRACTOR SHALL RESERVE/SALVAGE EXISTING UNDAMAGED DEMOLISHED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED OR REMOVED AND REUSED. REPLACED TILE SHALL MATCH EXISTING.
- THE ARRANGEMENT/LOCATION OF ALL LIGHTS, EXIT SIGNS, SPRINKLER HEADS SHALL BE THE SAME AS THAT EXISTING UNLESS NOTED OTHERWISE. SEE MEP DWGS FOR DIFFUSERS AND OTHER INFORMATION.
- UNLESS NOTED OTHERWISE NEW CEILING GRID PATTERN SHALL MATCH THOSE EXISTING IN THE SPACE. CONTRACTOR SHALL FIELD VERIFY ALL LAYOUTS.
- CONTRACTOR SHALL FIELD VERIFY ALL CEILING LAYOUTS & REPORT DISCREPANCIES TO THE OWNER.
- NOT USED

**REFLECTED CEILING PLAN DEMOLITION KEY NOTES**

- KEYNOTE TAG
- REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN GRID & DISPOSE OF TILES.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS
  - REMOVE EXISTING CURVED VAULTED PTD CEILING. EXTEND OF DEMOLITION SHOULD BE TO EXISTING REVEALS.
  - REMOVE AND RESERVE EXISTING CEILING TILE AS REQUIRED FOR WORK ABOVE. REINSTALL RESERVED EXISTING CEILING TILE AFTER WORK.
  - EXIST SKYLIGHT TO REMAIN.
  - EXISTING ACOUSTIC TILE SOFFIT TO BE REPLACED PER KEYNOTE A.
  - REMOVE EXISTING 2' X 2' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - REMOVE EXISTING 2' X 4' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS AND LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - REMOVE EXISTING PAINTED GYPSUM BOARD CEILING OR SOFFIT AT WALL. SPRINKLERS HEADS, LIGHTING, SENSORS, ETC. TO REMAIN OR TO BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - REMOVE EXISTING ACOUSTIC CEILING TILE AS REQUIRED FOR REMOVAL OF LINEAR DIFFUSER. RESERVE TILE FOR TRIMMING AND REINSTALLATION. SEE MEP DWGS FOR MORE INFORMATION.
  - EXTEND EXISTING SPRINKLER HEAD TO BELOW CEILING LEVEL. LOCATIONS ARE APPROXIMATE.
  - REMOVE EXISTING ACOUSTIC CEILING TILE. CEILING GRID TO REMAIN. RESERVE FOR REINSTALLATION.
  - REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN ALL GRID. RESERVE TILES FOR REUSE IN OTHER ROOMS.
  - REMOVE EXISTING R-30 BATT INSULATION FROM UNDERSIDE OF JOIST/ABOVE CEILING.
  - EXISTING CEILING MTD CAMERAS TO BE TEMPORALLY REMOVED. SAFE FOR REINSTALLATION.
  - EXISTING WALL MTD CAMERAS TO BE TEMPORALLY REMOVED. SAVE FOR REINSTALLATION.
  - REMOVE CURVED GYP BD. CEILING AND FRAMING.



ADDED FIRE ALARM DEVICES AND EXIT SIGNS



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**

400 W. SUPERIOR  
CHICAGO, IL 60654

PUBLIC BUILDING COMMISSION  
CITY OF CHICAGO, MAYOR BRANDON JOHNSON

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Environmental Consultant

Issue	Mark	Description	Date
ADDENDUM NO. 3			12/29/23
ADDENDUM NO. 1			12/21/23
ISSUE FOR PERMIT			11/29/23
ISSUE FOR BID			11/29/23

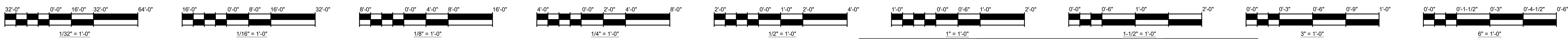
PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

PBC Contract No: C1666

Project No: 04044

Title: **FIRST FLOOR WEST REFLECTED CEILING DEMO PLAN**

Sheet: **ACD-101W**



**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SHT. A-602 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES.
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS, CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.

**REFLECTED CEILING PLAN DEMO LEGEND**

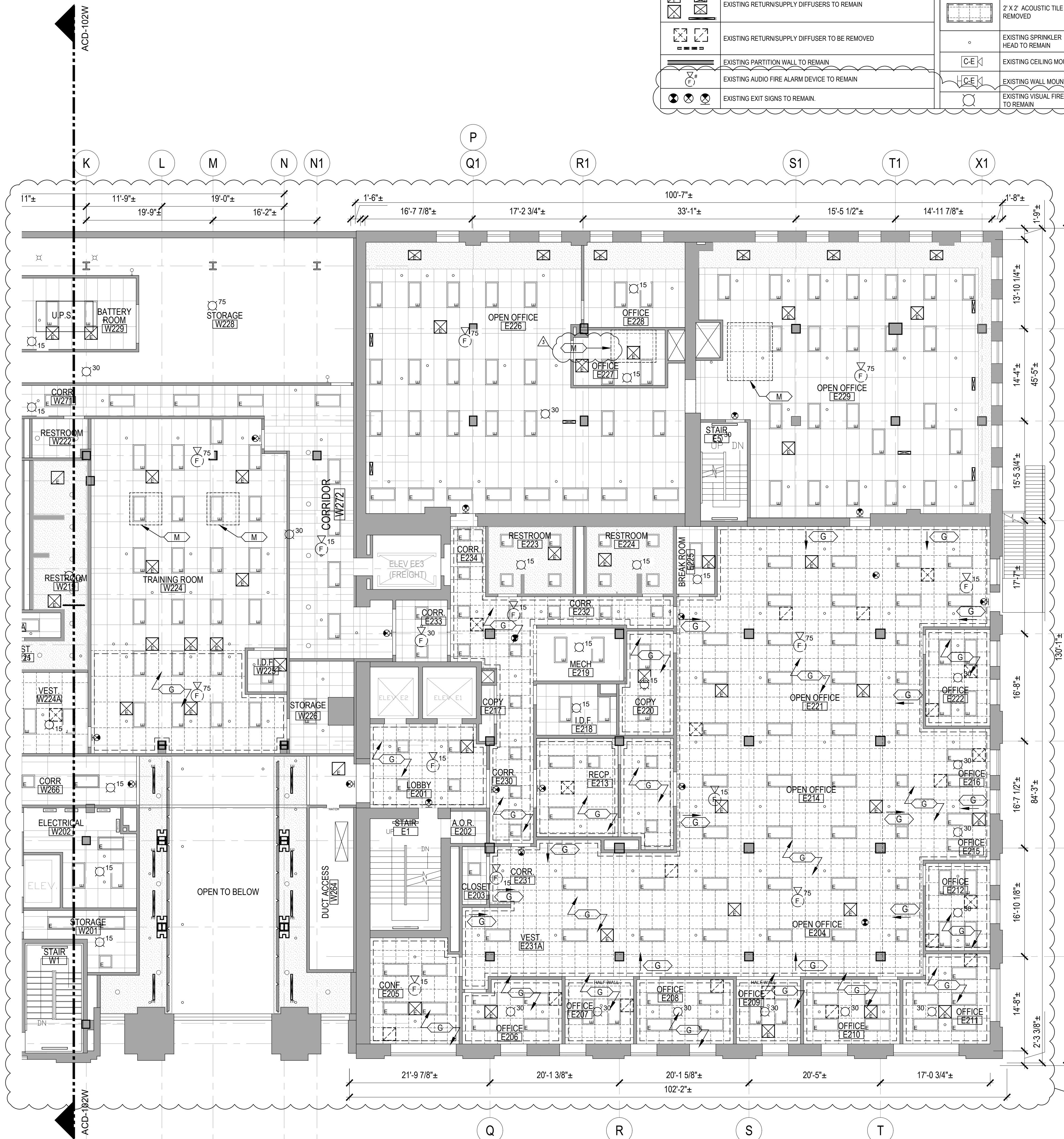
	EXISTING 2' X 4' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING
	EXISTING 2' X 2' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING TO BE REMOVED
	EXISTING RECESSED CAN LIGHT		2' X 4' ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING CEILING HUNG BARE BULB		2' X 2' ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING WALL HUNG LIGHT		2' X 4' ACOUSTIC TILE CEILING TO BE REPLACED, CEILING GRID TO REMAIN
	EXISTING SUSPENDED 4' SINGLE TUBE FLUORESCENT LIGHT FIXTURE		2' X 4' ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SUSPENDED 4' 2-TUBE FLUORESCENT LIGHT FIXTURE		2' X 2' ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE		EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT		EXISTING CEILING MOUNTED CAMERA
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS		EXISTING WALL MOUNTED CAMERA
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING VISUAL FIRE ALARM DEVICE TO REMAIN
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN		
	EXISTING RETURN/SUPPLY DIFFUSER TO BE REMOVED		
	EXISTING PARTITION WALL TO REMAIN		
	EXISTING AUDIO FIRE ALARM DEVICE TO REMAIN		
	EXISTING EXIT SIGNS TO REMAIN		

**REFLECTED CEILING PLAN GENERAL DEMO & NEW WORK NOTES**

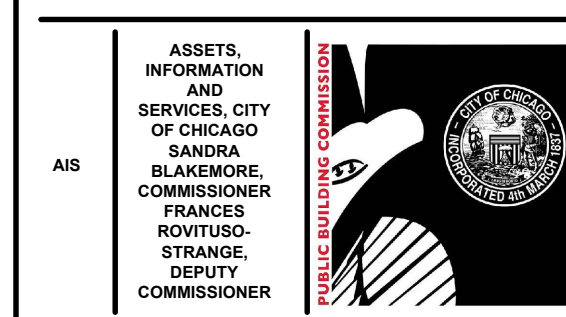
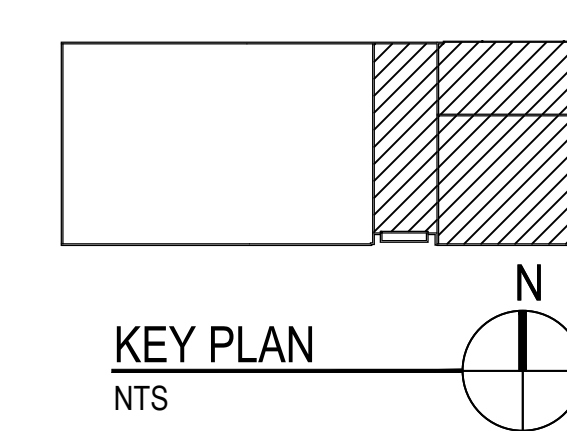
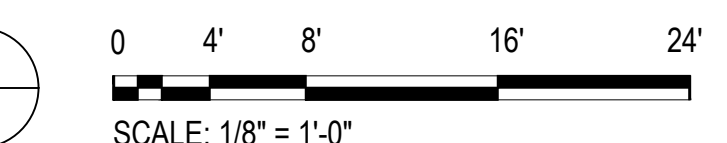
- FIELD VERIFY THE POSITION OF ALL LIGHT FIXTURES, DIFFUSERS, ALARMS SENSORS, SPRINKLER HEADS ETC.
- PROTECT CONSTRUCTION TO REMAIN INCLUDING FLOORING AGAINST DAMAGE AND SOILING DURING CONSTRUCTION ACTIVITIES.
- TIMING OF ALL CUTTING, SAWING, AND OTHER OPERATIONS RESULTING IN NOISE AFFECTING ADJACENT SPACES SHALL BE COORDINATED WITH OWNER. TORCH CUTTING IS NOT ALLOWED.
- CEILING WITHOUT MATERIAL INDICATIONS ARE OPEN TO STRUCTURE ABOVE.
- ITEMS INDICATED TO BE SALVAGED OR REUSED SHALL BE CAREFULLY REMOVED WITHOUT DAMAGE TO THEM TO ALLOW FOR REINSTALLATION.
- ALL ACOUSTIC TILE, CEILING GRID, GYPSUM BOARD CEILINGS, LIGHTING, DIFFUSER GRILLES ETC. SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL CEILINGS ARE BETWEEN APPROXIMATELY 8 FEET AND 10 FEET AFF. NEW CEILING HEIGHTS TO MATCH EXISTING U.N.O.
- CONTRACTOR SHALL RESERVE/SALVAGE EXISTING UNDAMAGED DEMOLISHED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED OR REMOVED AND REUSED. REPLACED TILE SHALL MATCH EXISTING.
- THE ARRANGEMENT/LOCATION OF ALL LIGHTS, EXIT SIGNS, SPRINKLER HEADS SHALL BE THE SAME AS THAT EXISTING UNLESS NOTED OTHERWISE. SEE MEP DWGS FOR DIFFUSERS AND OTHER INFORMATION.
- UNLESS NOTED OTHERWISE NEW CEILING GRID PATTERN SHALL MATCH THOSE EXISTING IN THE SPACE. CONTRACTOR SHALL FIELD VERIFY ALL LAYOUTS.
- CONTRACTOR SHALL FIELD VERIFY ALL CEILING LAYOUTS & REPORT DISCREPANCIES TO THE OWNER.
- NOT USED

**REFLECTED CEILING PLAN DEMOLITION KEY NOTES**

- KEYNOTE TAG
- REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN GRID & DISPOSE OF TILES.
- CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS
- REMOVE EXISTING CURVED VAULTED PTD CEILING. EXTEND OF DEMOLITION SHOULD BE TO EXISTING REVEALS.
- REMOVE AND RESERVE EXISTING CEILING TILE AS REQUIRED FOR WORK ABOVE. REINSTALL RESERVED EXISTING CEILING TILE AFTER WORK.
- EXIST SKYLIGHT TO REMAIN.
- EXISTING ACOUSTIC TILE SOFFIT TO BE REPLACED PER KEYNOTE A.
- REMOVE EXISTING 2' X 2' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
- REMOVE EXISTING 2' X 4' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS AND LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
- REMOVE EXISTING PAINTED GYPSUM BOARD CEILING OR SOFFIT AT WALL. SPRINKLERS HEADS, LIGHTING, SENSORS, ETC. TO REMAIN OR TO BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
- REMOVE EXISTING ACOUSTIC CEILING TILE AS REQUIRED FOR REMOVAL OF LINEAR DIFFUSER. RESERVE TILE FOR TRIMMING AND REINSTALLATION. SEE MEP DWGS FOR MORE INFORMATION
- EXTEND EXISTING SPRINKLER HEAD TO BELOW CEILING LEVEL. LOCATIONS ARE APPROXIMATE.
- REMOVE EXISTING ACOUSTIC CEILING TILE. CEILING GRID TO REMAIN. RESERVE FOR REINSTALLATION.
- REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN ALL GRID. RESERVE TILES FOR REUSE IN OTHER ROOMS.
- REMOVE EXISTING R-30 BATT INSULATION FROM UNDERSIDE OF JOIST/ABOVE CEILING.
- EXISTING CEILING MTD CAMERAS TO BE TEMPORALLY REMOVED. SAFE FOR REINSTALLATION.
- EXISTING WALL MTD CAMERAS TO BE TEMPORALLY REMOVED. SAVE FOR REINSTALLATION.
- REMOVE CURVED GYP BD. CEILING AND FRAMING.



**1 SECOND FLOOR EAST REFLECTED CEILING DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



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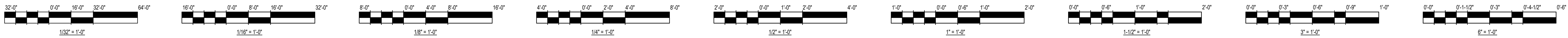
PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

