



## ADDENDUM

Public Building Commission of Chicago | Richard J. Daley Center | 50 West Washington Street, Room 200 | Chicago, Illinois 60602 | (312) 744-3090 | pbcchicago.com

**ADDENDUM NO.:** 01  
**PROJECT NAME:** CIP Central Hearing Facility Roof and MEP Upgrades  
**PROJECT NO.:** 04044  
**CONTRACT NO.:** C1606  
**DATE OF ISSUE:** December 21, 2023

### NOTICE OF CHANGES, MODIFICATIONS, OR CLARIFICATIONS TO CONTRACT DOCUMENTS

The following changes, modifications, or clarifications are hereby incorporated and made an integral part of the Contract Documents. Unless clearly expressed otherwise by this Addendum, all terms and conditions defined in the original Contract Documents shall continue in full force and effect and shall have the same meaning in this Addendum. Issued Addenda represent responses/clarifications to various inquiries. Contractors shall be responsible for including all associated labor/material costs in its bid. Drawings/specifications corresponding to inquiry responses will be issued with the Issue for Construction Documents, upon issuance of building permit.

- ITEM NO. 1: CHANGE TO KEY DATES**  
None.
- ITEM NO. 2: REVISIONS TO BOOK 1 – PBC INSTRUCTIONS TO BIDDERS**  
None.
- ITEM NO. 3: REVISIONS TO BOOK 2 – PBC STANDARD TERMS AND CONDITIONS**  
None.
- ITEM NO. 4: REVISIONS TO BOOK 3 – TECHNICAL SPECIFICATIONS**  
**Change 1** Book 3 – Volume 1 – **REVISED** Table of Contents to reflect revised specifications  
**Change 2** Book 3 – Volume 2 – **REVISED** Specification Section 23 05 05 – HVAC Demolition for Remodeling: updated, 3.2.F. 1.
- ITEM NO. 5: REVISIONS TO DRAWINGS**  
**Change 1** Drawing Index No. G-011– **REVISED** to reflect added drawings dated 12.21.23  
**Change 2** Drawing No. ACD-101E – **REVISED** sheet to add existing ceiling hung devices, dated 12.21.23  
**Change 3** Drawing No. ACD-101W – **REVISED** sheet to add existing ceiling hung devices, dated 12.21.23  
**Change 4** Drawing No. ACD-102E – **REVISED** sheet to add existing ceiling hung devices, dated 12.21.23  
**Change 5** Drawing No. ACD-102W – **REVISED** sheet to add existing ceiling hung devices, dated 12.21.23  
**Change 6** Drawing No. AC-100 –**REVISED** sheet to add existing ceiling hung devices, dated 12.21.23  
**Change 7** Drawing No. AC-101E –**REVISED** sheet to add existing ceiling hung devices dated 12.21.23  
**Change 8** Drawing No. AC-101W –**REVISED** sheet to add existing ceiling hung devices dated 12.21.23  
**Change 9** Drawing No. AC-102E –**REVISED** sheet to add existing ceiling hung devices dated 12.21.23  
**Change 10** Drawing No. AC-102W –**REVISED** sheet to add existing ceiling hung devices., dated 12.21.23  
**Change 11** Drawing No. AC-103 –**REVISED** sheet to add existing ceiling hung devices. dated 12.21.23  
**Change 12** Drawing No. AC-104 –**REVISED** sheet to add existing ceiling hung devices, dated 12.21.23  
**Change 13** Drawing No. AC-105 –**REVISED** sheet to add existing ceiling hung devices, dated 12.21.23  
**Change 14** Drawing No. AC-106 –**REVISED** sheet to add existing ceiling hung devices, dated 12.21.23  
**Change 15** Drawing No. MD-104 – **REVISED** sheet to reflect updates above Room E449, dated 12.21.23  
**Change 16** Drawings No. E-102E-**REVISED** sheet to add VFD, Dated 12.21.23  
**Change 17** Drawing No. E-106 – **REVISED** sheet to update VFD in Room E617, dated 12.21.23  
**Change 18** Drawing E-500 – **REVISED** Variable Frequency Drive Schedule, dated 12.21.23  
**Change 19** Drawing E-501 – **REVISED** Existing Panel OHDP-5 Schedule., dated 12.21.23  
**Change 20** Drawing No. PH-1 - Phasing– **ADDED** sheet, dated 12.21.23

- Change 21** Drawing No. PH-2 - Phasing– **ADDED** sheet, dated 12.21.23  
**Change 22** Drawing No. PH-3 - Phasing– **ADDED** sheet, dated 12.21.23  
**Change 23** Drawing No. PH-4 - Phasing– **ADDED** sheet, dated 12.21.23  
**Change 24** Drawing No. PH-5 – Phasing – **ADDED** sheet date 12.21.23

**ITEM NO. 6: REQUESTS FOR INFORMATION**

**RFI-1.**

**Question:** Are new VFDs being installed for each AHU? What type of BAS will be installed?

**Response:** Yes, new VFD's are called out to be installed for all AHUs. AHUs are shown for replacement on electrical drawings. AHUs being replaced are scheduled on the mechanical drawings to be provided with factory mounted VFD's.

For the type of BAS to be installed, please refer to Specification divisions 23 and 17 for the BAS specifications. The system specified is Tridium N4 platform.

**RFI-2.**

**Question:** Is the fire alarm system being upgraded in this project?

**Response:** Please refer to the Electrical and Fire Protection drawings of the Contract Drawings for the limited fire alarm and fire protection scope for this project.

**RFI-3.**

**Question:** What are the working hours for the different tenants per floor in the buildings?

**Response:** Please refer to the phasing and logistic plan included in this addendum.

**RFI-4.**

**Question:** Second Floor East Building Storage Room W228, will the owner be responsible for clearing out the room?

**Response:** Yes, the miscellaneous stored materials will be relocated by AIS as needed for the work to be performed in the second floor east building storage room W228. Contractor shall be required to provide its execution plan for review and coordination prior to any commencement of the Work.

**RFI-5.**

**Question:** Is there a defined quantity we should assume to replace acoustic ceiling tiles?

**Response:** Yes, the areas of acoustic ceiling to be removed and replaced are shown on the Reflected Ceiling Demo Plans (ACD) and Reflected Ceiling Plans (AC). In addition, allowances have been allocated for additional ceiling replacement above and beyond what is shown on the ceiling plans. Please refer to the Acoustic Panel Ceiling Schedule on Sheet A-602.

**RFI-6.**

**Question:** Sheet AC 104 confirm reflected ceiling plan demo keynote B and reflected ceiling plan new work keynote F only appear on AC 104 and are for this sheets work ONLY?

**Response:** Reflected Ceiling Plan Demolition Key Note B and Reflected Ceiling Plan New Work Key Note F are applicable to drawing sheet AC-104 only as shown in the Contract Documents.

**RFI-7.**

**Question:** There is no note to clean and or repair any of the fixtures on all reflected ceiling plans except for AC 104. During the site walk many fixtures appear to have different color lamps and are not working at all. As there is no way to know the amount of fixtures that are in this state how is the bidding contractor to handle this? Simply remove and reinstall as is or is there an allowance that will allow for these items to be repaired.

**Response:** Existing light fixtures and diffusers are to be removed and reinstalled in same location, as required to execute the Work. Light fixture repair, re-lamping, etc., is not part of the Contract Documents.

**RFI-8.**

**Question:** No exits signs, ceiling battery lights or any other electrical devices are shown on the documents. One example is there are smoke detectors that were visible during the site walk but there is no way to know the quantity. How are we to quantify the amount of the unshown items to be removed and reinstalled? We only get a very short window of time to view the building, it is not possible for us to know all the items that have to be removed and reinstalled unless they are shown in a facility of this size.

**Response:** [Ceiling plans have been revised to identify the ceiling-mounted exit signs and fire alarm devices. Please refer to architectural drawings included in this addendum.](#)

This Addendum includes the following attached Specifications and/or Documents:

1. Specification Section 00 01 02 – Table of Contents
2. Specification Section 23 05 05 – HVAC Demolition for Remodeling

This Addendum includes the following attached Drawings:

1. G-011 - DRAWING INDEX, CODE MATRIX, SYMBOLS & NOTES, dated 12.21.23
2. ACD-101E – FIRST FLOOR EAST REFLECTED CEILING DEMOLITION PLAN, dated 12.21.23
3. ACD-101W – FIRST FLOOR WEST REFLECTED CEILING DEMOLITION PLAN, dated 12.21.23
4. ACD-102E – SECOND FLOOR EAST REFLECTED CEILING DEMOLITION PLAN, dated 12.21.23
5. ACD-102W – SECOND FLOOR WEST REFLECTED CEILING DEMOLITION PLAN, dated 12.21.23
6. AC-100 – BASEMENT REFLECTED CEILING DEMOLITION & NEW WORK PLAN, dated 12.21.23
7. AC-101E – FIRST FLOOR EAST REFLECTED CEILING NEW WORK PLAN, dated 12.21.23
8. AC-101W – FIRST FLOOR WEST REFLECTED CEILING NEW WORK PLAN, dated 12.21.23
9. AC-102E –SECOND FLOOR EAST REFLECTED CEILING NEW WORK PLAN, dated 12.21.23
10. AC-102W –SECOND FLOOR WEST REFLECTED CEILING NEW WORK PLAN, dated 12.21.23
11. AC-103 –THIRD FLOOR REFLECTED CEILING DEMOLITION & NEW WORK PLAN, dated 12.21.23
12. AC-104 –FOURTH FLOOR REFLECTED CEILING DEMOLITION & NEW WORK PLAN, dated 12.21.23
13. AC-105 –FIFTH FLOOR REFLECTED CEILING DEMOLITION & NEW WORK PLAN, dated 12.21.23
14. AC-106 –SIXTH FLOOR REFLECTED CEILING DEMOLITION & NEW WORK PLAN, dated 12.21.23
15. MD-104 – FOURTH FLOOR EASTG PLAN – MECHANICAL DEMOLITION, dated 12.21.23
16. E-102E – SECOND FLOOR EAST PLAN – POWER, dated 12.21.23
17. E-106 – SIXTH FLOOR EAST POWER PLAN, dated 12.21.23
18. E-500 – ELECTRICAL SCHEDULES, dated 12.21.23
19. E-501 – ELECTRICAL SCHEDULES, dated 12.21.23
20. PH-1 – PHASING & LOGISTICS PLAN 1, dated 12.21.23
21. PH-2 – PHASING & LOGISTICS PLAN 2, dated 12.21.23
22. PH-3 – PHASING & LOGISTICS PLAN 3, dated 12.21.23
23. PH-4 – PHASING & LOGISTICS PLAN 4, dated 12.21.23
24. PH-5 – PHASING & LOGISTICS PLAN 5, dated 12.21.23

**END OF ADDENDUM NO. 01**

**SECTION 00 01 02**

**TABLE OF CONTENTS – BOOK 3, PART 1**

**DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS - PER PBC**

00 01 00 SUPPLEMENTAL PROJECT INFORMATION ..... 00 01 00-1-1

**DIVISION 01 - GENERAL REQUIREMENTS**

01 23 00 ALTERNATES ..... 01 23 00 1-2  
01 25 00 SUBSTITUTION PROCEDURES ..... 01 25 00-1-2  
01 50 03 TEMPORARY FACILITIES AND CONTROLS – RENOVATION ..... 01 50 03-1-9  
01 56 11 GENERAL DUST, FUME AND ODOR CONTROLS (by Verde 2) ..... 01 56 11-1-5  
01 60 00 PRODUCT REQUIREMENTS ..... 01 60 00 -1-5  
01 62 10 PRE-CONSTRUCTION PROJECT MOCK-UP ..... 01 62 10-1-2  
01 70 00 EXECUTION REQUIREMENTS ..... 01 70 00-1-11  
01 73 29 CUTTING AND PATCHING ..... 01 73 29-1-5  
01 78 23.1 OPERATIONS & MAINTENANCE DATA – COMMISSIONING ..... 01 78 23.1-1-5  
01 79 00 DEMONSTRATION AND TRAINING ..... 01 79 00-1-4  
01 79 00.1 DEMONSTRATION AND TRAINING – COMMISSIONING ..... 01 79 00.1-1-5  
01 91 00 GENERAL COMMISSIONING (Cx) REQUIREMENTS ..... 01 91 00-1-10

**DIVISION 02 - EXISTING CONDITIONS**

02 24 00 ENVIRONMENTAL SURVEY AND SCOPE (by Verde 2) ..... 02 24 00  
02 82 15 ASBESTOS ABATEMENT - EXTERIORS (by Verde 2) ..... 02 82 15-1-11  
02 82 19 LEAD BASED PAINT ABATEMENT (by Verde 2) ..... 02 82 19-1-12  
02 41 19 SELECTIVE DEMOLITION ..... 02 41 19-1-7

**DIVISION 03 – CONCRETE**

03 30 53 MISCELLANEOUS CAST-IN-PLACE CONCRETE ..... 03 30 53-1-9  
03 64 00 INJECTION GROUTING ..... 03 64 00-1-4

**DIVISION 04 - MASONRY**

04 01 10 MASONRY CLEANING ..... 04 01 10-1-11  
04 01 20.63 BRICK MASONRY REPAIR ..... 04 01 20.63-1-10  
04 01 20.64 BRICK MASONRY REPOINTING ..... 04 01 20.64-1-7  
04 22 00 CONCRETE UNIT MASONRY ..... 04 22 00-1-12

**DIVISION 05 - METALS**

05 50 00 METAL FABRICATIONS ..... 05 50 00-1-9  
05 52 13 PIPE AND TUBE RAILINGS ..... 05 52 13-1-3

**DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES**

06 10 53 MISCELLANEOUS ROUGH CARPENTRY ..... 06 10 53–1-6  
06 15 16 WOOD ROOF DECKING ..... 06 15 16-1-4  
06 20 23 FINISH CARPENTRY ..... 06 20 23-1-8



**TABLE OF CONTENTS – BOOK 3, PART 1 (CONTINUED)**

**DIVISION 07 - THERMAL AND MOISTURE PROTECTION**

07 01 50.19	PREPARATION FOR RE-ROOFING.....	07 01 50.19-1-5
07 01 50.61	ROOF DECK REPAIR .....	07 01 50.61-1-5
07 01 50.65	ROOF PATCHING .....	07 01 50.65-1-3
07 54 19	POLYVINYL-CHLORIDE(PVC) ROOFING .....	07 54 19-1-13
07 71 00	ROOF SPECIALTIES.....	07 71 00-1-13
07 72 00	ROOF ACCESSORIES.....	07 72 00-1-11
07 84 00	FIRESTOPPING .....	07 84 00-1-6
07 92 00	JOINT SEALANTS.....	07 92 00-1-7

**DIVISION 08 - OPENINGS**

08 11 13	HOLLOW METAL DOORS AND FRAMES.....	08 11 13-1-5
08 14 16	FLUSH WOOD DOORS .....	08 14 16-1-4
08 71 00	DOOR HARDWARE .....	08 71 00-1-12
08 71 00.01	DOOR HARDWARE SCHEDULE.....	08 71 00.01-3

**DIVISION 09 - FINISHES**

09 21 16	GYPSUM BOARD ASSEMBLIES.....	09 21 16-1-7
09 22 16	NON-STRUCTURAL METAL FRAMING .....	09 22 16-1-5
09 51 13	ACOUSTICAL PANEL CEILING.....	09 51 13-1-9
09 65 00	RESILIENT FLOORING.....	09 65 00-1-5
09 91 03	SURFACE PREPARATION FOR RENOVATION PAINTING .....	09 91 03-1-7
09 91 05	RENOVATION PAINTING .....	09 91 05-1-6
09 91 13	EXTERIOR PAINTING.....	09 91 13-1-9
09 91 23	INTERIOR PAINTING.....	09 91 23-1-12