PBC Contract No: C1606

Project No.: 04044

Title: **SECOND FLOOR EAST REFLECTED CEILING DEMO PLAN**

Sheet: **ACD-102E**



### PLUMBING MATERIAL LIST

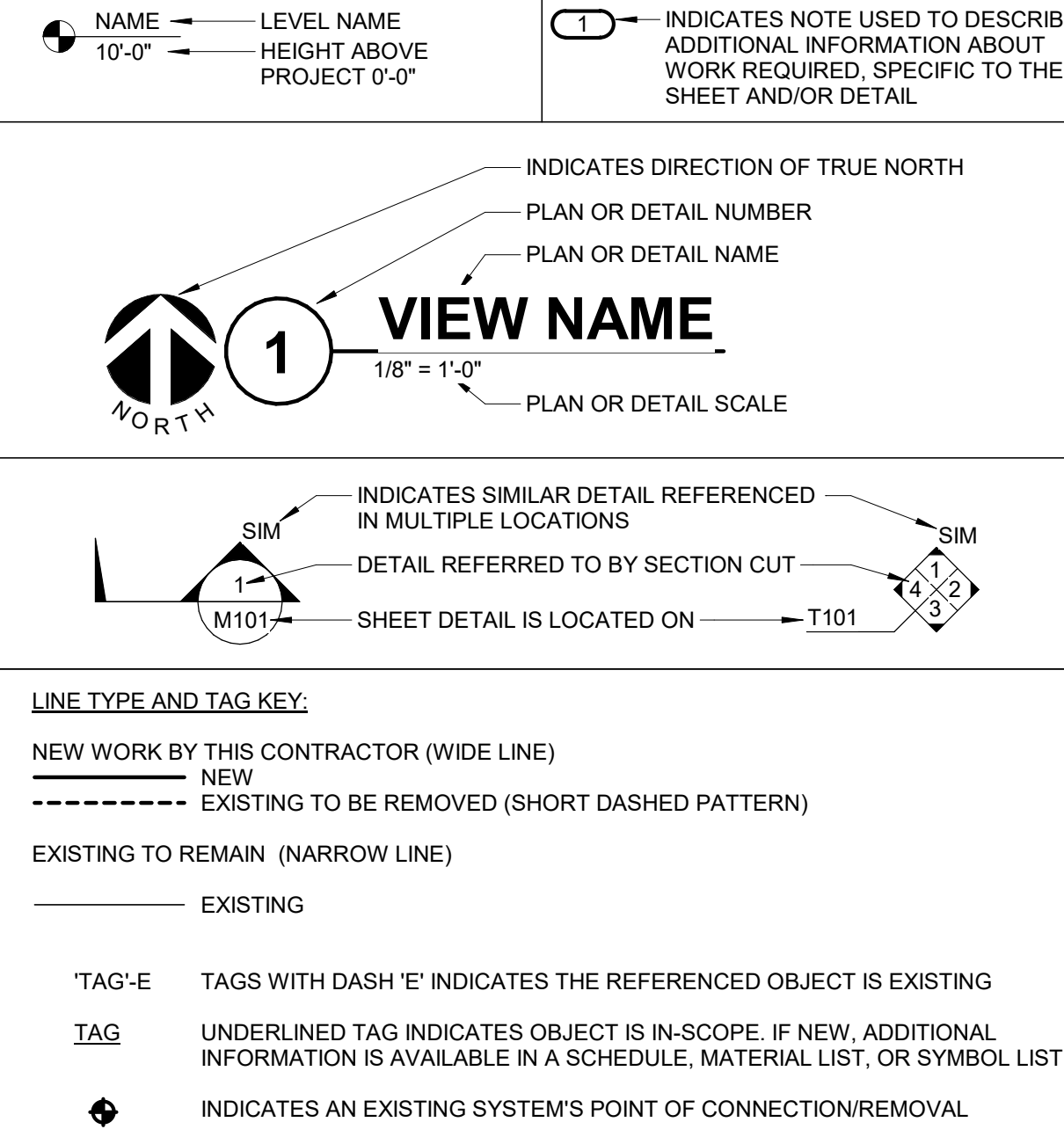
TAG NAME	DESCRIPTION	MANUFACTURER AND MODEL
HB-1	HOSE BIBB - FREEZELESS ROOF HYDRANT, ONE PIECE VARIABLE FLOW PLUNGER WITH ROD GUIDE, BUILT-IN VENT FOR AUTOMATIC DRAINING, CAST IRON FLANGED HYDRANT SUPPORT WITH UNDERDECK FLANGE, WELL SEAL BETWEEN SUPPORT AND HYDRANT PIPE WITH EPDM BOOT COVER.  PROVIDE WITH ASSE 1052 APPROVED, FIELD TESTABLE, DOUBLE CHECK VALVE BACK FLOW PREVENTER WITH 3/4" THREADED HOSE CONNECTION AT HYDRANT OUTLET.	PRIER (P-RH2), WOODFORD (RH2)
RD-1	ROOF DRAIN - COMBINATION PRIMARY/SECONDARY ROOF DRAIN SYSTEM, CAST IRON BODY, SECURED CAST IRON CONE, 1" ROUND, BOTTOM OUTLET, FLASHING CLAMP, GRAVEL STOP, UNDERDECK CLAMP, BEARING PAN, 4" TALL EXTERNAL DAM ON SECONDARY ROOF DRAIN, OUTLET SIZE AS LISTED ON DRAWINGS.	ZURN (Z-163), SMITH (1800), WADE (3041), JOSAM (2200), WATTS (RD-250), MFAB (R1150)
SP-1	SUMP PUMP - SIMPLEX SUBMERSIBLE, SINGLE-STAGE, SINGLE SEAL, END-SUCTION PUMP, STAINLESS STEEL FASTENERS, GUARDS AND HANDLES, UL LISTED.  CASING: CAST IRON, INTEGRAL SUPPORT FEET, MINIMUM 1 1/4" VERTICAL DISCHARGE. IMPELLER: CAST IRON STATICALLY AND DYNAMICALLY BALANCED, SEMIOPEN NONCLOG DESIGN, KEYED AND SECURED TO SHAFT, PASSES 1/2" SOLIDS MINIMUM. SHAFT: STEEL OR STAINLESS STEEL WITH FACTORY SEALED, GREASE-LUBRICATED SLEEVE OR BALL BEARINGS, CARBON AND CERAMIC SEAL. MOTOR: 1750 RPM, OIL OR AIR-FILLED, HERMETICALLY SEALED WITH AUTO THERMAL OVERLOAD PROTECTION, THREE CONDUCTOR WATERPROOF POWER CABLE WITH GROUNDING PLUG, MAXIMUM LENGTH 6 FEET PER THE NATIONAL ELECTRICAL CODE, COORDINATE RECEPTACLE LOCATION WITH ELECTRICAL CONTRACTOR.  CAPACITY: 50 GPM, 25 FEET OF HEAD.  ELECTRICAL REQUIREMENTS - 1-1/2 HP, 120V, 1 PHASE.	SUMP PUMP - WEIL (1409), ZOELLER (SERIES 137), BARNES (SE), GOULDS (WE), STANCOR (SE)+, OR APPROVED EQUAL.  CONTROLS - CONNECT TO EXISTING CONTROL PANEL.

#### PLUMBING PIPING MATERIALS:

##### DOMESTIC WATER PIPING, ABOVE GRADE

- Copper Tube: ASTM B88 (ASTM B88M), Type L (Indoor Above Grade Applications).
  - Fittings: ASME B16.18, cast copper alloy or ASME B16.22, wrought copper and bronze.
  - Joints: ASTM B32, alloy Sn95 solder.
  - Bronze Flanges: ASME B16.24, Class 150, with solder-joint ends. Furnish Class 300 flanges if required to match piping.
  - Mechanical Press Sealed Fittings: Double pressed type, NSF 61 and NSF 372 approved or certified, utilizing EPDM, non toxic synthetic rubber sealing elements.
- SHUTOFF VALVES - BALL VALVES
- A. Manufacturers:
- Nibco, Inc. www.nibco.com.
  - Conbraco Industries, Inc., Apollo Div.
  - Crane Company, www.cranecorp.com.
  - Watts Industries, Inc., Water Products Div.
- B. Construction, 4 Inches and Smaller: MSS SP-110, Class 150, 400 psi CWP, bronze or ductile iron body, 304 stainless steel or chrome plated brass ball, regular port, teflon seats and stuffing box ring, blow-out proof stem, lever handle with balancing stops, threaded or grooved ends with union.
- SANITARY WASTE, VENT AND STORM PIPING, ABOVE GRADE
- A. Cast Iron Pipe: ASTM A74, service weight.
- Fittings: Cast iron.
  - Joints: ASTM B 29, pure lead and oakum.

### VIEW KEY



### CONTRACTOR ABBREVIATION KEY

ABBR.	DESCRIPTION:
E.C.	ELECTRICAL CONTRACTOR
F.P.C.	FIRE PROTECTION CONTRACTOR
G.C.	GENERAL CONTRACTOR
M.C.	MECHANICAL CONTRACTOR
P.C.	PLUMBING CONTRACTOR
T.C.	TECHNOLOGY CONTRACTOR
T.C.C.	TEMPERATURE CONTROLS CONTRACTOR

### MECHANICAL RENOVATION NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES

- EXISTING CONDITIONS ARE SHOWN BASED ON INFORMATION OBTAINED FROM FIELD SURVEYS, EXISTING BUILDING DOCUMENTS, AND STAFF. VERIFY EXISTING CONDITIONS AND REPORT ANY CONFLICTS BEFORE PROCEEDING.
- NOT ALL EXISTING DUCTWORK AND PIPING IS SHOWN. VERIFY EXISTING CONDITIONS BEFORE STARTING WORK. NOTIFY ENGINEER OF ANY CONFLICTS WITH NEW WORK.
- FIELD VERIFY THE AVAILABLE CLEARANCES FOR DUCTWORK AND PIPING BEFORE FABRICATION. RISES AND DROPS MAY BE NECESSARY BECAUSE OF EXISTING FIELD CONDITIONS.
- CONTRACTOR SHALL FIELD VERIFY ACCESSIBILITY TO THE AREA OF THEIR WORK PRIOR TO BIDDING.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CUTTING, REMOVAL AND PATCHING OF ROOFS, WALLS, AND FLOORS ASSOCIATED WITH WORK BY ALL CONTRACTORS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILINGS, CEILING TILES, AND CEILING GRIDS ASSOCIATED WITH AREAS OF WORK BY ALL TRADES.
- WHERE EXISTING MECHANICAL SYSTEMS ARE LOCATED IN AREAS THAT CONFLICT WITH NEW EQUIPMENT, PIPING, OR DUCTWORK TO BE INSTALLED, EACH CONTRACTOR SHALL EITHER ARRANGE NEW EQUIPMENT, PIPING, OR DUCTWORK IN SUCH A FASHION THAT IT DOES NOT CONFLICT WITH EXISTING SYSTEMS, OR REWORK EXISTING MECHANICAL SYSTEMS TO ALLOW FOR INSTALLATION OF NEW EQUIPMENT, PIPING, OR DUCTWORK.
- PROVIDE TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SYSTEMS IN SERVICE DURING CONSTRUCTION. MAINTAIN ACCESS TO EXISTING MECHANICAL INSTALLATIONS THAT REMAIN ACTIVE.
- OBTAIN PERMISSION FROM OWNER BEFORE SHUTTING DOWN ANY SYSTEM FOR ANY REASON. MAINTAIN SERVICE TO ALL COMPONENTS THAT ARE TO REMAIN UNTIL NEW SYSTEMS ARE INSTALLED.
- MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL NEW SYSTEM IS COMPLETE AND READY FOR TIE IN AND SWITCHOVER. DRAIN SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. OBTAIN PERMISSION FROM OWNER BEFORE PARTIALLY OR COMPLETELY DRAINING SYSTEM. MAKE CHANGEOVER TO NEW SYSTEMS WITH MINIMUM OUTAGE. WITH OWNER PERMISSION SYSTEMS MAY BE DISABLED DURING OFF SEASON.
- DISCONNECT AND REMOVE MECHANICAL DEVICES AND EQUIPMENT SERVING EQUIPMENT THAT HAS BEEN REMOVED.

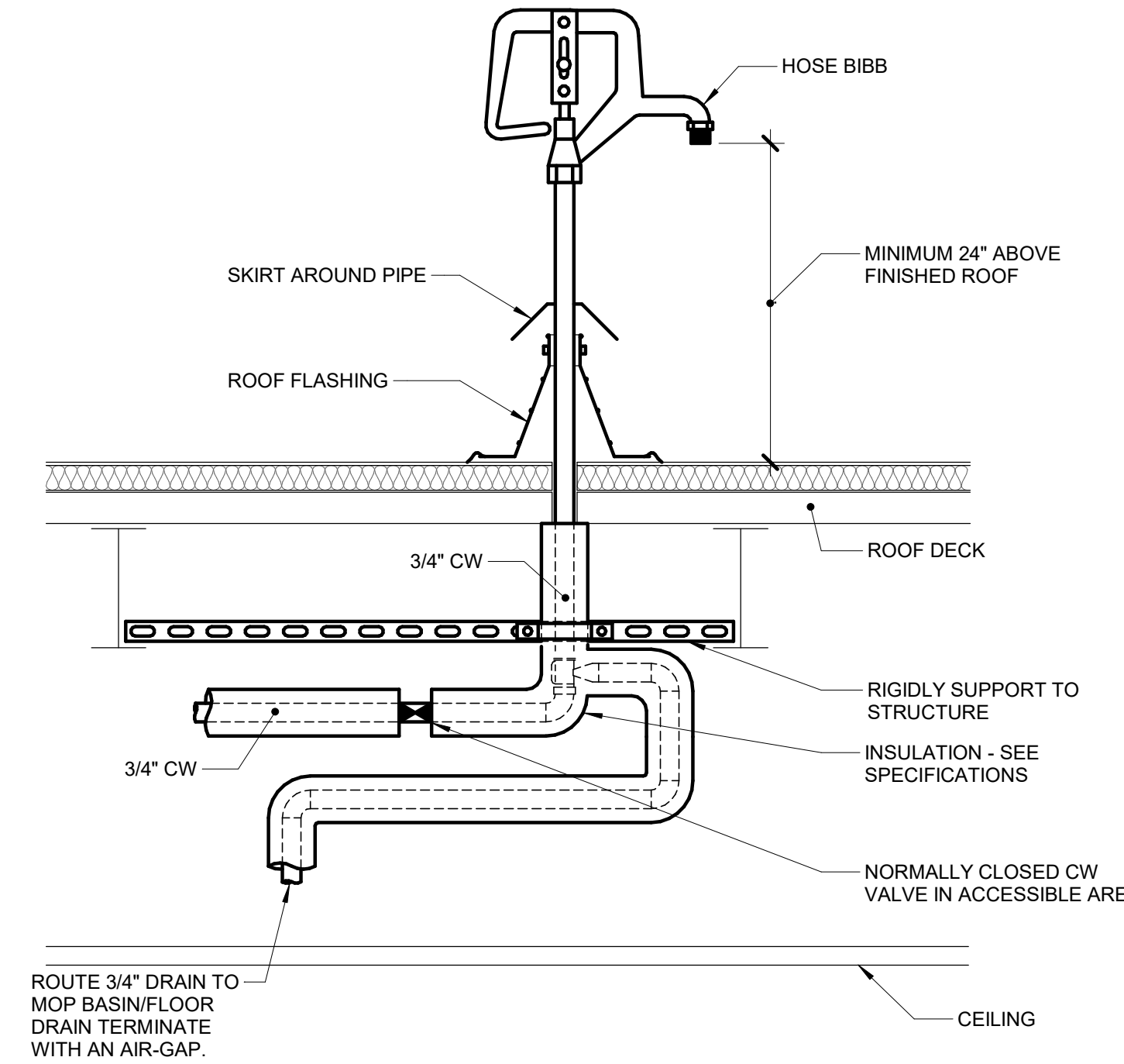
### PLUMBING GENERAL NOTES:

- THE SYMBOLS AND THE MATERIAL LIST ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY QUANTITIES AND FURNISH ALL MATERIALS REQUIRED FOR FULLY OPERATIONAL SYSTEMS, WHETHER SPECIFIED OR NOT.
- CATALOG NUMBERS SHALL NOT BE CONSIDERED COMPLETE, BUT ARE GIVEN AS AN AID TO THE CONTRACTOR AND TO INDICATE THE QUALITY REQUIRED. CONTRACTOR IS RESPONSIBLE FOR A COMPLETE DESCRIPTION OF MATERIAL ON THESE DRAWINGS AND IN THE SPECIFICATIONS BEFORE ORDERING. THE DESCRIPTION OF THE MATERIAL TAKES PRECEDENCE OVER THE CATALOG NUMBER. THE FIRST MANUFACTURER LISTED IS THE BASIS OF DESIGN.
- CONTRACTOR SHALL VERIFY THAT FIXTURES SUPPLIED ARE APPROVED PER ALL APPLICABLE STATE, LOCAL AND GOVERNING AUTHORITIES.
- ALL FIXTURES SHALL CONFORM TO FEDERAL ACT S.3874
- INVERT ELEVATIONS FROM EXISTING DRAWINGS AND MAY NOT BE ACCURATE. VERIFY ALL ELEVATIONS BEFORE BEGINNING WORK.
- VERIFY UNDERGROUND PIPE SIZES, INVERT ELEVATIONS, AND LOCATIONS PRIOR TO BEGINNING ANY WORK.
- REFER TO THE PLUMBING ROUGH-IN SCHEDULE FOR THE SIZES OF BRANCH PIPES TO PLUMBING FIXTURES.
- EXISTING CONDITIONS ON DEMOLITION PLANS ARE PROVIDED TO INDICATE THE GENERAL SCOPE OF ITEMS TO BE REMOVED. REFER TO SPECIFICATION SECTION 22 05 05 FOR ADDITIONAL DEMOLITION INFORMATION.
- P.C. SHALL CUT AND PATCH EXISTING AS REQUIRED FOR NEW OR DEMOLITION WORK UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTION 22 05 05 FOR ADDITIONAL INFORMATION.

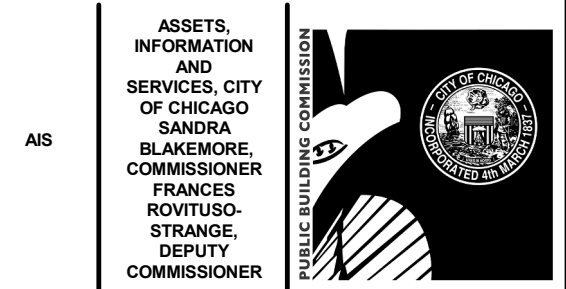
### MECHANICAL GENERAL NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES.