**DIVISION 10 – SPECIALTIES – NOT USED**

**DIVISION 11 – EQUIPMENT – NOT USED**

**DIVISION 12 – FURNISHINGS – NOT USED**

**DIVISION 13 - SPECIAL CONSTRUCTION – NOT USED**

**DIVISION 14 - CONVEYING EQUIPMENT**

14 22 00	TRACTION PASSENGER ELEVATORS.....	14 22 00-1-4
14 25 00	HYDRAULIC SERVICE ELEVATORS.....	14 25 00-1-4

**DIVISION 17 – INTEGRATED AUTOMATION SYSTEM**

17800	- GLOBAL BUILDING MANAGEMENT SYSTEM.....	17800-1-19
17815	- CONTRACTOR QUALIFICATIONS AND SUBMITTALS .....	17815-1-7
17825	- CONTRACTOR SUMMARY OF WORK.....	17825-1-6
17830	- FIELD LEVEL CONTROLLERS, DEVICES, AND I/O COMPONENTS .....	17830-1-6
17840	- FIELD PANELS.....	17840-1-8
17855	- BUILDING MANAGEMENT SYSTEM .....	17855-1-5
17865	- GRAPHICS AND POINT NAMING STANDARDS.....	17865-1-45
17875	- BUILDING MANAGEMENT SYSTEM COMMISSIONING .....	17875-1-10
17885	- CONTRACTOR TRAINING .....	17885-1-4

**TABLE OF CONTENTS – BOOK 3, PART 1 (CONTINUED)**

**DIVISION 21 - FIRE SUPPRESSION**

211300 – FIRE SUPPRESSION SYSTEMS..... 211300-1-05

**DIVISION 22 – PLUMBING – NOT USED**

**DIVISION 23 - HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)**

230500 - BASIC HVAC REQUIREMENTS ..... 230500-1-14  
230505 - HVAC DEMOLITION FOR REMODELING ..... 230505-1-4  
230513 - MOTORS ..... 230513-1-4  
230529 - HVAC SUPPORTS AND ANCHORS ..... 230529-1-9  
230548 - HVAC VIBRATION ISOLATION ..... 230548-1-7  
230553 - HVAC IDENTIFICATION ..... 230553-1-4  
230593 - TESTING, ADJUSTING, AND BALANCING ..... 230593-1-11  
230713 - DUCTWORK INSULATION ..... 230713-1-5  
230716 - HVAC EQUIPMENT INSULATION ..... 230716-1-3  
230719 - HVAC PIPING INSULATION ..... 230719-1-7  
230900 - CONTROLS ..... 230900-1-27  
230913 - INSTRUMENTATION ..... 230913-1-3  
232100 - HYDRONIC PIPING ..... 232100-1-13  
232116 - HYDRONIC SPECIALTIES ..... 232116-1-6  
232123 - HVAC PUMPS ..... 232123-1-3  
232300 - REFRIGERATION PIPING AND SPECIALTIES ..... 232300-1-5  
232500 - CHEMICAL (WATER) TREATMENT ..... 232500-1-3  
233100 - DUCTWORK ..... 233100-1-13  
233300 - DUCTWORK ACCESSORIES ..... 233300-1-5  
233413 AXIAL FANS ..... 233413-1-3  
233423 - POWER VENTILATORS ..... 233423-1-4  
233600 – AIR TERMINAL UNITS ..... 233600-1-4  
233700 – AIR INLETS AND OUTLETS ..... 233700-1-6  
236430 – AIR COOLED WATER CHILLERS ..... 236430-1-7  
233713 – INDOOR MODULAR AIR HANDLERS ..... 237313-1-7  
238121 – COMPUTER ROOM AIR CONDITIONING UNITS ..... 238121-1-4

**DIVISION 26 – ELECTRICAL**

260500 – BASIC ELECTRICAL REQUIREMENTS ..... 260500-1-19  
260505- - ELECTRICAL DEMOLITION FOR REMODELING ..... 260505-1-3  
260513 – WIRE AND CABLE ..... 260513-1-5  
260517- ELECTRIC HEAT TRACE AND SNOW MELT ..... 260517-1-3  
260526 – GROUNDING AND BONDING ..... 260526-1-4  
260527 – SUPPORTING DEVICES ..... 260527-1-4  
260533 – CONDUIT AND BOXES ..... 260533-1-14  
260535- SURFACE RACEWAYS ..... 260535-1-2  
260553 – ELECTRICAL IDENTIFICATION ..... 260553-1-7  
262816 – DISCONNECT SWITCHES ..... 262816-1-2  
262923 – VARIABLE FREQUENCY DRIVES ..... 262923-1-14

**DIVISION 27 - COMMUNICATIONS – NOT USED**

**TABLE OF CONTENTS – BOOK 3, PART 1 (CONTINUED)**

**DIVISION 28 - ELECTRONIC SAFETY AND SECURITY – NOT USED**

**DIVISION 31 – EARTHWORK – NOT USED**

**DIVISION 32 - EXTERIOR IMPROVEMENTS – NOT USED**

**DIVISION 33 – UTILITIES – NOT USED**

ATTACHMENT A- Roofing Survey and Evaluation at Chicago Central Heating Facility – 400 West. Superior Street, Chicago IL” prepared by IRCA and dated April 18, 2022.

ATTACHMENT B – Section “B.4 – Fire Escape” of RADA Architects Team’s Facility Assessment.

**END OF SECTION**

## SECTION 23 05 05

### HVAC DEMOLITION FOR REMODELING

#### PART 1 - GENERAL

##### 1.1 SECTION INCLUDES

- A. Mechanical demolition.
- B. Cutting and Patching.

#### PART 2 - PRODUCTS

##### 2.1 MATERIALS AND EQUIPMENT

- A. Materials and equipment shall be as specified in individual Sections.

#### PART 3 - EXECUTION

##### 3.1 EXAMINATION

- A. THE DRAWINGS ARE INTENDED TO INDICATE THE GENERAL SCOPE OF WORK AND DO NOT SHOW EVERY PIPE, DUCT, OR PIECE OF EQUIPMENT THAT MUST BE REMOVED. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY CONDITIONS PRIOR TO SUBMITTING A BID.
- B. Where walls, ceilings, etc., are shown as being removed on general drawings, the Contractor shall remove all mechanical equipment, devices, fixtures, piping, ducts, systems, etc., from the removed area.
- C. Where ceilings, walls, partitions, etc., are temporarily removed and replaced by others, This Contractor shall remove, store, and replace equipment, devices, fixtures, pipes, ducts, systems, etc.
- D. Verify that abandoned utilities serve only abandoned equipment or facilities. Extend services to facilities or equipment that shall remain in operation following demolition.
- E. Coordinate work with all other Contractors and the Owner. Schedule removal of equipment to avoid conflicts.
- F. This Contractor shall verify all existing equipment sizes and capacities where equipment is scheduled to be replaced or modified, prior to ordering new equipment.
- G. Bid submittal shall mean the Contractor has visited the project site and verified existing conditions and scope of work.

##### 3.2 PREPARATION AND SEQUENCING OF WORK

- A. Disconnect mechanical systems in walls, floors, and ceilings scheduled for removal.

- B. Provide temporary connections to maintain existing systems in service during construction. When work must be performed on operating equipment, use personnel experienced in such operations.
- C. Existing Cooling and Heating System: Maintain existing system in service until new system is complete and ready for service. Drain system only to make switchovers and connections. Obtain permission from the Owner at least 48 hours before partially or completely draining system. Minimize outage duration. Outage to cooling or heating systems shall be limited to off hours, during times when the system is active. With proper scheduling, cooling can be taken out of service when outside air temperatures are below 55°F and heating can be taken out of service when outside air temperatures are above 50°F.
- D. Existing Air Handling Systems: Existing air handling units shall be maintained in operation during occupied hours, except as noted below.
- E. Owner will allow one air handling unit at a time to be removed from service within the 6 story building (S-3 thru S-8) for replacement of unit and associated duct distribution. All such shutdowns to be scheduled in advance with owner.
- F. During the time that HVAC unit is out of service Contractor shall provide temporary HVAC equipment, ducting, power as required to deliver minimum of 0.6 cfm/SF to occupied office space with 0.2 cfm/SF outdoor air. Space temperature to be maintained between 70°F-80°F.

### 3.3 DEMOLITION AND EXTENSION OF EXISTING MECHANICAL WORK

- A. Demolish and extend existing mechanical work under provisions of Division 2 and this Section.
- B. Remove, relocate, and extend existing installations to accommodate new construction.
- C. Remove abandoned ducts and piping to source of supply and/or main lines.
- D. Remove exposed abandoned pipes and ducts, including abandoned pipes and ducts above accessible ceilings. Cut ducts flush with walls and floors, cap duct that remains, and patch surfaces. Cut pipes above ceilings, below floors and behind walls. Cap remaining lines. Repair building construction to match original. Remove all clamps, hangers, supports, etc. associated with pipe and duct removal.
- E. Disconnect and remove mechanical devices and equipment serving equipment that has been removed.
- F. Repair adjacent construction and finishes damaged during demolition and extension work.
- G. Maintain access to existing mechanical installations which remain. Modify installation or provide access panels as appropriate.
- H. Remove unused sections of supply and return air ductwork back to mains. Patch opening with sheet metal and seal airtight. Patch existing insulation to match existing. Where existing ductwork is to be capped and reused, locate the end cap within 6" of the last branch. End caps shall be 3" pressure class and seal class "A".
- I. Extend existing installations using materials and methods compatible with existing installations, or as specified.
- J. Properly reclaim and dispose of all refrigerant in chillers

3.4 CUTTING AND PATCHING

- A. This Contractor is responsible for all penetrations of existing construction required to complete the work of this project. Refer to Section 23 05 29 for additional requirements.
- B. Penetrations in existing construction should be reviewed carefully prior to proceeding with any work.
- C. Penetrations shall be neat and clean with smooth and/or finished edges. Core drill where possible for clean opening.
- D. Repair existing construction as required after penetration is complete to restore to original condition. Use similar materials and match adjacent construction unless otherwise noted or agreed to by the Architect/Engineer prior to start of work.
- E. This Contractor is responsible for all costs incurred in repair, relocations, or replacement of any cables, conduits, or other services if damaged without proper investigation.

3.5 CLEANING AND REPAIR

- A. Clean and repair existing materials and equipment which remain or are to be reused.
- B. Clean all systems adjacent to project which are affected by the dust and debris caused by this construction.
- C. MECHANICAL ITEMS REMOVED AND NOT RELOCATED REMAIN THE PROPERTY OF THE OWNER. CONTRACTOR SHALL PLACE ITEMS RETAINED BY THE OWNER IN A LOCATION COORDINATED WITH THE OWNER. THE CONTRACTOR SHALL DISPOSE OF MATERIAL THE OWNER DOES NOT WANT TO REUSE OR RETAIN FOR MAINTENANCE PURPOSES.

3.6 SPECIAL REQUIREMENTS

- A. Install temporary filter media over outside air intakes which are within 100 feet of the limits of construction or as noted on the drawings. This Contractor shall complete any cleaning required for existing systems which are affected by construction dust and debris.
- B. Review locations of all new penetrations in existing floor slabs or walls. Determine construction type and review for possible interferences. Bring all concerns to the attention of the Architect/Engineer before proceeding.
- C. Connection to Existing Glycol Systems:
  - 1. Where existing piping system is reused in parts, existing system in its entirety shall be drained.
    - a. Prior to starting work, provide an analysis of the existing glycol solution and make a report to the Owner/Engineer. The report shall include the level of glycol concentration as well as a statement regarding the overall condition of the solution about cleanliness of the solution.
      - 1) If the existing concentration is below the design level, the Contractor shall coordinate with the Owner to provide the additional quantity of glycol as added scope to the project.

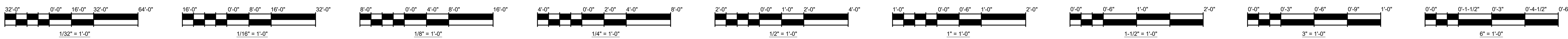
- 2) If the overall condition of glycol solution is poor and not worthy of being placed back into the system, the Contactor shall coordinate with the Owner to provide the additional quantity of glycol as added scope to the project.
- b. Provide means to store the existing glycol solution drained from the system for the duration of the work. Glycol may be stored on site or removed and brought back to the site when the system is ready to be refilled.
    - 1) Once the new work is attached to the system and installation has been completed, pressure test the system in its entirety as a complete system. Repair all leaks as added scope to the project.
  - c. Upon completion of an acceptable pressure test, flush the system in its entirety. Provide enough chemicals and flow to clean and flush the system as a whole.
  - d. In addition to the stored glycol solution, provide additional glycol solution to be added to the system due to the increased volume associated with the new work. Provide new solution for the portion of the added system. Use existing glycol feeder to add to the system.

**END OF SECTION 23 05 05**









REFLECTED CEILING PLAN DEMO LEGEND	
	EXISTING 2 X 4 FLUORESCENT TUBE LIGHT FIXTURE
	EXISTING 2 X 2 FLUORESCENT TUBE LIGHT FIXTURE
	EXISTING RECESSED CAN LIGHT
	EXISTING CEILING HUNG BARE BULB
	EXISTING WALL HUNG LIGHT
	EXISTING SUSPENDED 4' - SINGLE TUBE FLUORESCENT LIGHT FIXTURE
	EXISTING SUSPENDED 4' 2-TUBE FLUORESCENT LIGHT FIXTURE
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS
	EXISTING SUSPENDED MOUNTED TUBE LIGHT
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN
	EXISTING RETURN/SUPPLY DIFFUSER TO BE REMOVED
	EXISTING PARTITION WALL TO REMAIN
	EXISTING AUDIO FIRE ALARM DEVICE TO REMAIN
	EXISTING EXIT SIGNS TO REMAIN
	EXISTING GYPSUM BOARD CEILING
	EXISTING GYPSUM BOARD CEILING TO BE REMOVED
	2 X 4 ACUSTIC TILE CEILING EXISTING U.N.O.
	2 X 2 ACUSTIC TILE CEILING EXISTING U.N.O.
	2 X 4 ACUSTIC TILE CEILING TO BE REPLACED, CEILING GRID TO REMAIN
	2 X 4 ACUSTIC TILE CEILING TO BE REMOVED
	2 X 2 ACUSTIC TILE CEILING TO BE REMOVED
	EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN
	EXISTING CEILING MOUNTED CAMERA
	EXISTING WALL MOUNTED CAMERA
	EXISTING VISUAL FIRE ALARM DEVICE TO REMAIN