- DRAWINGS SHOWING LOCATIONS OF EQUIPMENT, DUCTWORK, PIPING, ETC. ARE DIAGRAMMATIC AND MAY NOT ALWAYS REFLECT EXACT INSTALLATION CONDITIONS. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF DUCTWORK, PIPING, EQUIPMENT, ETC., AND MAY NOT INCLUDE ALL OFFSETS AND FITTINGS REQUIRED FOR COMPLETE INSTALLATION. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND THE WORK OF OTHERS WILL PERMIT.
- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CLEARANCES FROM ARCHITECTURAL, STRUCTURAL, SUBMITTALS, AND OTHER APPROPRIATE DRAWINGS OR PHYSICALLY AT SITE. REVIEW ALL DRAWINGS, INCLUDING THOSE OF OTHER TRADES.
- COORDINATE ALL WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO PROVIDE CLEARANCES REQUIRED FOR OPERATION, MAINTENANCE, CODE COMPLIANCE, AND TO VERIFY NON-INTERFERENCE WITH OTHER WORK. DO NOT FABRICATE PRIOR TO VERIFICATION OF NECESSARY CLEARANCES FOR ALL TRADES. BRING ANY INTERFERENCES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH FABRICATION OR EQUIPMENT ORDERS.
- REVIEW SPACE REQUIREMENTS OF EQUIPMENT SPECIFIED OR SUBSTITUTED AND MAKE REASONABLE ACCOMMODATIONS IN LAYOUT AND POSITIONING TO PROVIDE PROPER ACCESS.
- ANY CHANGES REQUIRED TO ELIMINATE CONFLICTS OR THAT RESULT FROM A FAILURE TO COORDINATE SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR EXPENSE TO OTHERS.
- EACH CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ELECTRICAL CHANGES REQUIRED FOR EQUIPMENT PROPOSED THAT DIFFERS FROM THE BASIS OF DESIGN.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLAN, ELECTRICAL, TECHNOLOGY AUDIOVISUAL, AND OTHER MECHANICAL PLANS FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES, OTHER THAN SPRINKLERS.
- EACH CONTRACTOR IS RESPONSIBLE FOR DAMAGE CAUSED BY THEIR ACTIONS TO WALLS, FLOORS, CEILINGS, AND ROOFS. THE CONTRACTOR WHOSE WORK CAUSES DAMAGE IS RESPONSIBLE FOR PATCHING TO MATCH ORIGINAL CONSTRUCTION, FIRE RATING, AND FINISH.
- IN AREAS WITH DRYWALL CEILINGS COORDINATE LOCATIONS OF ACCESS PANELS FOR ACCESS TO VALVES, DUCTWORK ACCESSORIES, DAMPERS, ETC.
- SEAL ALL FLOOR, WALL, AND ROOF PENETRATIONS AIRTIGHT WHERE CONDUITS, PIPING, AND DUCTS PENETRATE. PENETRATIONS THROUGH EXTERIOR WALLS AND ROOF SHALL BE SEALED AIRTIGHT WITH WATERPROOFING MATERIALS RECOMMENDED BY MANUFACTURER FOR OUTDOOR USE.
- CALLK ALL PIPE AND DUCT PENETRATIONS OF FULL HEIGHT NON-FIRE RATED WALL, PARTITION, FLOOR, AND ROOF ASSEMBLIES. THIS IS ESSENTIAL TO PREVENT NOISE TRANSMISSION FROM ONE ROOM TO ANOTHER AND TO PROVIDE THE DESIRED NC LEVELS WITHIN ROOMS.
- WHERE PIPES AND DUCTS ARE SHOWN TO PENETRATE FLOORS, PROVIDE SLEEVED OPENINGS WITH THE TOP EDGE RAISED ABOVE FLOOR SURFACE IN ACCORDANCE WITH ALL RELEVANT SPEC SECTIONS. SEAL SLEEVE PERIMETER TO BE WATERTIGHT.
- EQUIPMENT SIZES AND SERVICE CLEARANCE REQUIREMENTS VARY AMONG DIFFERENT MANUFACTURERS. CONSULT APPROVED SHOP DRAWINGS FOR EQUIPMENT SIZES AND REQUIRED SERVICE CLEARANCES. COORDINATE WITH LAYOUT OF EQUIPMENT PADS, PIPING, DUCTWORK, ETC.
- DO NOT BLOCK TUBE PULL OR EQUIPMENT SERVICE CLEARANCES.
- MAINTAIN A MINIMUM WORKING CLEARANCE OF 3'-6" IN FRONT OF ALL ELECTRICAL EQUIPMENT REQUIRING MAINTENANCE, INSPECTION, AND TESTING INCLUDING BUT NOT LIMITED TO PANELS, DISTRIBUTION PANELS, SWITCHBOARDS, MOTOR CONTROL CENTERS, TRANSFORMERS, EQUIPMENT DISCONNECTS AND STARTERS.
- MAINTAIN THE DEDICATED ELECTRICAL EQUIPMENT SPACE DEFINED BY THE WIDTH / DEPTH OF ELECTRICAL EQUIPMENT MEASURED FROM THE FLOOR TO A HEIGHT 6'-0" ABOVE THE EQUIPMENT OR THE STRUCTURAL CEILING, WHICHEVER IS LOWER. SYSTEMS FOREIGN TO THE ELECTRICAL DISTRIBUTION SYSTEM ARE NOT ALLOWED IN THE DEDICATED ELECTRICAL SPACE INCLUDING: DUCTWORK, PIPING, ETC.
- PROVIDE CONCRETE EQUIPMENT PAD FOR ALL FLOOR MOUNTED EQUIPMENT. PAD SHALL EXTEND MINIMUM 6" BEYOND ALL SIDES OF EQUIPMENT.
- DO NOT SUPPORT EQUIPMENT, PIPING, OR DUCTWORK FROM METAL DECKING OR OTHER NON-STRUCTURAL BUILDING ELEMENTS. ANCHORS EMBEDDED IN CONCRETE SHALL BE CRACKED CONCRETE APPROVED IN ACCORDANCE WITH SPECIFICATIONS.



### ROOF HOSE BIBB



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0 1 2  
REF. SCALE IN INCHES PROJECT #22011057.01

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Mark	Description	Date
3	ADDENDUM #3	12.29.23
1	ISSUE FOR BID	11.29.23

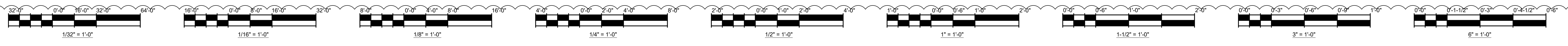
PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

PBC Contract No: C1606

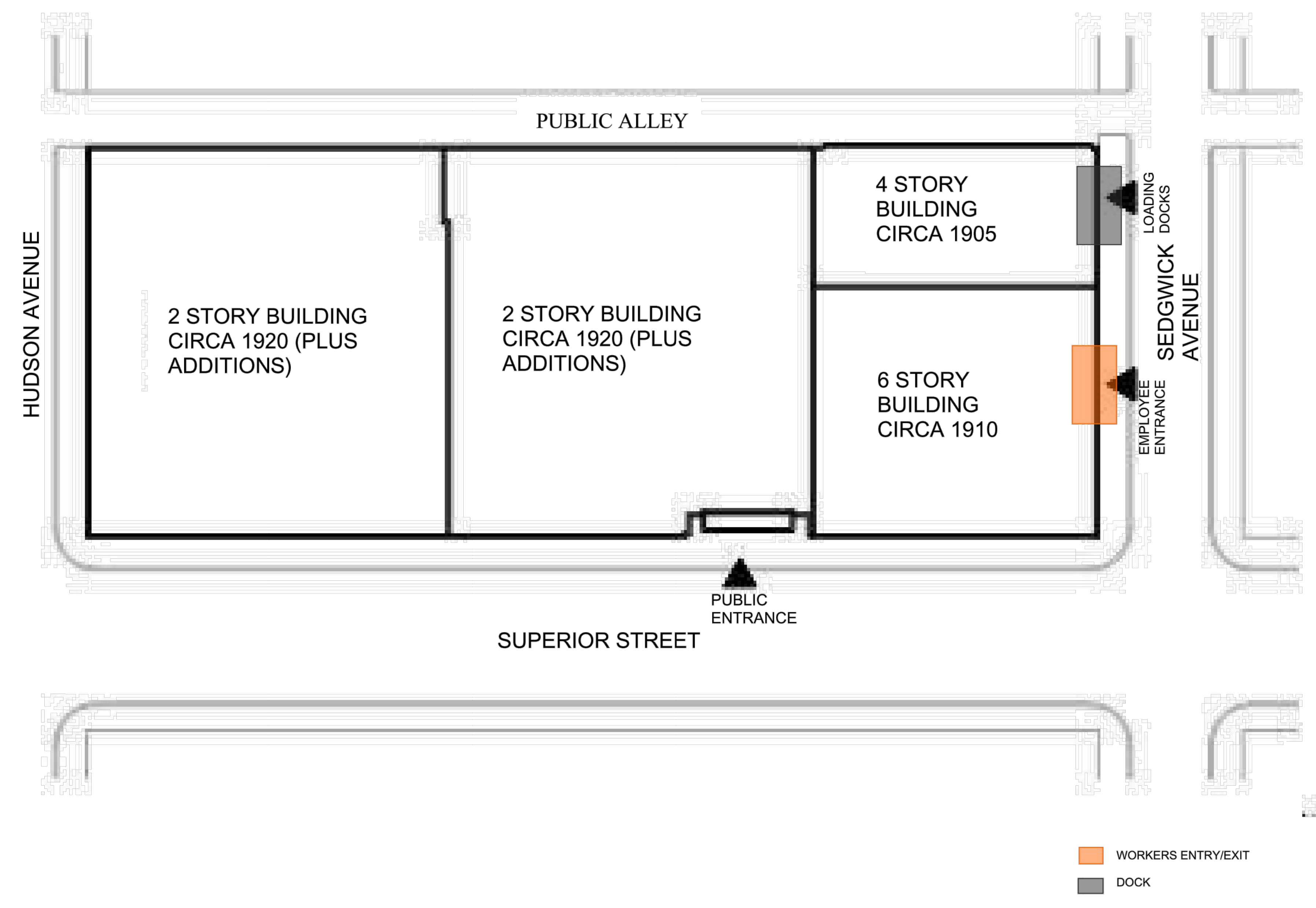
Project No: 04044

Title  
PLUMBING COVERSHEET

Sheet  
**P-000**



**SITE PLAN**



WORKERS ENTRY/EXIT  
 DOCK

**BUILDING PERMIT**  
 - CONTRACTOR MUST OBTAIN ALL REQUIRED PERMITS AS NECESSARY TO PERFORM THE WORK  
 - BUILDING PERMIT DOCUMENTATION ARE UNDER REVIEW BY THE DEPARTMENT OF BUILDINGS. THE BUILDING PERMIT IS #101038941.  
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE APPLICABLE INFORMATION BELOW WITHIN TWO (2) WEEKS OF NOTICE OF AWARD ("NOA"), FOR PERMIT APPROVAL. BUILDING PERMIT IS ANTICIPATED BY MARCH 29, 2023.

**REQUIREMENTS WITHIN TWO WEEKS OF NOTICE OF AWARD:**

- GENERAL CONTRACTOR'S LETTER:**  
 - WRITTEN ON GC LETTERHEAD.  
 - GC'S WRITTEN CONFIRMATION OF CONTRACT AWARD (INCLUDE COPY OF "NOA").  
 - INCLUDE GC'S LICENSE NUMBER, WITH EXPIRATION DATE.  
 - INCLUDE CURRENT COPY OF GC'S INSURANCE CERTIFICATE.
- HVAC LETTER:**  
 - WRITTEN ON HVAC LETTERHEAD.  
 - HVAC'S WRITTEN CONFIRMATION OF CONTRACT AWARD (INCLUDE COPY OF "NOA").  
 - INCLUDE HVAC'S LICENSE NUMBER, WITH EXPIRATION DATE. ALSO, ATTACH A COPY OF HVAC'S "1010" BUSINESS LICENSE. THE 1010 BUSINESS LICENSE ALLOWS THE HVAC CONTRACTOR TO PERFORM COMMERCIAL WORK.  
 - INCLUDE CURRENT COPY OF SUBCONTRACTOR'S INSURANCE CERTIFICATE.
- ELECTRICAL LETTER:**  
 - WRITTEN ON ELECTRICAL LETTERHEAD.  
 - ELECTRICAL'S WRITTEN CONFIRMATION OF CONTRACT AWARD (INCLUDE COPY OF "NOA").  
 - INCLUDE ELECTRICAL'S LICENSE NUMBER, WITH EXPIRATION DATE.  
 - INCLUDE CURRENT COPY OF SUBCONTRACTOR'S INSURANCE CERTIFICATE.
- PLUMBING LETTER:**  
 - WRITTEN ON PLUMBING LETTERHEAD.  
 - PLUMBING'S WRITTEN CONFIRMATION OF CONTRACT AWARD (INCLUDE COPY OF "NOA").  
 - INCLUDE PLUMBING'S LICENSE NUMBER, WITH EXPIRATION DATE.  
 - INCLUDE CURRENT COPY OF SUBCONTRACTOR'S INSURANCE CERTIFICATE.
- ROOFING LETTER:**  
 - WRITTEN ON ROOFING LETTERHEAD.  
 - ROOFING'S WRITTEN CONFIRMATION OF CONTRACT AWARD (INCLUDE COPY OF "NOA").  
 - INCLUDE ROOFING'S LICENSE NUMBER, WITH EXPIRATION DATE.  
 - INCLUDE CURRENT COPY OF SUBCONTRACTOR'S INSURANCE CERTIFICATE.

**MILESTONE 1:** PRE-CONSTRUCTION, INCLUDING PERMITTING, CONSTRUCTION SUBMITTALS, MATERIAL AND EQUIPMENT PROCUREMENT, SCHEDULE PREPARATION, MOBILIZATION, ETC.: COMPLETION 3/29/2024.  
 - CONTRACTOR SHALL ASSUME BUILDING PERMIT APPROVAL BY MARCH 29, 2024.  
 - PROVIDE CRITICAL SUBMITTALS FOR THE NEW CHILLERS, AHUs, AND VFDs FOR THE AOR'S REVIEW WITHIN THE TWO (2) WEEKS OF NOTICE OF AWARD.

**SUBSTANTIAL COMPLETION:** ALL WORK, AS SPECIFIED ON THE CONTRACT DOCUMENTS, COMPLETION 12/31/2024.  
 - PROVIDE TEMPORARY HEATING/COOLING AS NEEDED THROUGH DECEMBER 31, 2024. THE CONTRACTOR TO PROVIDE A MINIMUM OF 2 MONTH NOTICE PRIOR TO ANY MEP SHUTDOWN TO PERFORM THE WORK.  
 - WORK TO INCLUDE, BUT NOT NECESSARILY LIMITED TO:  
 1. HVAC SYSTEM UPGRADE. 2. FIRE ESCAPE REMEDIATION WORK TO MEET CODE. 3. ELEVATOR RENOVATIONS TO MEET CODE. 4. ROOF REPLACEMENT 5. BAS REPLACEMENT

**GENERAL NOTES:**

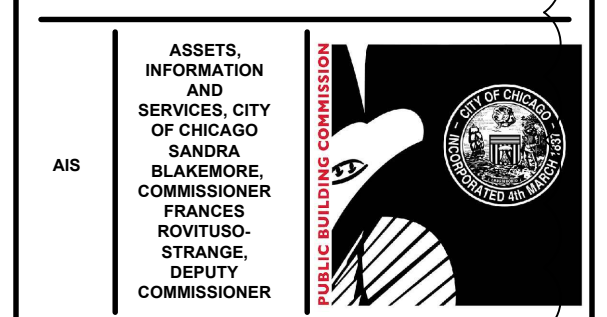
- THE PROPOSED LOGISTICS, PHASING, AND SITE UTILIZATION PLAN ("PLAN") IS INTENDED TO ADVISE BIDDERS REGARDING PROJECT PRIORITIES, ANY CONSTRAINTS, MOBILIZATIONS, OVERALL DURATIONS, DELIVERY, ETC. BIDDERS SHALL BE RESPONSIBLE FOR PROPERLY COORDINATING AND EXECUTING ALL WORK, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. UPON CONTRACT AWARD, CONTRACTOR SHALL PREPARE AND SUBMIT ITS PROPOSED PLAN AND NARRATIVE WITHIN TWO (2) WEEKS OF NOTICE OF AWARD, FOR REVIEW AND APPROVAL.
- BUILDING PERMIT APPROVAL IS ANTICIPATED ON MARCH 29, 2024 (BUILDING PERMIT #101038941).
- THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.
- CONTRACTOR SHALL NOT IMPACT THE FACILITY'S OPERATIONS AT ANY TIME.
- CONTRACTOR SHALL SUBMIT PROJECT SPECIFIC QUALITY AND SAFETY PLANS WITHIN THIRTY (30) DAYS OF CONTRACT AWARD (NOA), FOR REVIEW AND RECORD.
- CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, AND SEQUENCES FOR IMPLEMENTATION OF THE WORK WITHIN AREAS DESIGNATED. THIS INCLUDES BUT NOT LIMITED TO, THE DETERMINATION OF THE NEED FOR (AND DESIGN OF) ANY AND ALL SHORING AND BRACING, UNDERPINNING, DEWATERING, SOIL STABILIZATION, SETTLEMENT MONITORING, TEMPORARY FACILITIES, PERMITS, ETC.
- WHERE PROPERTY, STRUCTURES, OR PUBLIC WAY ARE DISTURBED AND/OR DAMAGED AS A RESULT OF THE CONTRACTOR'S MEANS AND METHODS, TECHNIQUES, OR TEMPORARY FACILITIES, THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL ASPECTS OF THE BUILDING, SITE, AND PUBLIC WAY TO ORIGINAL CONDITION TO THE SATISFACTION OF THE AUTHORIZED COMMISSION REPRESENTATIVE AND USER AGENCY (AIS).
- CONTRACTOR SHALL COORDINATE AND MAINTAIN UTILITY SERVICES INCLUDING, BUT NOT LIMITED TO, HEAT, ELECTRIC POWER, AND WATER SERVICES DURING ALL PHASES OF CONSTRUCTION THROUGHOUT THE ENTIRE BUILDING.
- EXISTING COOLING AND HEATING SYSTEM: MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL THE SYSTEM IS COMPLETE AND READY FOR SERVICE. DRAIN SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. OBTAIN PERMISSION FROM THE OWNER AT LEAST 2 MONTHS BEFORE PARTIALLY OR COMPLETELY DRAINING SYSTEM. MINIMIZE OUTAGE DURATION. OUTAGE TO COOLING OR HEATING SYSTEMS SHALL BE LIMITED TO OFF HOURS. DURING TIMES WHEN THE SYSTEM IS ACTIVE, WITH PROPER SCHEDULING, COOLING CAN BE TAKEN OUT OF SERVICE WHEN OUTSIDE AIR TEMPERATURES ARE BELOW 55°F AND HEATING CAN BE TAKEN OUT OF SERVICE WHEN OUTSIDE AIR TEMPERATURES ARE ABOVE 50°F. REFER TO SPECIFICATION 23 05 05 HVAC DEMOLITION FOR REMODELING FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY FACILITIES, SITE FENCING, GATES, ETC. NECESSARY FOR EXECUTION OF THE WORK.
- ALL EXITS SERVING THE EXISTING BUILDING AND SAFE PASSAGE TO THE PUBLIC WAY SHALL REMAIN CLEAR AND UNOBSTRUCTED.
- CONTRACTOR TO PROVIDE PROTECTED ACCESS AND TEMPORARY FENCING AS REQUIRED.
- CONTRACTOR SHALL COMPLY WITH THE CITY'S SITE CLEANLINESS ORDER.
- TEMPORARY POWER IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE THEIR OWN FOR CONSTRUCTION.
- TELECOMMUNICATION SERVICES WILL NOT BE PROVIDED, CONTRACTOR SHALL PROVIDE SERVICE FOR THEMSELVES AND PBC.
- A FIELD OFFICE FOR THE CONTRACTOR, COMMISSION REPRESENTATIVE, AND ARCHITECT OF RECORD ARE AVAILABLE AT THE CENTRAL BUILDING FACILITY (BASEMENT). THE DESIGNED OFFICE WILL BE AVAILABLE THROUGHOUT THE PROJECT DURATION. CONTRACTORS SHALL BE RESPONSIBLE FOR PROPER MAINTENANCE AND ANY REQUIRED OFFICE EQUIPMENT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL MAINTAIN THE COMMISSION REPRESENTATIVE'S AND ARCHITECT OF RECORD FIELD OFFICE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ITS ON SITE FIELD OFFICES, AS NOTED ON THE PHASE AND LOGISTIC PLAN 3.
- ALL WORKERS MUST ENTER AND EXIT THROUGH THE 740 N. SEDGWICK ENTRY. THE BUILDING ENGINEER WILL PROVIDE ACCESS.
- DAILY SIGN-IN IS REQUIRED. CONTRACTOR TO PROVIDE A COPY OF THE SIGN-IN SHEET TO SECURITY.
- ALL WORKERS TO WEAR PERSONAL, PROTECTIVE EQUIPMENT AT ALL TIMES.
- TRUCK CRANES AND SIMILAR DEVICES ARE CONSIDERED "TOOLS AND EQUIPMENT" NOT TEMPORARY FACILITIES, AND NOT PROVIDED BY AIS OR TRANSWESTERN.
- THROUGHOUT CONSTRUCTION, MAINTAIN EXISTING EGRESS ROUTES FOR BUILDING OCCUPANTS AT 740 N. SEDGWICK AVE. AND 400 W. SUPERIOR ST.
- CONTRACTOR SHALL ENSURE EMERGENCY ROUTES ARE IDENTIFIED AND MAINTAINED.
- ACCESS SHALL BE GRANTED TO BUILDING'S GARBAGE REMOVAL THROUGHOUT CONSTRUCTION.
- SMALL TO MEDIUM SIZE EQUIPMENT SHALL BE BROUGHT IN THROUGH THE LOADING DOCK. BIG SIZE EQUIPMENT FOR THE ROOF TO BE BROUGHT UP VIA A CRANE.
- PARKING WILL NOT BE PROVIDED. PUBLIC PAY PARKING IS AVAILABLE ON SUPERIOR STREET, HUDSON AVENUE, SEDGWICK AVENUE, AND ADJACENT STREETS.