**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

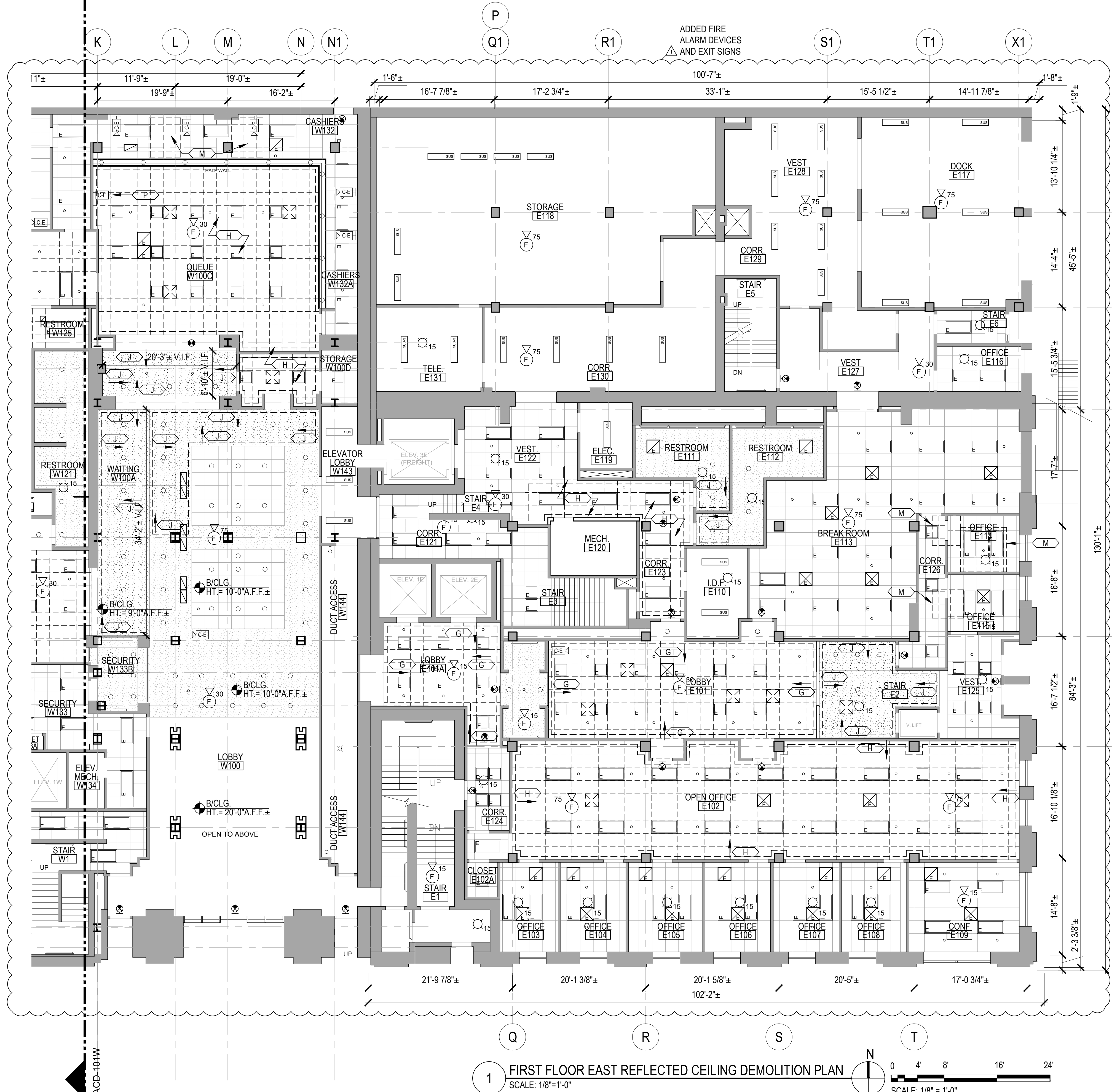
- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SHIT. A-502 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES.
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS, CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.

**REFLECTED CEILING PLAN GENERAL DEMO & NEW WORK NOTES**

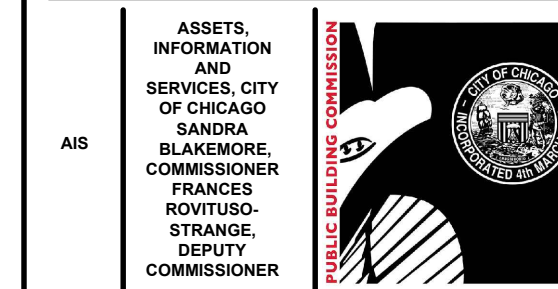
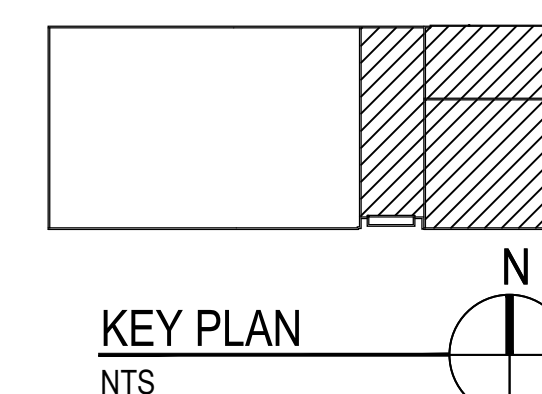
- FIELD VERIFY THE POSITION OF ALL LIGHT FIXTURES, DIFFUSERS, ALARMS SENSORS, SPRINKLER HEADS ETC.
- PROTECT CONSTRUCTION TO REMAIN INCLUDING FLOORING AGAINST DAMAGE AND SOILING DURING CONSTRUCTION ACTIVITIES.
- TIMING OF ALL CUTTING, SAWING, AND OTHER OPERATIONS RESULTING IN NOISE AFFECTING ADJACENT SPACES SHALL BE COORDINATED WITH OWNER. TORCH CUTTING IS NOT ALLOWED.
- CEILING WITHOUT MATERIAL INDICATIONS ARE OPEN TO STRUCTURE ABOVE.
- ITEMS INDICATED TO BE SALVAGED OR REUSED SHALL BE CAREFULLY REMOVED WITHOUT DAMAGE TO THEM TO ALLOW FOR REINSTALLATION.
- ALL ACOUSTIC TILE, CEILING GRID, GYPSUM BOARD CEILINGS, LIGHTING, DIFFUSER GRILLES ETC. SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL CEILINGS ARE BETWEEN APPROXIMATELY 8 FEET AND 10 FEET AFF. NEW CEILING HEIGHTS TO MATCH EXISTING U.N.O.
- CONTRACTOR SHALL RESERVE/SALVAGE EXISTING UNDAMAGED DEMOLISHED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED OR REMOVED AND REUSED. REPLACED TILE SHALL MATCH EXISTING
- THE ARRANGEMENT/LOCATION OF ALL LIGHTS, EXIT SIGNS, SPRINKLER HEADS SHALL BE THE SAME AS THAT EXISTING UNLESS NOTED OTHERWISE. SEE MEP DWGS FOR DIFFUSERS AND OTHER INFORMATION.
- UNLESS NOTED OTHERWISE NEW CEILING GRID PATTERN SHALL MATCH THOSE EXISTING IN THE SPACE. CONTRACTOR SHALL FIELD VERIFY ALL LAYOUTS
- CONTRACTOR SHALL FIELD VERIFY ALL CEILING LAYOUTS & REPORT DISCREPANCIES TO THE OWNER.
- NOT USED

**REFLECTED CEILING PLAN DEMOLITION KEY NOTES**

- KEYNOTE TAG
- REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN GRID & DISPOSE OF TILES.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS
  - REMOVE EXISTING CURVED VAULTED PTD CEILING. EXTEND OF DEMOLITION SHOULD BE TO EXISTING REVEALS.
  - REMOVE AND RESERVE EXISTING CEILING TILE AS REQUIRED FOR WORK ABOVE. REINSTALL RESERVED EXISTING CEILING TILE AFTER WORK.
  - EXIST SKYLIGHT TO REMAIN.
  - EXISTING ACOUSTIC TILE SOFFIT TO BE REPLACED PER KEYNOTE A.
  - REMOVE EXISTING 2' X 2' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
  - REMOVE EXISTING 2' X 4' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS AND LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
  - REMOVE EXISTING PAINTED GYPSUM BOARD CEILING OR SOFFIT AT WALL. SPRINKLERS HEADS, LIGHTING, SENSORS, ETC. TO REMAIN OR TO BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
  - REMOVE EXISTING ACUSTIC CEILING TILE AS REQUIRED FOR REMOVAL OF LINEAR DIFFUSER. RESERVE TILE FOR TRIMMING AND REINSTALLATION. SEE MEP DWGS FOR MORE INFORMATION
  - EXTEND EXISTING SPRINKLER HEAD TO BELOW CEILING LEVEL. LOCATIONS ARE APPROXIMATE.
  - REMOVE EXISTING ACOUSTIC CEILING TILE. CEILING GRID TO REMAIN. RESERVE FOR REINSTALLATION.
  - REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN ALL GRID. RESERVE TILES FOR REUSE IN OTHER ROOMS.
  - REMOVE EXISTING R-30 BATT INSULATION FROM UNDERSIDE OF JOIST/ABOVE CEILING.
  - EXISTING CEILING MTD CAMERAS TO BE TEMPORALLY REMOVED, SAFE FOR REINSTALLATION.
  - EXISTING WALL MTD CAMERAS TO BE TEMPORALLY REMOVED, SAVE FOR REINSTALLATION.
  - REMOVE CURVED GYP BD. CEILING AND FRAMING.



**1 FIRST FLOOR EAST REFLECTED CEILING DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**

400 W. SUPERIOR  
CHICAGO, IL 60654

PUBLIC BUILDING COMMISSION  
CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
RADA ARCHITECTS LTD.

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RUDOLPH CENTER | 233 N Michigan Avenue  
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Chicago, IL  
Environmental Consultant

Issue	Mark	Description	Date
1		ISSUE FOR BID	11.29.23
2		ISSUE FOR PERMIT	11.29.23
3		ADDITIONAL NO. 1	12.21.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

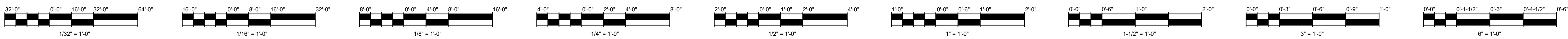
PBC Contract No: C1666

Project No.: 04044

Title: **FIRST FLOOR EAST REFLECTED CEILING DEMO PLAN**

Sheet: **ACD-101E**





**REFLECTED CEILING PLAN DEMO LEGEND**

	EXISTING 2 X 4 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING
	EXISTING 2 X 2 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING TO BE REMOVED
	EXISTING RECESSED CAN LIGHT		2 X 4 ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING CEILING HUNG BARE BULB		2 X 2 ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING WALL HUNG LIGHT		2 X 4 ACOUSTIC TILE CEILING TO BE REPLACED
	EXISTING SUSPENDED 4\"/>		2 X 4 ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SUSPENDED 4\"/>		2 X 2 ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SURFACE MOUNTED 4\"/>		EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN
	EXISTING 4\"/>		EXISTING CEILING MOUNTED CAMERA
	EXISTING 4\"/>		EXISTING WALL MOUNTED CAMERA
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING VISUAL FIRE ALARM DEVICE TO REMAIN
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN		
	EXISTING RETURN/SUPPLY DIFFUSER TO BE REMOVED		
	EXISTING PARTITION WALL TO REMAIN		
	EXISTING AUDIO FIRE ALARM DEVICE TO REMAIN		
	EXISTING EXIT SIGNS TO REMAIN		

**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

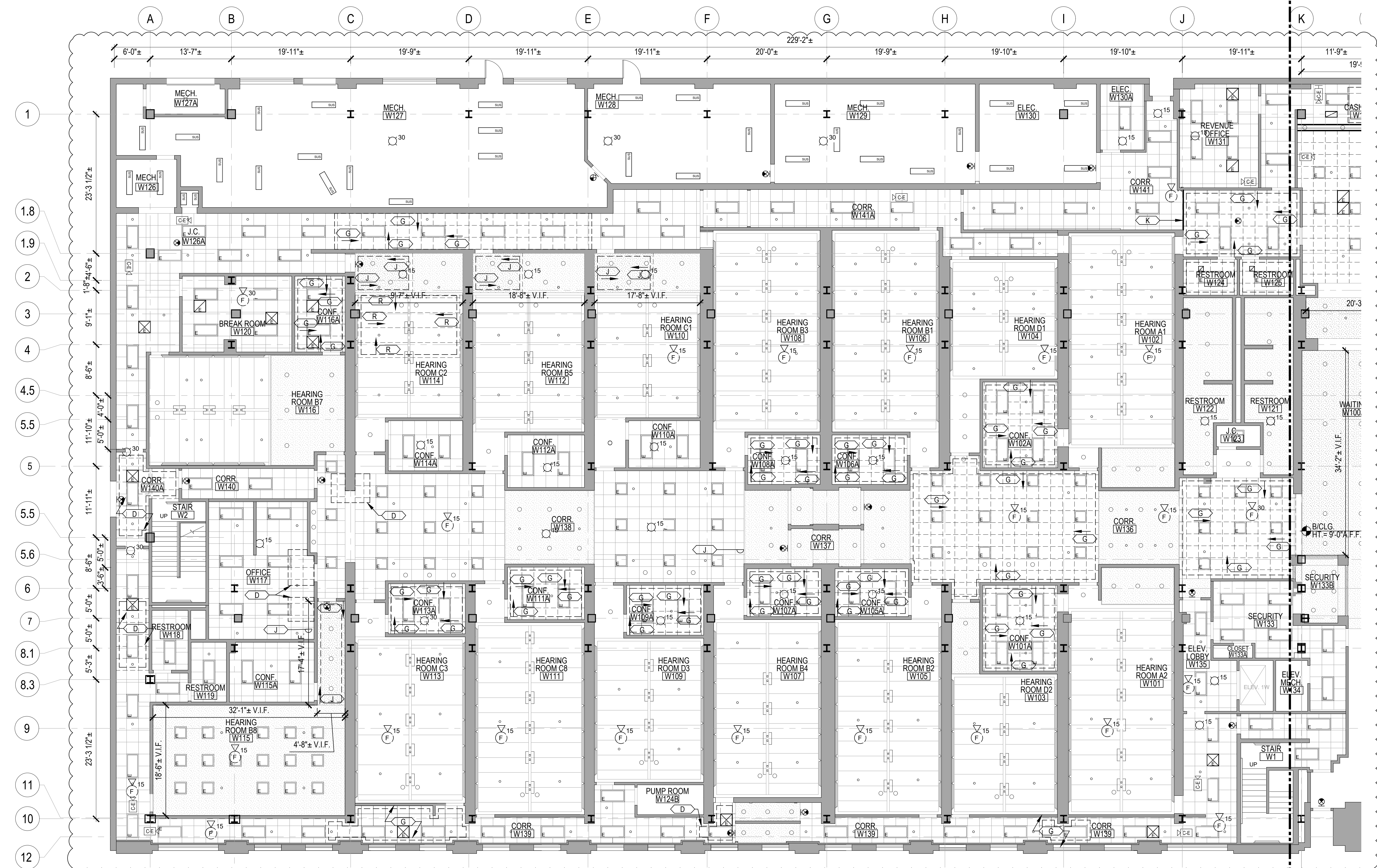
- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SHT. A-602 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES.
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**REFLECTED CEILING PLAN GENERAL DEMO & NEW WORK NOTES**

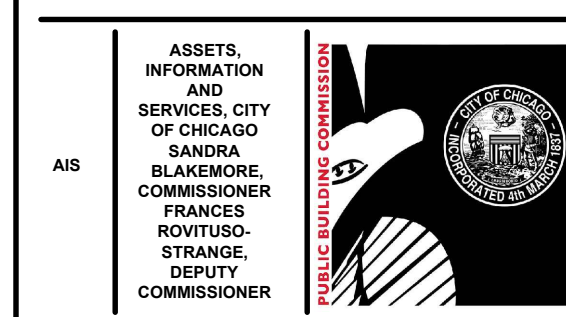
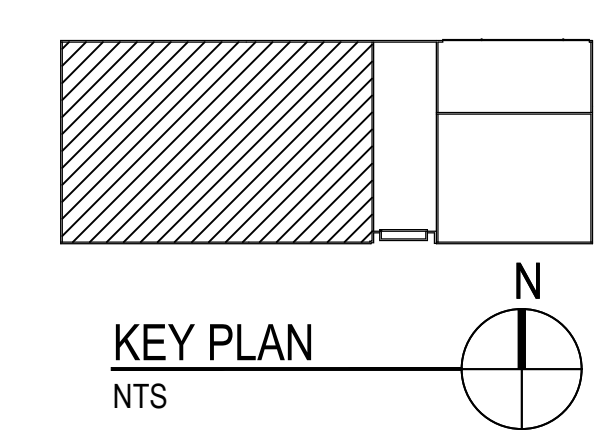
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- NOT USED

**REFLECTED CEILING PLAN DEMOLITION KEY NOTES**

- KEYNOTE TAG
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- CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS
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- REMOVE AND RESERVE EXISTING CEILING TILE AS REQUIRED FOR WORK ABOVE. REINSTALL RESERVED EXISTING CEILING TILE AFTER WORK.
- EXIST SKYLIGHT TO REMAIN.
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- REMOVE CURVED GYP BD. CEILING AND FRAMING.