28. THE PROJECT INCLUDES 3 ELEVATORS (FREIGHT AND 2 PASSENGER ELEVATORS). THE FREIGHT ELEVATOR AND PASSENGER ELEVATOR (CAR 1) IS AVAILABLE FOR THE CONTRACTOR'S USE. PASSENGER ELEVATOR (CAR 2) IS NOT AVAILABLE FOR THE CONTRACTOR'S USE. THE FREIGHT ELEVATOR ACCESSES THE BASEMENT, 1ST, AND 2ND FLOORS ONLY. THE FREIGHT ELEVATOR IS AVAILABLE FOR THE CONTRACTOR'S USE DURING THE PROJECT. THE PASSENGER ELEVATOR (CAR 1) ACCESSES THE 1ST THROUGH 6TH FLOORS. THE ELEVATOR IS NOT AVAILABLE FOR THE CONTRACTOR'S USE FROM 8:00AM TO 9:30AM AND 4:00PM TO 4:30PM DAILY (MONDAY THROUGH FRIDAY). THE ELEVATOR'S CAPACITY IS 3,500LBS. CONTRACTOR SHALL NOT EXCEED THE ELEVATOR'S WEIGHT RESTRICTIONS. THE ELEVATOR'S DIMENSIONS ARE 68" L X 78" W X 99" H. CONTRACTOR SHALL PROPERLY MAINTAIN ANY/ALL EXISTING ELEVATOR PROTECTION AT ALL TIMES, INCLUDING WALL PADDING, FLOOR PROTECTION, ETC. UPON COMPLETION OF THE WORK, CONTRACTOR SHALL TEST THE ELEVATOR, AS NEEDED, TO ENSURE PROPER FUNCTION AND OPERATIONS. THE ELEVATOR'S SERVICE PROVIDER IS PARKWAY ELEVATORS. THE ELEVATOR REPRESENTATIVE'S CONTACT INFORMATION IS JOHN POSLUSZNY: JP@PARKWAYELEVATORS.COM AND THE GENERAL CONTACT INFORMATION IS INFO@PARKWAYELEVATORS.COM

29. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY FACILITIES INCLUDING AND NOT LIMITED TO RESTROOMS, HAND WASHING STATIONS, ETC.

30. PRIOR WRITTEN APPROVAL IS REQUIRED FOR ACCESS TO THE INSPECTOR GENERAL'S OFFICE (IG). CONTRACTOR SHALL SUBMIT IDENTIFICATION OF ALL TRADES THAT MAY REQUIRE ACCESS TO THE IG OFFICE TWO (2) WEEKS IN ADVANCE OF ANY PLANNED WORK, FOR APPROVAL.

31. PROJECT TO BE SUBSTANTIALLY COMPLETED ON 12/31/2024.



**CIP - Central Hearing Facility Roof and MEP Upgrades**

400 W. SUPERIOR  
 CHICAGO, IL 60654

**PUBLIC BUILDING COMMISSION**  
 CITY OF CHICAGO, MAYOR BRANDON JOHNSON

**Architect of Record:**  
 RADA ARCHITECTS LTD.

ADDRESS: 233 N. MICHIGAN AVE., CHICAGO, ILLINOIS 60601  
 PHONE: 312.856.1970  
 FAX: 312.856.1978  
 WWW.RADA-ARCH.COM

**IMEG Chicago, IL Structural Engineers of Record**

**IMEG Chicago, IL MEPP Engineers of Record**

**LERCH BATES Chicago, IL Elevator Consultant**

**IRCA Chicago, IL Roofing Consultant**

**VERDES ENVIRONMENTAL SOLUTIONS Chicago, IL Environmental Consultant**

Mark	Description	Date
△	ADDENDUM NO. 3	12/29/22
△	ADDENDUM NO. 1	12/21/23

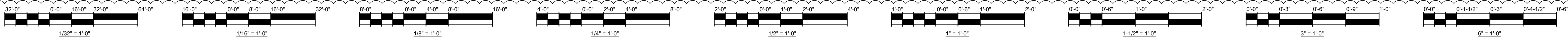
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PBC Contract No: C1606  
 Project No.: 04044