ADDED FIRE ALARM DEVICES AND EXIT SIGNS



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**

400 W. SUPERIOR  
CHICAGO, IL 60654

PUBLIC BUILDING COMMISSION  
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Architect of Record:  
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**VERDES ENVIRONMENTAL SOLUTIONS Chicago, IL**  
Environmental Consultant

Issue	Mark	Description	Date
1		ISSUE FOR BID	11.29.23
2		ISSUE FOR PERMIT	11.29.23
3		ADDITIONAL NO. 1	12.21.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

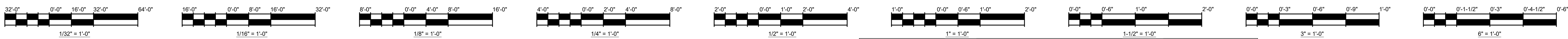
PBC Contract No: C1666

Project No: 04044

Title: **FIRST FLOOR WEST REFLECTED CEILING DEMO PLAN**

Sheet: **ACD-101W**





**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

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**REFLECTED CEILING PLAN DEMO LEGEND**

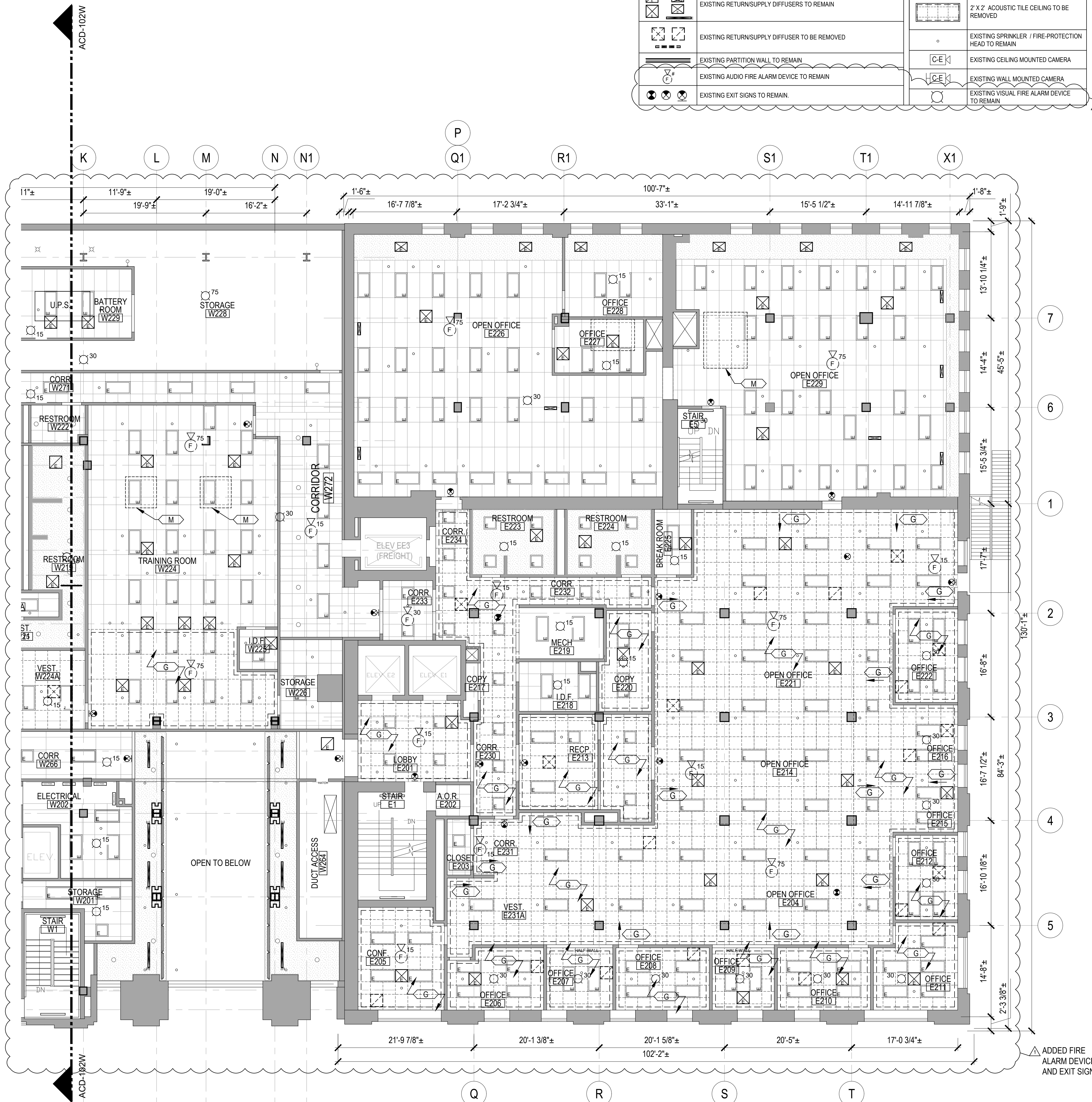
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	EXISTING 2' X 2' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING TO BE REMOVED
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	EXISTING WALL HUNG LIGHT		2' X 4' ACOUSTIC TILE CEILING TO BE REPLACED, CEILING GRID TO REMAIN
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	EXISTING SUSPENDED 4' 2-TUBE FLUORESCENT LIGHT FIXTURE		2' X 2' ACOUSTIC TILE CEILING TO BE REMOVED
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	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING VISUAL FIRE ALARM DEVICE TO REMAIN
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**REFLECTED CEILING PLAN GENERAL DEMO & NEW WORK NOTES**

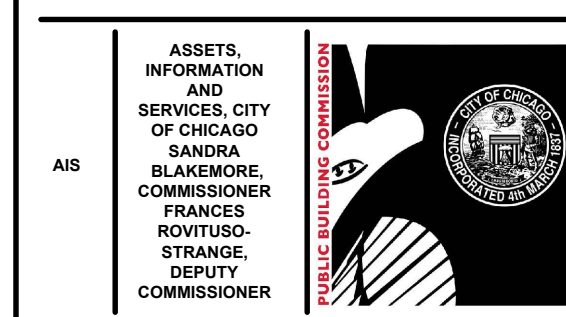
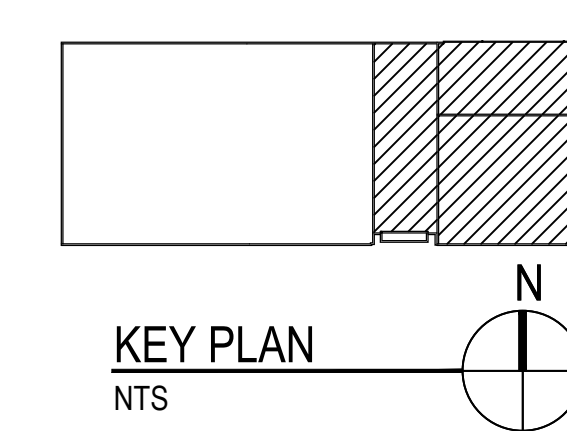
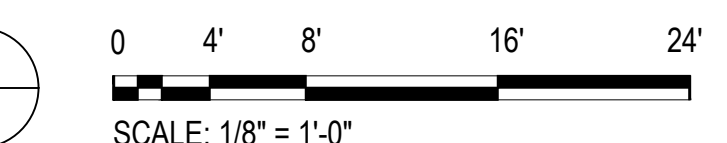
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**REFLECTED CEILING PLAN DEMOLITION KEY NOTES**

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**1 SECOND FLOOR EAST REFLECTED CEILING DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



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Mark	Description	Date
Δ	ADDENDUM NO. 1	12.21.23
2	ISSUE FOR PERMIT	11.29.23
1	ISSUE FOR BID	11.29.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