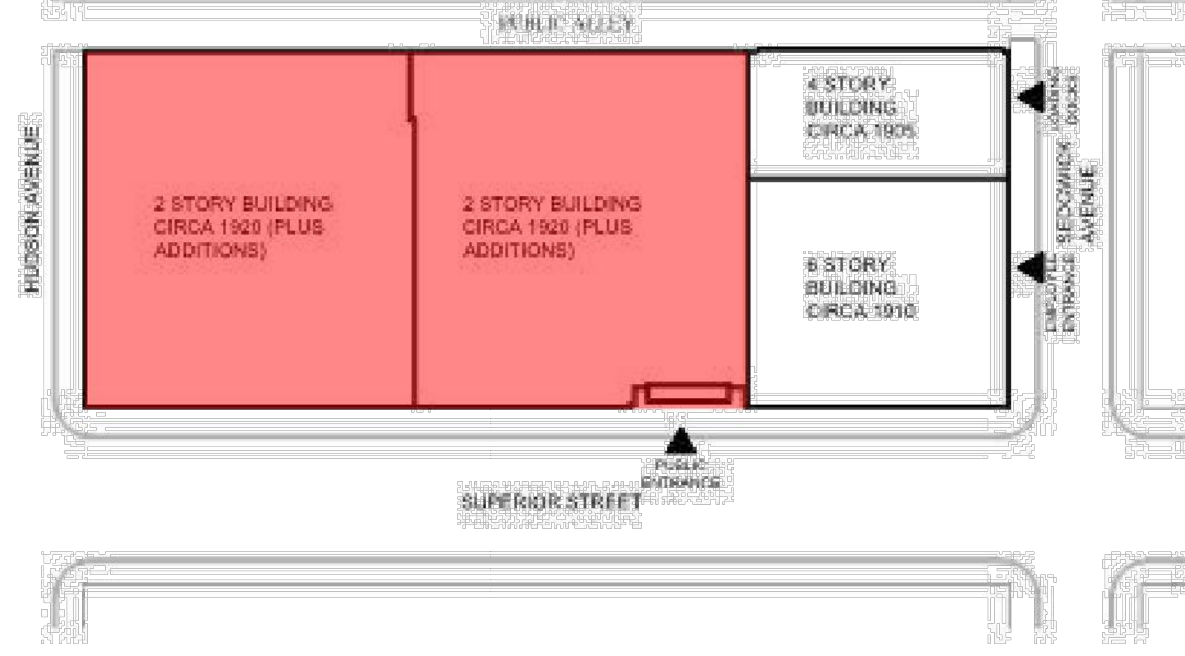
Title  
**PHASING & LOGISTICS PLAN 1**

Sheet  
**PH-1**

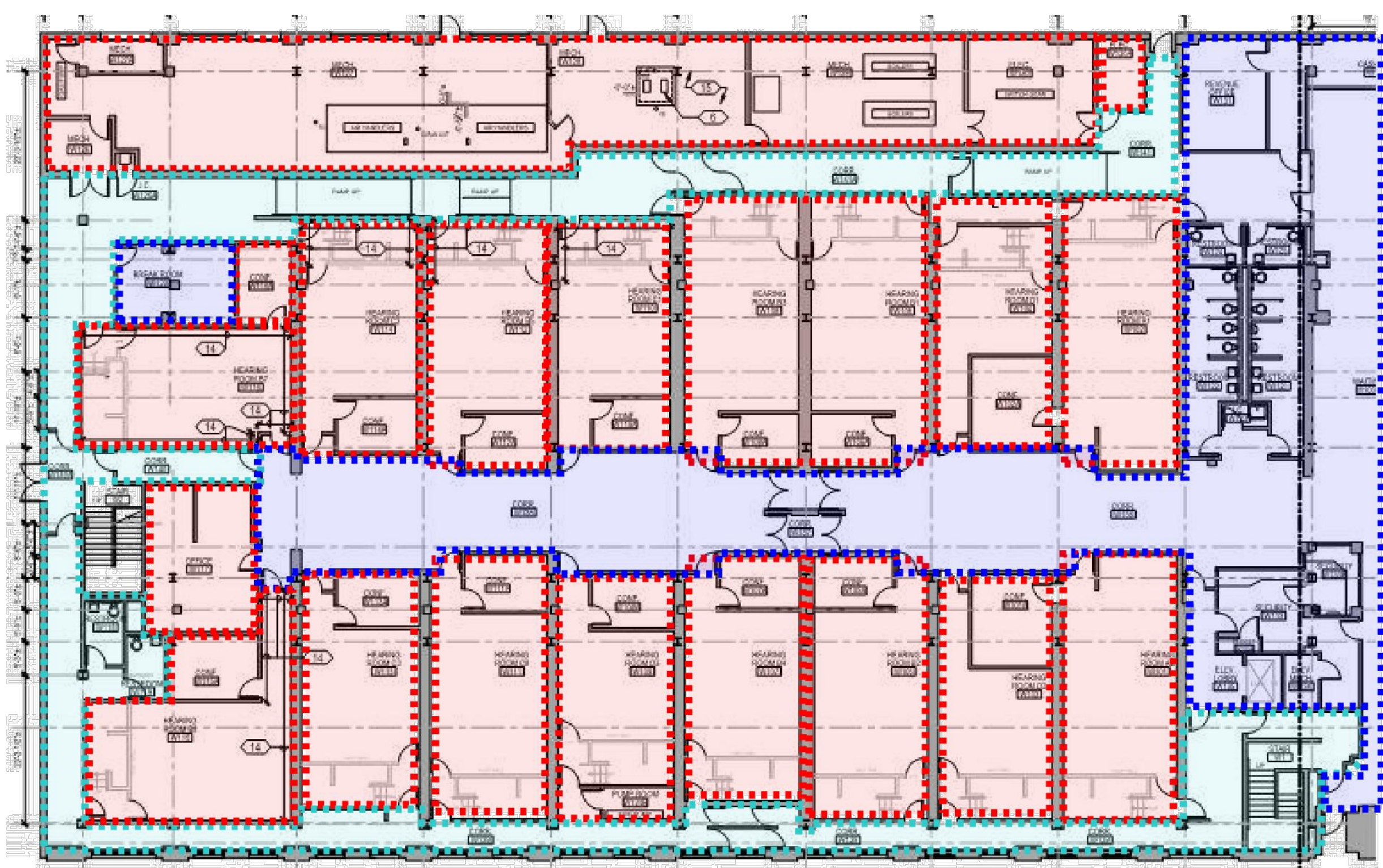




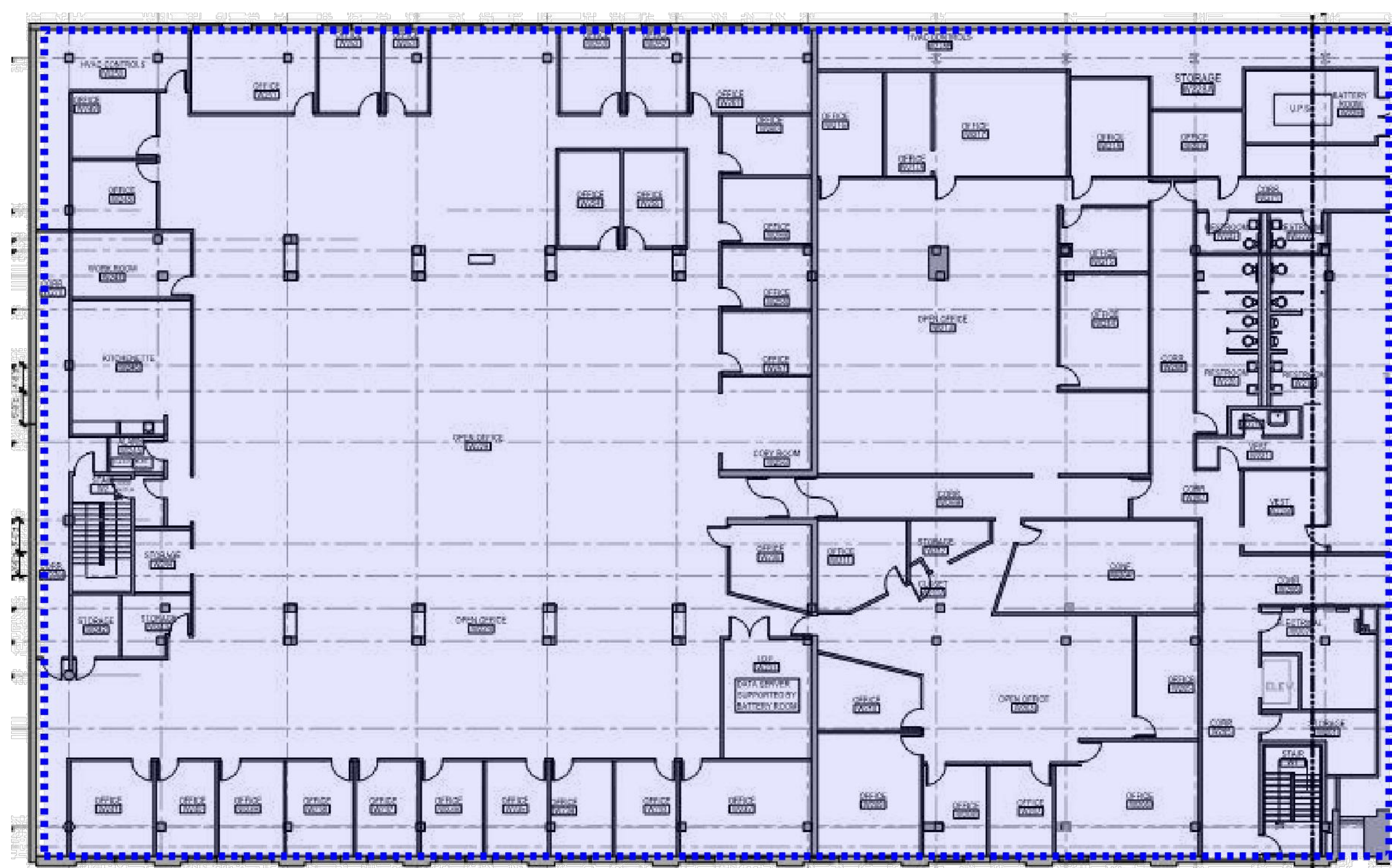
**KEY SITE PLAN**



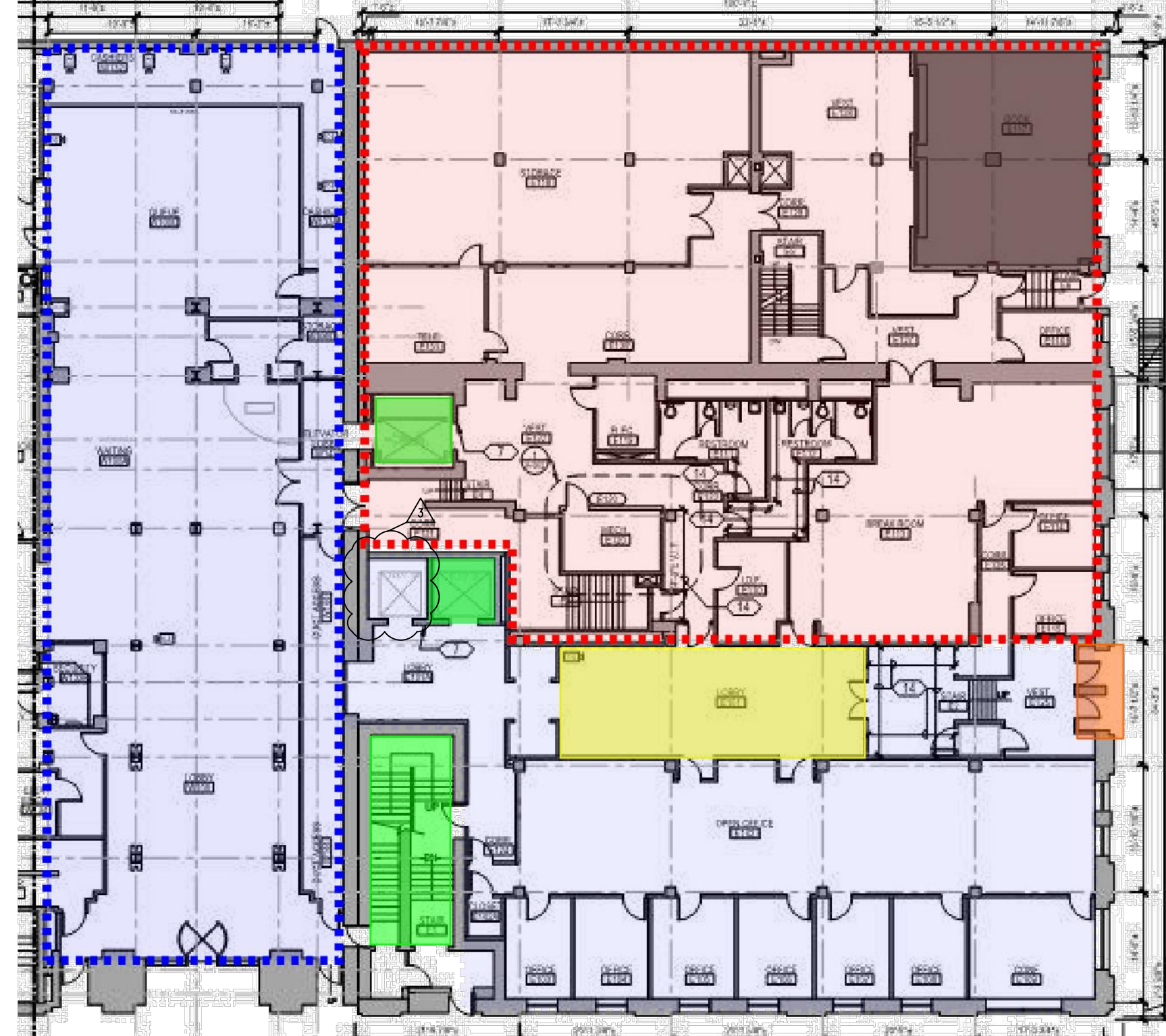
**FIRST FLOOR WEST**



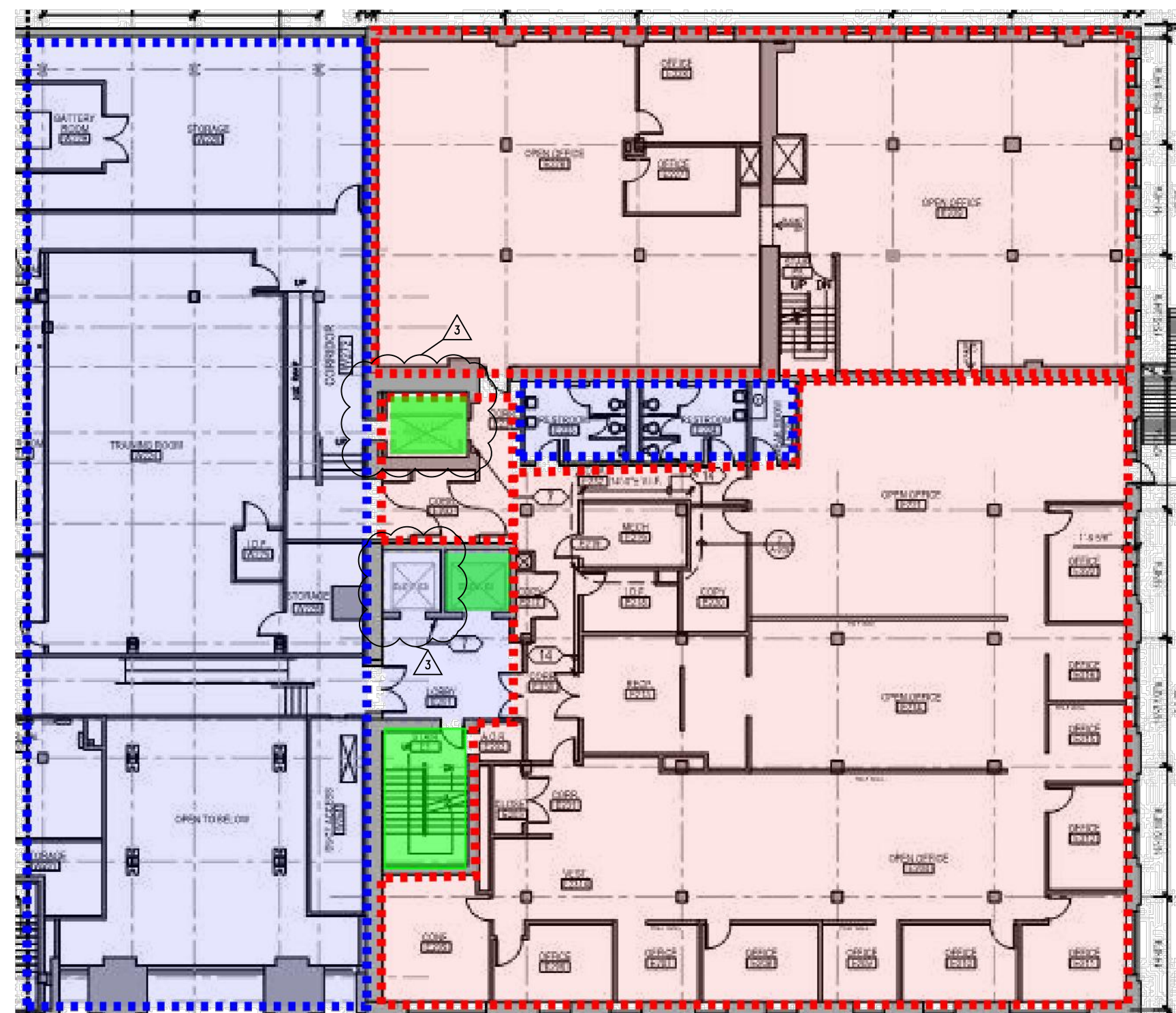
**SECOND FLOOR WEST**



**FIRST FLOOR EAST**



**SECOND FLOOR EAST**



**CENTRAL HEARING FACILITY DIRECTORY AND HOURS OF OPERATION:**  
 1. BASEMENT - USED BY AIS AND TRANSWESTERN ONLY. HOURS OF OPERATION: 7AM-6PM.  
 2. 1ST FLOOR EAST - 740 N. SEDGWICK LOBBY, DOCK, ENTRY/EXIT FOR STAFF, BREAKROOM, CONFERENCE ROOMS. HOURS OF OPERATION: 7AM-6PM.  
 3. 1ST FLOOR WEST - COURTROOMS AND REVENUE. HOURS OF OPERATION: M-F 8:30AM-4:30PM AND SAT 8AM-3PM.  
 4. 2ND FLOOR WEST - OFFICE OF INSPECTOR GENERAL (OIG). HOURS OF OPERATION: 7AM-6PM.  
 5. 3RD FLOOR - LAW OFFICES FOR OIG CITY COLLEGES OF CHICAGO, OIG CHICAGO PARK DISTRICT, AND DEPT. OF BUILDINGS. HOURS OF OPERATION: M-F 7AM-6PM.  
 6. 4TH FLOOR - COMMISSION ON HUMAN RELATIONS. HOURS OF OPERATION: M-F 7AM-6PM.  
 7. 5TH FLOOR - BOARD OF ETHICS. HOURS OF OPERATION: M-F 7AM-6PM.  
 8. 6TH FLOOR - DEPT. OF ADMINISTRATIVE HEARINGS (ADMINISTRATIVE OFFICES). HOURS OF OPERATION: M-F 7AM-6PM.

**WORK RESTRICTIONS:**

1. WORK PERFORMED DURING REGULAR BUSINESS HOURS WILL BE PERMITTED WITH NOISE RESTRICTIONS.
2. ALL WALL DEMOLITION FOR THE MECHANICAL ROOMS E120, E219, E323, E420, E516, E617 IS TO BE PERFORMED AFTER REGULAR BUSINESS HOURS, WEEKENDS, OR HOLIDAYS.
3. WORK IN OFFICE AREAS PERMITTED DURING REGULAR BUSINESS HOURS ON THE 2ND FLOOR WEST AND 6TH FLOOR IS TO BE PERFORMED IN TWO PHASES: PHASE 1 - OPEN OFFICE AREAS, PHASE 2 - PRIVATE OFFICES. AREAS WILL BE OCCUPIED DURING THIS WORK. CONTRACTOR TO NOT IMPACT THE FACILITY'S DAILY OPERATIONS.
4. CONTRACTOR TO PROTECT FURNITURE AND FILES IN OFFICE AREAS FROM ANY DEBRIS.
5. DURING THE TIME THAT THE AHU UNIT ON THE 1ST FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR, 5TH FLOOR, AND 6TH FLOOR IS OUT OF SERVICE, CONTRACTOR SHALL PROVIDE TEMPORARY HVAC EQUIPMENT, DUCTING, POWER AS REQUIRED TO DELIVER MINIMUM OF 0.6 CFM/SF TO OCCUPIED OFFICE SPACE WITH 0.2 CFM/SF OUTDOOR AIR. SPACE TEMPERATURE TO BE MAINTAINED BETWEEN 68 DEGREES FAHRENHEIT (PER SECTION 1203 OF THE CBC) AND 80 DEGREES FAHRENHEIT.

**AREAS OF WORK LISTED BELOW DO NOT HAVE ANY WORKING DAYS/HOURS RESTRICTIONS. CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**

- FIRST FLOOR WEST - MECHANICAL ROOM
- FIRST FLOOR WEST - HEARING ROOMS AND INTERNAL CONFERENCE ROOMS.
- FIRST FLOOR WEST - OFFICE W117
- FIRST FLOOR EAST - STORAGE E118
- FIRST FLOOR EAST - VESTIBULES E122, E127, E128
- FIRST FLOOR EAST - CORRIDORS E121, E123, E126, E129, E130.
- FIRST FLOOR EAST - TELE. E131
- FIRST FLOOR EAST - FREIGHT ELEVATOR
- FIRST FLOOR EAST - OFFICES E114, E115, E116
- FIRST FLOOR EAST - BREAK ROOM E113
- FIRST FLOOR EAST - RESTROOMS E111, E112
- FIRST FLOOR EAST - IDF E110
- FIRST FLOOR EAST - MECHANICAL ROOM E120
- FIRST FLOOR EAST - ELECTRICAL ROOM E119

**AREAS OF WORK LISTED BELOW TO BE PERFORMED AFTER REGULAR BUSINESS HOURS (M-F 6PM-6AM, SAT 4PM-6AM, SUN HAS NO RESTRICTIONS). CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**

- FIRST FLOOR WEST - CORRIDORS W136, W137, W138.
- FIRST FLOOR WEST - SECURITY W138B
- FIRST FLOOR WEST - REVENUE OFFICE W131
- FIRST FLOOR WEST - RESTROOMS W121, W122, W124, W125
- FIRST FLOOR WEST - JANITOR'S CLOSET W123
- FIRST FLOOR WEST - BREAK ROOM W120
- FIRST FLOOR EAST - OPEN OFFICE E102
- FIRST FLOOR EAST - OFFICES E103, E104, E105, E106, E107, E108
- FIRST FLOOR EAST - CONFERENCE ROOM E109
- FIRST FLOOR EAST - CLOSET E102A
- FIRST FLOOR EAST - CORRIDOR E124
- FIRST FLOOR EAST - LOBBY E101 AND E101A
- FIRST FLOOR EAST - VESTIBULE E125

**AREAS OF WORK LISTED BELOW TO BE PERFORMED DURING REGULAR BUSINESS HOURS (M-F 6AM-8AM) AND ALSO AFTER REGULAR BUSINESS HOURS (SAT-SUN HAVE NO RESTRICTIONS). CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**

- FIRST FLOOR WEST - CORRIDORS W139, W140, W140A, W141, W141A.

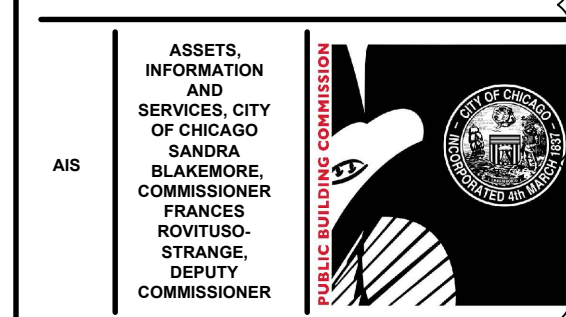
**AREAS OF WORK LISTED BELOW DO NOT HAVE ANY WORKING DAYS/HOURS RESTRICTIONS. CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**

- SECOND FLOOR EAST - OPEN OFFICES E204, E214, E221, E226, E229
- SECOND FLOOR EAST - OFFICES E206, E207, E208, E209, E210, E211, E212, E215, E216, E222, E227, E228
- SECOND FLOOR EAST - CONFERENCE ROOM E205
- SECOND FLOOR EAST - VESTIBULE E231A
- SECOND FLOOR EAST - CLOSET E203
- SECOND FLOOR EAST - A.O.R. E202
- SECOND FLOOR EAST - RECEPTION E213
- SECOND FLOOR EAST - CORRIDOR E230, E231, E232, E233, E234
- SECOND FLOOR EAST - COPY ROOMS E217, E220
- SECOND FLOOR EAST - I.D.F. E218
- SECOND FLOOR EAST - MECHANICAL E219

**AREAS OF WORK LISTED BELOW TO BE PERFORMED AFTER REGULAR BUSINESS HOURS (M-F 6PM-6AM, SAT-SUN HAVE NO RESTRICTIONS). CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**

- SECOND FLOOR WEST - EVERY AREA SHOWN ON SECOND FLOOR WEST PLAN
- SECOND FLOOR EAST - DUCT ACCESS W264
- SECOND FLOOR EAST - STORAGE W228, W266
- SECOND FLOOR EAST - ELECTRICAL W202
- SECOND FLOOR EAST - CORRIDOR W266, W271, W272
- SECOND FLOOR EAST - I.D.F. W225
- SECOND FLOOR EAST - TRAINING ROOM W224
- SECOND FLOOR EAST - BATTERY ROOM W229
- SECOND FLOOR EAST - RESTROOMS E223, E224
- SECOND FLOOR EAST - BREAKROOM E225
- SECOND FLOOR EAST - LOBBY E201

- WORKERS ENTRY/EXIT
- 740 N. SEDGWICK LOBBY
- DOCK
- FREIGHT/ PASSENGER ELEVATOR AND STAIRCASE FOR CONTRACTOR'S USE
- AREAS OF WORK (DURING REGULAR BUSINESS HOURS)
- AREAS OF WORK (AFTER REGULAR BUSINESS HOURS)
- AREAS OF WORK (ONLY PERMITTED M-F 6AM-8AM)



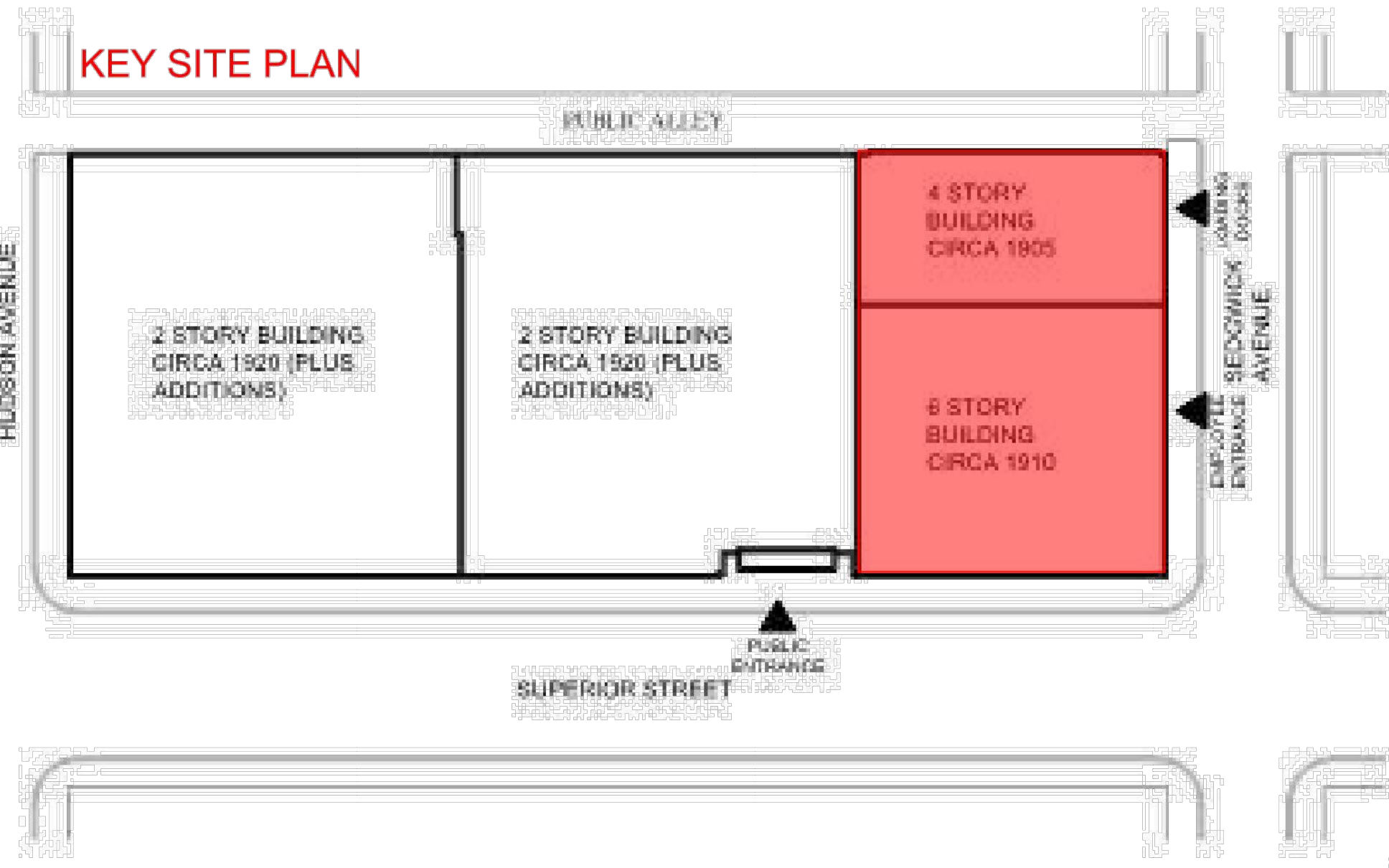
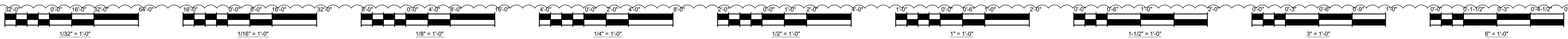
**CIP - Central Hearing Facility  
 Roof and MEP Upgrades**  
 400 W. SUPERIOR  
 CHICAGO, IL 60654  
 PUBLIC BUILDING COMMISSION  
 CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
 RADA ARCHITECTS LTD.  
**RADA ARCHITECTS**  
 233 N. MICHIGAN AVE.  
 CHICAGO, ILLINOIS 60601  
 PHONE: 312.856.1970  
 FAX: 312.856.1978  
 WWW.RADA-ARCH.COM

IMEG Chicago, IL  
 Structural Engineers of Record  
 IMEG Chicago, IL  
 MEPP Engineers of Record  
 LERCH BATES Chicago, IL  
 Elevator Consultant  
 IRCA Chicago, IL  
 Roofing Consultant  
 VERDES ENVIRONMENTAL SOLUTIONS Chicago, IL  
 Environmental Consultant

Issuance	Mark	Description	Date
ADDENDUM NO. 3			12-29-23
ADDENDUM NO. 1			12-21-23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
 PBC Contract No: C1606  
 Project No: 04044  
 Title  
**PHASING & LOGISTICS PLAN 2**

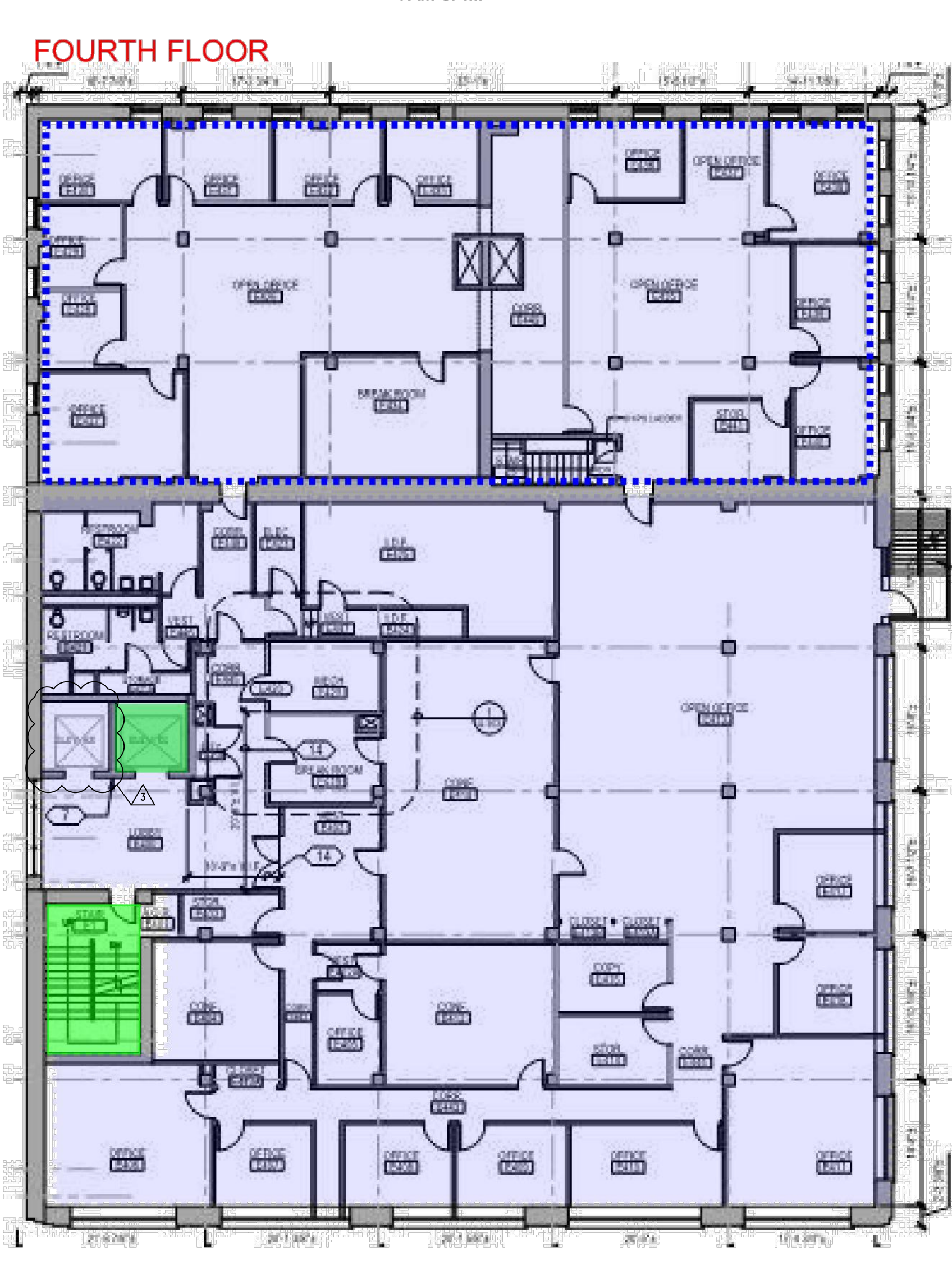
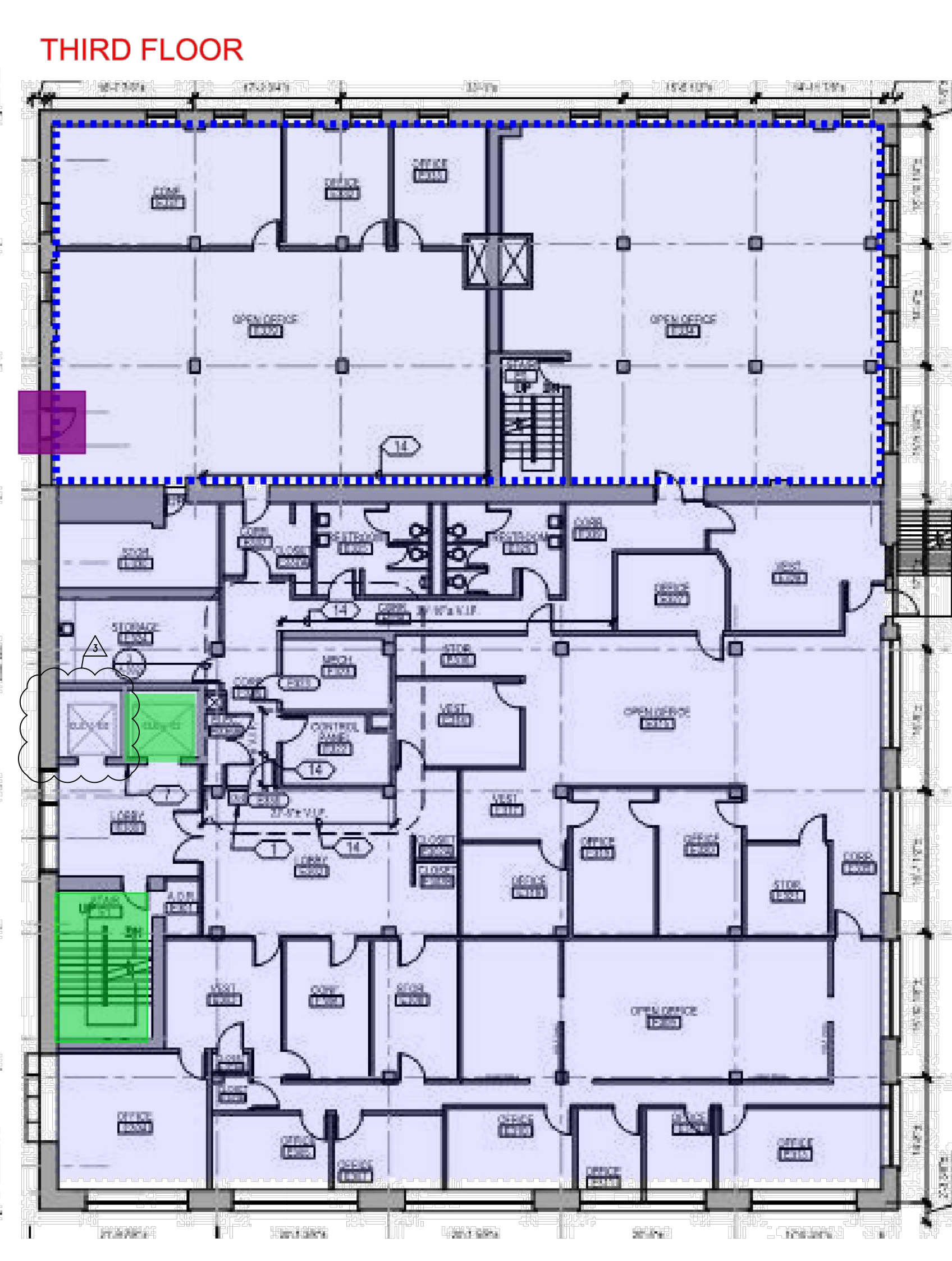
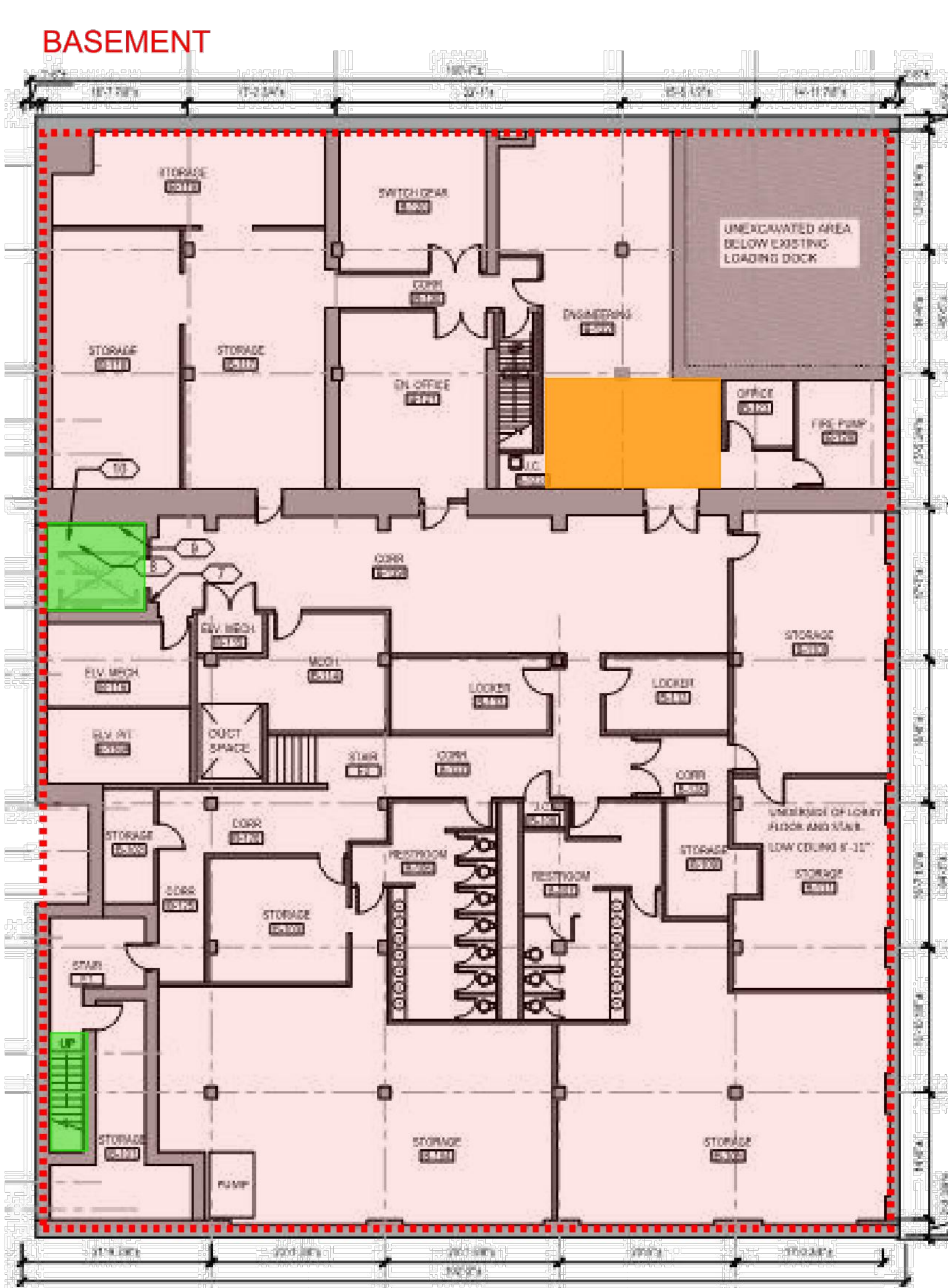


**CENTRAL HEARING FACILITY DIRECTORY AND HOURS OF OPERATION:**  
 1. BASEMENT - USED BY AIS AND TRANSWESTERN ONLY. HOURS OF OPERATION: 7AM-6PM.  
 2. 1ST FLOOR EAST - 740 N. SEDGWICK LOBBY, DOCK, ENTRY/EXIT FOR STAFF, BREAKROOM, CONFERENCE ROOMS. HOURS OF OPERATION: 7AM-6PM.  
 3. 1ST FLOOR WEST - COURTROOMS AND REVENUE. HOURS OF OPERATION: M-F 8:30AM-4:30PM AND SAT 8AM-3PM.  
 4. 2ND FLOOR WEST - OFFICE OF INSPECTOR GENERAL (OIG). HOURS OF OPERATION: 7AM-6PM.  
 4. 2ND FLOOR EAST - DEPT. OF ADMINISTRATIVE HEARINGS (DIVISION OFFICES). HOURS OF OPERATION: M-F 7AM-6PM.  
 5. 3RD FLOOR - LAW OFFICES FOR OIG CITY COLLEGES OF CHICAGO, OIG CHICAGO PARK DISTRICT, AND DEPT. OF BUILDINGS. HOURS OF OPERATION: M-F 7AM-6PM.  
 6. 4TH FLOOR - COMMISSION ON HUMAN RELATIONS. HOURS OF OPERATION: M-F 7AM-6PM.  
 7. 5TH FLOOR - BOARD OF ETHICS. HOURS OF OPERATION: M-F 7AM-6PM.  
 8. 6TH FLOOR - DEPT. OF ADMINISTRATIVE HEARINGS (ADMINISTRATIVE OFFICES). HOURS OF OPERATION: M-F 7AM-6PM.

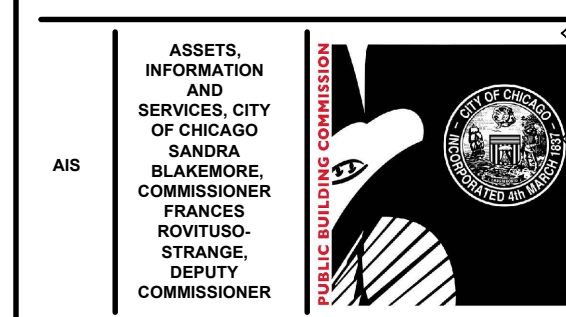
**WORK RESTRICTIONS:**  
 1. WORK PERFORMED DURING REGULAR BUSINESS HOURS WILL BE PERMITTED WITH NOISE RESTRICTIONS.  
 2. ALL WALL DEMOLITION FOR THE MECHANICAL ROOMS E120, E219, E323, E420, E516, E617 IS TO BE PERFORMED AFTER REGULAR BUSINESS HOURS, WEEKENDS, OR HOLIDAYS.  
 3. WORK IN OFFICE AREAS PERMITTED DURING REGULAR BUSINESS HOURS ON THE 2ND FLOOR WEST AND 6TH FLOOR IS TO BE PERFORMED IN TWO PHASES: PHASE 1 - OPEN OFFICE AREAS, PHASE 2 - PRIVATE OFFICES. AREAS WILL BE OCCUPIED DURING THIS WORK. CONTRACTOR TO NOT IMPACT THE FACILITY'S DAILY OPERATIONS.  
 4. CONTRACTOR TO PROTECT FURNITURE AND FILES IN OFFICE AREAS FROM ANY DEBRIS.  
 5. DURING THE TIME THAT THE AHU UNIT ON THE 1ST FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR, 5TH FLOOR, AND 6TH FLOOR IS OUT OF SERVICE, CONTRACTOR SHALL PROVIDE TEMPORARY HVAC EQUIPMENT, DUCTING, POWER AS REQUIRED TO DELIVER MINIMUM OF 0.8 CFM/SF TO OCCUPIED OFFICE SPACE WITH 0.2 CFM/SF OUTDOOR AIR. SPACE TEMPERATURE TO BE MAINTAINED BETWEEN 68 DEGREES FAHRENHEIT (PER SECTION 1203 OF THE CBC) AND 80 DEGREES FAHRENHEIT.

**AREAS OF WORK LISTED BELOW DO NOT HAVE ANY WORKING DAYS/HOURS RESTRICTIONS. CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**  
 - BASEMENT - EVERY AREA SHOWN ON THE BASEMENT PLAN.

**AREAS OF WORK LISTED BELOW TO BE PERFORMED AFTER REGULAR BUSINESS HOURS (M-F 6PM-6AM, SAT-SUN HAS NO RESTRICTIONS). CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**  
 -THIRD FLOOR - EVERY AREA SHOWN ON THE THIRD FLOOR PLAN.  
 -FOURTH FLOOR - EVERY AREA SHOWN ON THE FOURTH FLOOR PLAN.



- ACCESS TO THE 2-STORY BUILDING ROOF
- GC/AOR/PBC FIELD OFFICE
- FREIGHT/PASSENGER ELEVATOR AND STAIRCASE FOR CONTRACTOR'S USE.
- AREAS OF WORK (DURING REGULAR BUSINESS HOURS)
- AREAS OF WORK (AFTER REGULAR BUSINESS HOURS)



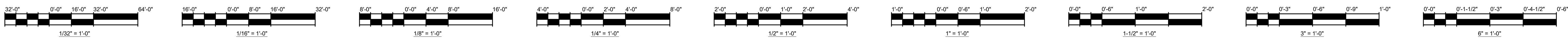
**CIP - Central Hearing Facility  
 Roof and MEP Upgrades**  
 400 W. SUPERIOR  
 CHICAGO, IL 60654  
 PUBLIC BUILDING COMMISSION  
 CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
 RADA ARCHITECTS LTD.  
**RADA ARCHITECTS**  
 RUDOLPH CENTER | 233 N. Michigan Avenue  
 Chicago, IL 60601 | 312.856.1970  
 www.rada-arch.com | WBE | DBE  
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 FAX: 312.856.1978  
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 Structural Engineers of Record  
 IMEG  
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 MEPP Engineers of Record  
 LERCH BATES  
 Chicago, IL  
 Elevator Consultant  
 IRCA  
 Chicago, IL  
 Roofing Consultant  
 VERDES ENVIRONMENTAL SOLUTIONS  
 Chicago, IL  
 Environmental Consultant

Mark	Description	Date
△	ADDENDUM NO. 3	12.29.23
△	ADDENDUM NO. 1	12.21.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
 PBC Contract No: C1606  
 Project No.: 04044  
 Title  
**PHASING & LOGISTICS  
 PLAN 3**



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**

400 W. SUPERIOR  
CHICAGO, IL 60654  
PUBLIC BUILDING COMMISSION  
CITY OF CHICAGO, MAYOR BRANDON JOHNSON

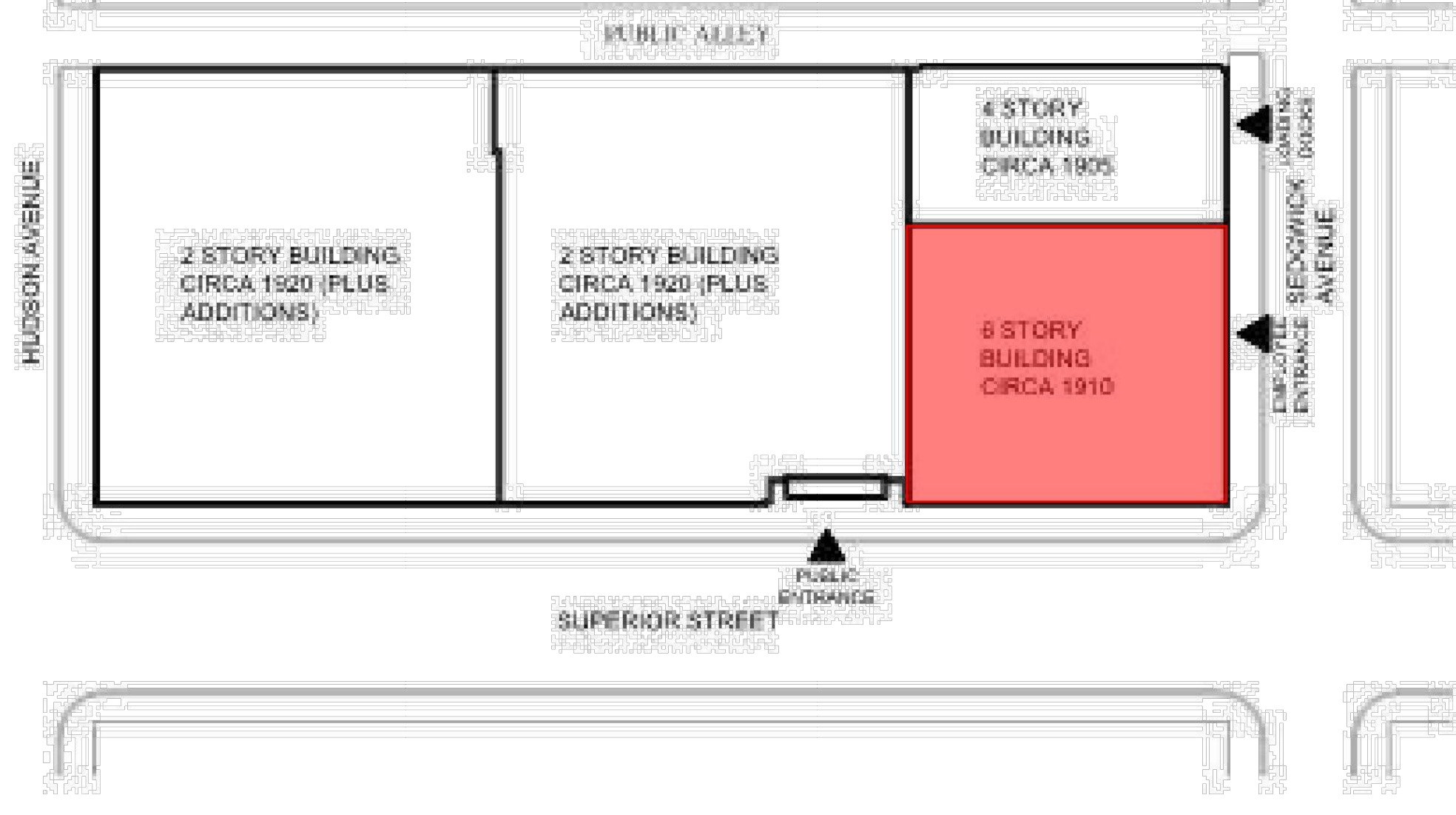
Architect of Record:  
RADA ARCHITECTS LTD.  
**RADA ARCHITECTS**  
RINOCOS CENTER | 233 N Michigan Avenue  
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IMEG Chicago, IL Structural Engineers of Record  
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IRCA Chicago, IL Roofing Consultant  
VERDES ENVIRONMENTAL SOLUTIONS Chicago, IL Environmental Consultant

Mark	Description	Date
△	ADDENDUM NO. 3	12.29.23
△	ADDENDUM NO. 1	12.21.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
PBC Contract No: C1606  
Project No.: 04044  
Title  
**PHASING & LOGISTICS PLAN 4**

**KEY SITE PLAN**



**CENTRAL HEARING FACILITY DIRECTORY AND HOURS OF OPERATION:**  
 1. BASEMENT - USED BY AIS AND TRANSWESTERN ONLY. HOURS OF OPERATION: 7AM-6PM.  
 2. 1ST FLOOR EAST - 740 N. SEDGWICK LOBBY, DOCK, ENTRY/EXIT FOR STAFF, BREAKROOM, CONFERENCE ROOMS. HOURS OF OPERATION: 7AM-6PM.  
 3. 1ST FLOOR WEST - COURTROOMS AND REVENUE. HOURS OF OPERATION: M-F 8:30AM-4:30PM AND SAT 8AM-3PM.  
 4. 2ND FLOOR WEST - OFFICE OF INSPECTOR GENERAL (OIG). HOURS OF OPERATION: 7AM-6PM.  
 4. 2ND FLOOR EAST - DEPT. OF ADMINISTRATIVE HEARINGS (DIVISION OFFICES). HOURS OF OPERATION: M-F 7AM-6PM.  
 5. 3RD FLOOR - LAW OFFICES FOR OIG CITY COLLEGES OF CHICAGO, OIG CHICAGO PARK DISTRICT, AND DEPT. OF BUILDINGS. HOURS OF OPERATION: M-F 7AM-6PM.  
 6. 4TH FLOOR - COMMISSION ON HUMAN RELATIONS. HOURS OF OPERATION: M-F 7AM-6PM.  
 7. 5TH FLOOR - BOARD OF ETHICS. HOURS OF OPERATION: M-F 7AM-6PM.  
 8. 6TH FLOOR - DEPT. OF ADMINISTRATIVE HEARINGS (ADMINISTRATIVE OFFICES). HOURS OF OPERATION: M-F 7AM-6PM.

**WORK RESTRICTIONS:**

1. WORK PERFORMED DURING REGULAR BUSINESS HOURS WILL BE PERMITTED WITH NOISE RESTRICTIONS.
2. ALL WALL DEMOLITION FOR THE MECHANICAL ROOMS E120, E219, E323, E420, E516, E617 IS TO BE PERFORMED AFTER REGULAR BUSINESS HOURS, WEEKENDS, OR HOLIDAYS.
3. WORK IN OFFICE AREAS PERMITTED DURING REGULAR BUSINESS HOURS ON THE 2ND FLOOR WEST AND 6TH FLOOR IS TO BE PERFORMED IN TWO PHASES: PHASE 1 - OPEN OFFICE AREAS, PHASE 2 - PRIVATE OFFICES. AREAS WILL BE OCCUPIED DURING THIS WORK. CONTRACTOR TO NOT IMPACT THE FACILITY'S DAILY OPERATIONS.
4. CONTRACTOR TO PROTECT FURNITURE AND FILES IN OFFICE AREAS FROM ANY DEBRIS.
5. DURING THE TIME THAT THE AHU UNIT ON THE 1ST FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR, 5TH FLOOR, AND 6TH FLOOR IS OUT OF SERVICE, CONTRACTOR SHALL PROVIDE TEMPORARY HVAC EQUIPMENT, DUCTING, POWER AS REQUIRED TO DELIVER MINIMUM OF 0.6 CFM/SF TO OCCUPIED OFFICE SPACE WITH 0.2 CFM/SF OUTDOOR AIR. SPACE TEMPERATURE TO BE MAINTAINED BETWEEN 68 DEGREES FAHRENHEIT (PER SECTION 1203 OF THE CBC) AND 80 DEGREES FAHRENHEIT.

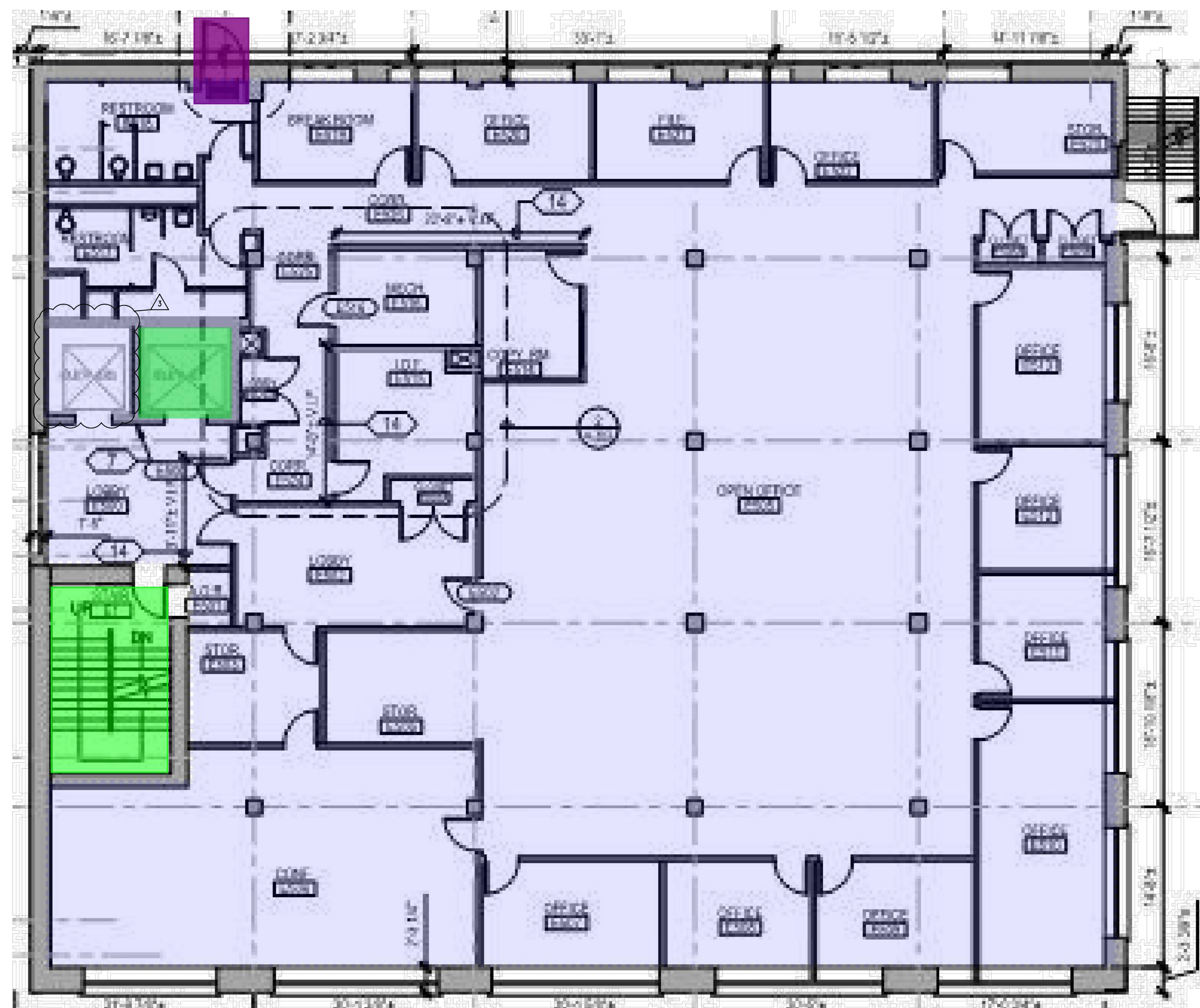
**AREAS OF WORK LISTED BELOW DO NOT HAVE ANY WORKING DAYS/HOURS RESTRICTIONS. CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND ACCESS COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**

- SIXTH FLOOR - OFFICES E605, E606, E607, E608, E609, E610, E613, E614, E624, E625
- SIXTH FLOOR - OPEN OFFICES E615, E603
- SIXTH FLOOR - LIBRARY E623
- SIXTH FLOOR - FILE ROOM E622
- SIXTH FLOOR - COPY ROOM E621
- SIXTH FLOOR - I.D.F. E620
- SIXTH FLOOR - CORRIDORS E627, E628
- SIXTH FLOOR - MECHANICAL E617
- SIXTH FLOOR BREAKROOM E616
- SIXTH FLOOR - LOBBY E602
- SIXTH FLOOR - CONFERENCE ROOM E611, E612
- SIXTH FLOOR - RESTROOM E605

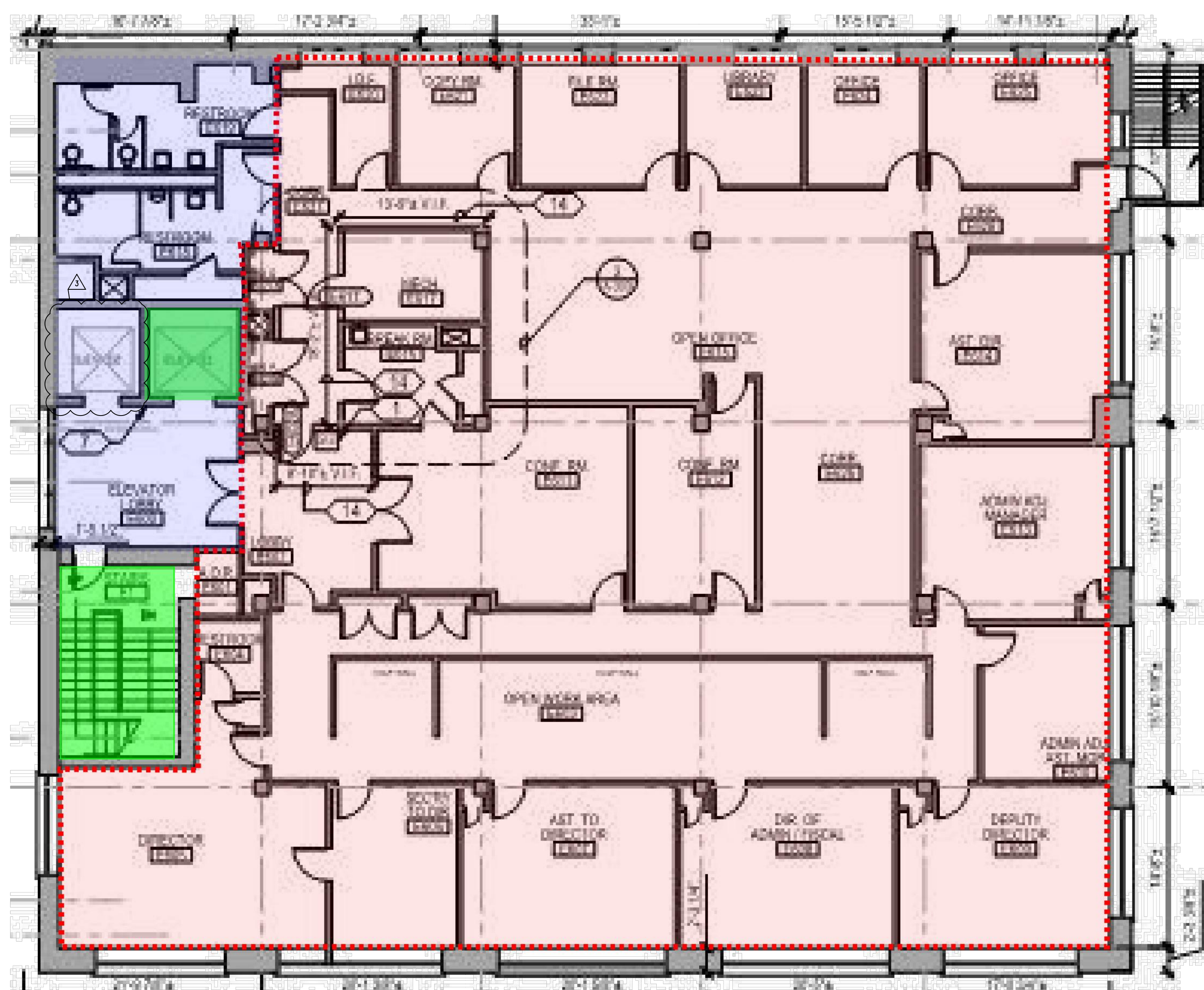
**AREAS OF WORK LISTED BELOW TO BE PERFORMED AFTER REGULAR BUSINESS HOURS (M-F 6PM-6AM, SAT-SUN HAS NO RESTRICTIONS):**

- CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND ACCESS COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:
- FIFTH FLOOR - EVERY AREA SHOWN ON THE FIFTH FLOOR PLAN.
  - SIXTH FLOOR - RESTROOMS E619, E618
  - SIXTH FLOOR - ELEVATOR LOBBY E600

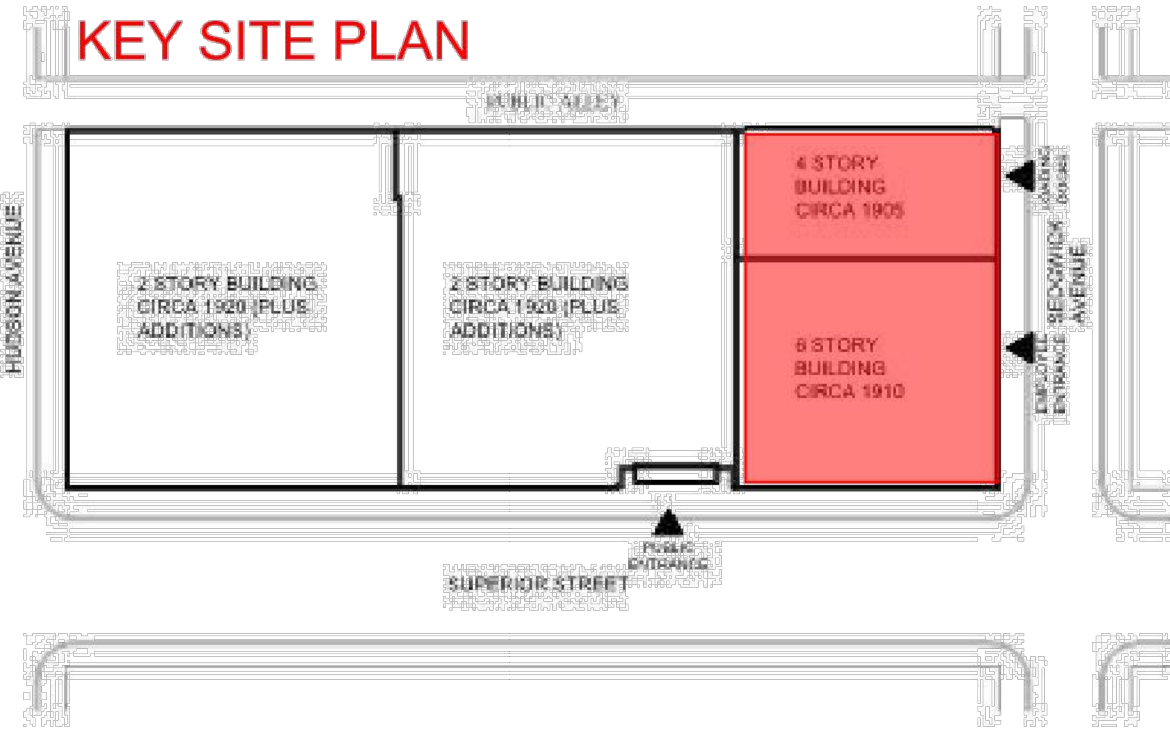
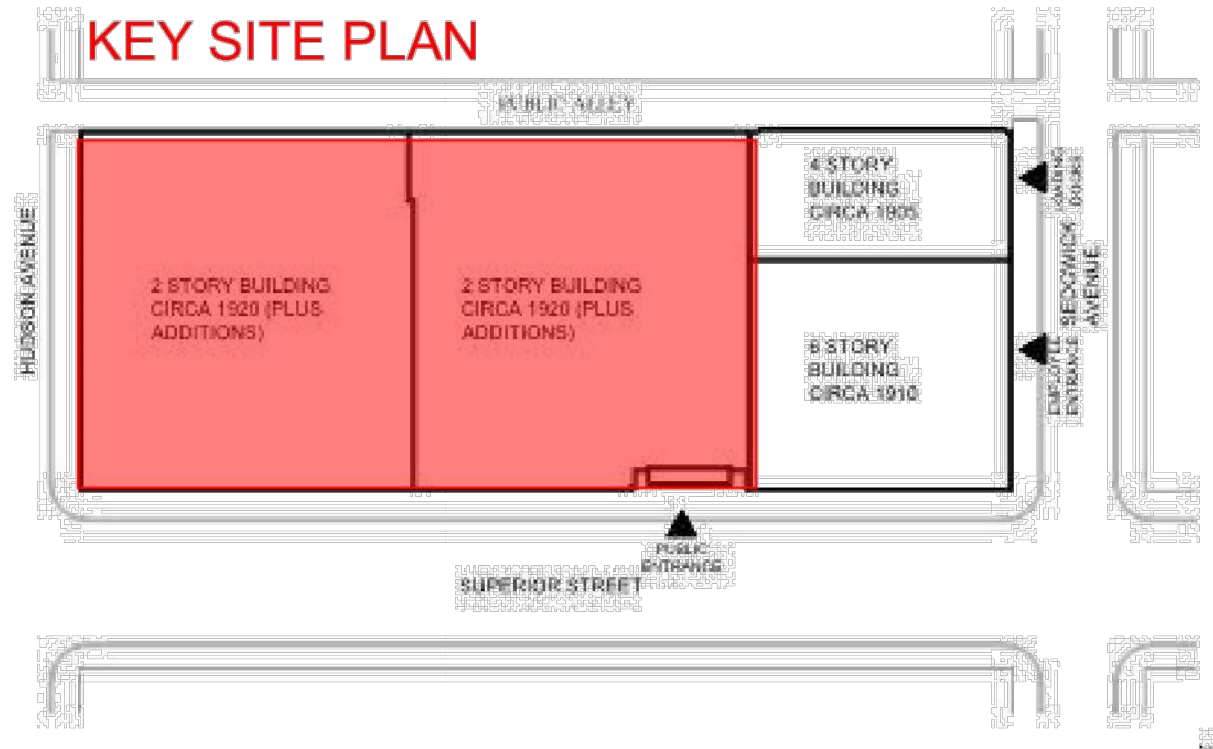
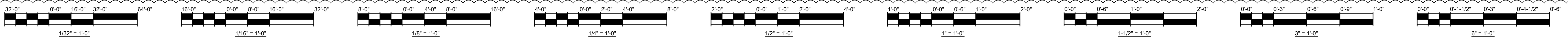
**FIFTH FLOOR**



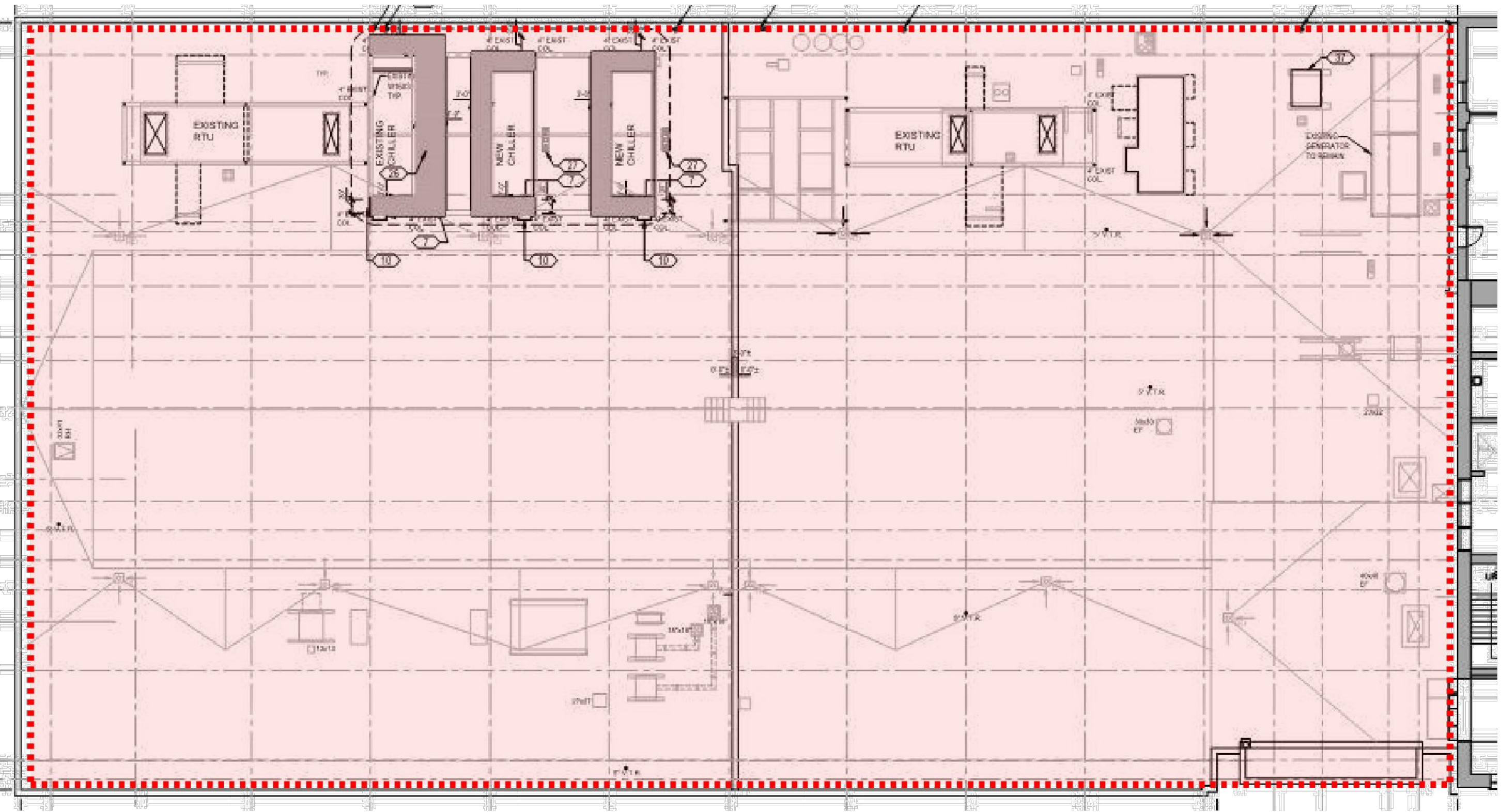
**SIXTH FLOOR**



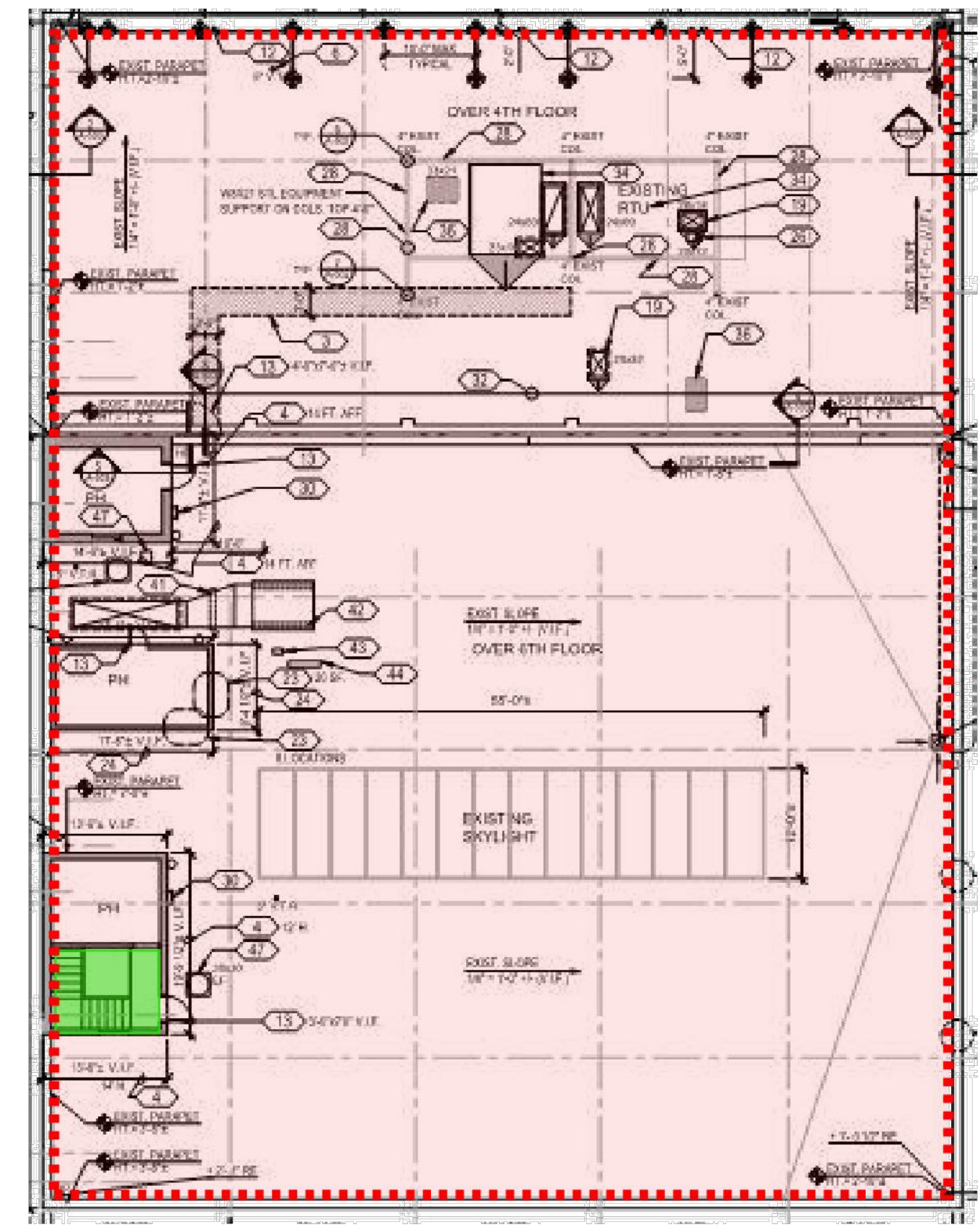
- ACCESS TO THE 4-STORY BUILDING ROOF
- GCA/OR/PBC FIELD OFFICE
- FREIGHT/PASSENGER ELEVATOR AND STAIRCASE FOR CONTRACTOR'S USE
- AREAS OF WORK (DURING REGULAR BUSINESS HOURS)
- AREAS OF WORK (AFTER REGULAR BUSINESS HOURS)



2-STORY BUILDING ROOF



4-STORY AND 6-STORY ROOFS

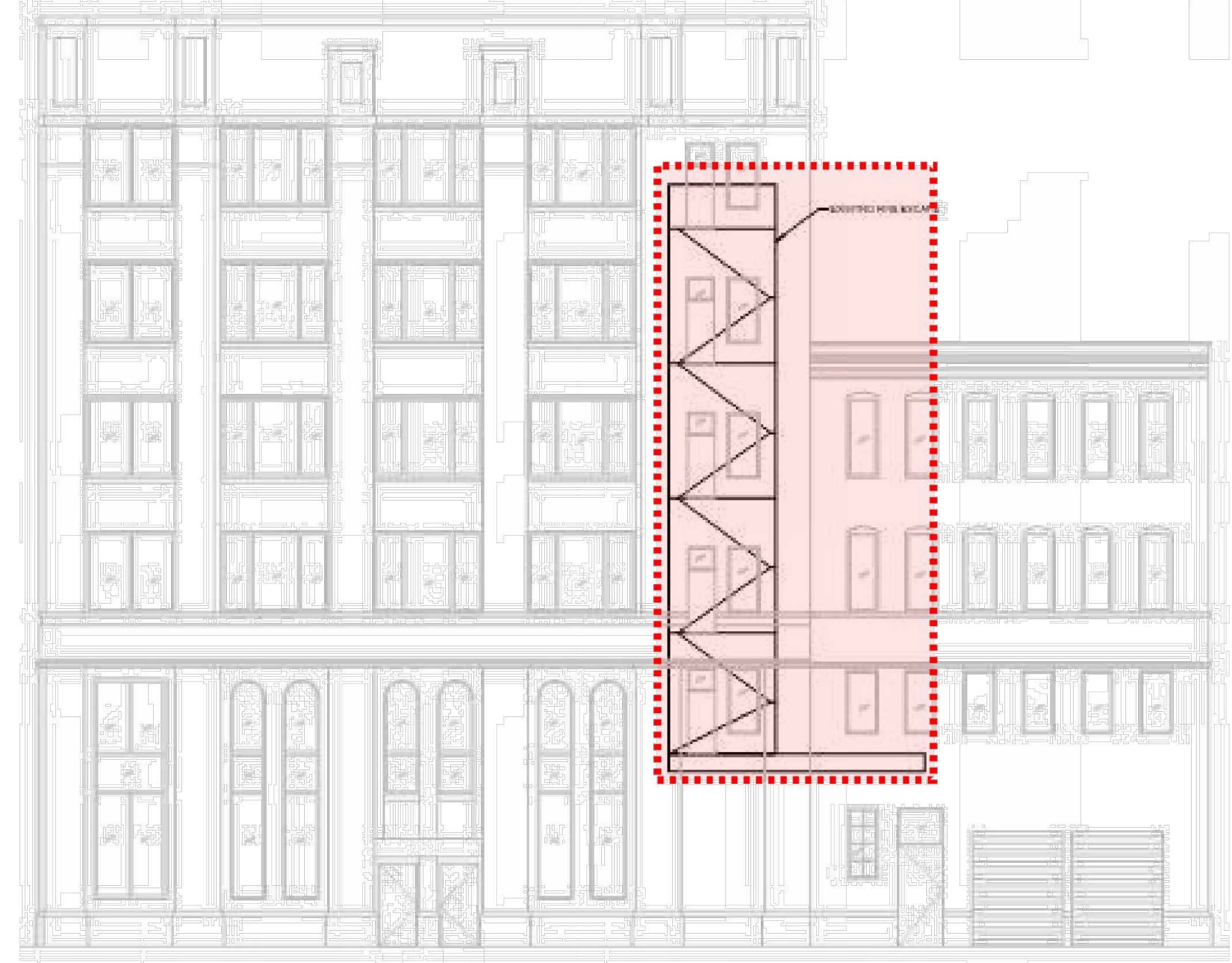


**CENTRAL HEARING FACILITY DIRECTORY AND HOURS OF OPERATION:**  
 1. BASEMENT - USED BY AIS AND TRANSWESTERN ONLY. HOURS OF OPERATION: 7AM-6PM.  
 2. 1ST FLOOR EAST - 740 N. SEDGWICK LOBBY, DOCK, ENTRY/EXIT FOR STAFF, BREAKROOM, CONFERENCE ROOMS. HOURS OF OPERATION: 7AM-6PM.  
 3. 1ST FLOOR WEST - COURTROOMS AND REVENUE. HOURS OF OPERATION: M-F 8:30AM-4:30PM AND SAT 8AM-3PM.  
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 4. 2ND FLOOR EAST - DEPT. OF ADMINISTRATIVE HEARINGS (DIVISION OFFICES). HOURS OF OPERATION: M-F 7AM-6PM.  
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**AREAS OF WORK LISTED BELOW DO NOT HAVE ANY WORKING DAYS/HOURS RESTRICTIONS. CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**  
 - 2-STORY BUILDING ROOF - ALL AREAS SHOWN ON PLAN.  
 - 4-STORY BUILDING ROOF - ALL AREAS SHOWN ON PLAN.  
 - 6-STORY BUILDING ROOF - ALL AREAS SHOWN ON PLAN.  
 - FIRE ESCAPE STAIR

- STAIRCASE FOR CONTRACTOR'S USE.
- AREAS OF WORK (DURING REGULAR BUSINESS HOURS)

FIRE ESCAPE STAIR ON EAST ELEVATION



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Issuance	Mark	Description	Date
▲		ADDENDUM NO. 3	12.29.23
▲		ADDENDUM NO. 1	12.21.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
 PBC Contract No: C1606  
 Project No.: 04044  
 Title  
**PHASING & LOGISTICS PLAN 5**