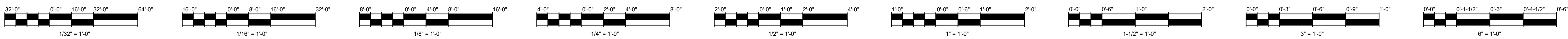
PBC Contract No: C1606

Project No.: 04044

Title: **SECOND FLOOR EAST REFLECTED CEILING DEMO PLAN**

Sheet: **ACD-102E**





**REFLECTED CEILING PLAN DEMO LEGEND**

	EXISTING 2 X 4 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING
	EXISTING 2 X 2 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING TO BE REMOVED
	EXISTING RECESSED CAN LIGHT		2 X 4 ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING CEILING HUNG BARE BULB		2 X 2 ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING WALL HUNG LIGHT		2 X 4 ACOUSTIC TILE CEILING TO BE REPLACED, CEILING GRID TO REMAIN
	EXISTING SUSPENDED 4' - SINGLE TUBE FLUORESCENT LIGHT FIXTURE		2 X 4 ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SUSPENDED 4' 2 - TUBE FLUORESCENT LIGHT FIXTURE		2 X 2 ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE		EXISTING SPRINGLER / FIRE-PROTECTION HEAD TO REMAIN
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT		EXISTING CEILING MOUNTED CAMERA
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS		EXISTING WALL MOUNTED CAMERA
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING VISUAL FIRE ALARM DEVICE TO REMAIN
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN		
	EXISTING RETURN/SUPPLY DIFFUSER TO BE REMOVED		
	EXISTING PARTITION WALL TO REMAIN		
	EXISTING AUDIO FIRE ALARM DEVICE TO REMAIN		
	EXISTING EXIT SIGNS TO REMAIN		

**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

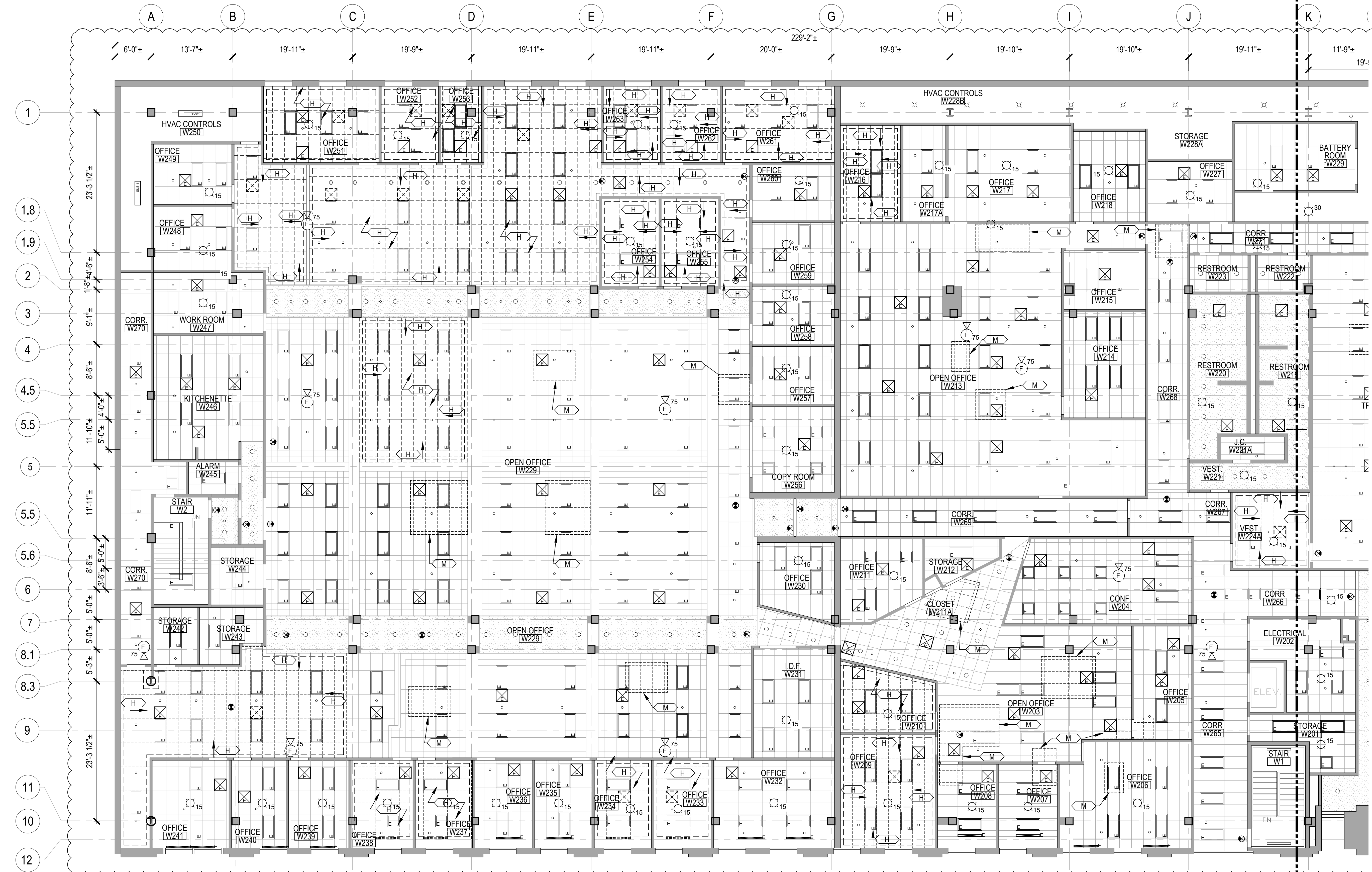
- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SHIT. A-602 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES.
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS, CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.

**REFLECTED CEILING PLAN GENERAL DEMO & NEW WORK NOTES**

- FIELD VERIFY THE POSITION OF ALL LIGHT FIXTURES, DIFFUSERS, ALARMS SENSORS, SPRINKLER HEADS ETC.
- PROTECT CONSTRUCTION TO REMAIN INCLUDING FLOORING AGAINST DAMAGE AND SOILING DURING CONSTRUCTION ACTIVITIES.
- TIMING OF ALL CUTTING, SAWING, AND OTHER OPERATIONS RESULTING IN NOISE AFFECTING ADJACENT SPACES SHALL BE COORDINATED WITH OWNER. TORCH CUTTING IS NOT ALLOWED.
- CEILING WITHOUT MATERIAL INDICATIONS ARE OPEN TO STRUCTURE ABOVE.
- ITEMS INDICATED TO BE SALVAGED OR REUSED SHALL BE CAREFULLY REMOVED WITHOUT DAMAGE TO THEM TO ALLOW FOR REINSTALLATION.
- ALL ACOUSTIC TILE, CEILING GRID, GYPSUM BOARD CEILINGS, LIGHTING, DIFFUSER GRILLES ETC. SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL CEILINGS ARE BETWEEN APPROXIMATELY 8 FEET AND 10 FEET AFF. NEW CEILING HEIGHTS TO MATCH EXISTING U.N.O.
- CONTRACTOR SHALL RESERVE/SALVAGE EXISTING UNDAMAGED DEMOLISHED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED OR REMOVED AND REUSED. REPLACED TILE SHALL MATCH EXISTING.
- THE ARRANGEMENT/LOCATION OF ALL LIGHTS, EXIT SIGNS, SPRINKLER HEADS SHALL BE THE SAME AS THAT EXISTING UNLESS NOTED OTHERWISE. SEE MEP DWGS FOR DIFFUSERS AND OTHER INFORMATION.
- UNLESS NOTED OTHERWISE NEW CEILING GRID PATTERN SHALL MATCH THOSE EXISTING IN THE SPACE. CONTRACTOR SHALL FIELD VERIFY ALL LAYOUTS.
- CONTRACTOR SHALL FIELD VERIFY ALL CEILING LAYOUTS & REPORT DISCREPANCIES TO THE OWNER.
- NOT USED

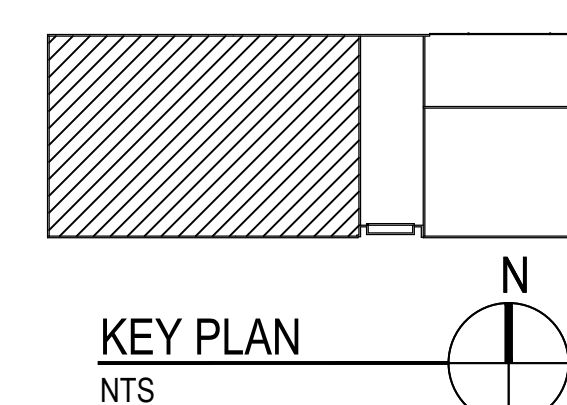
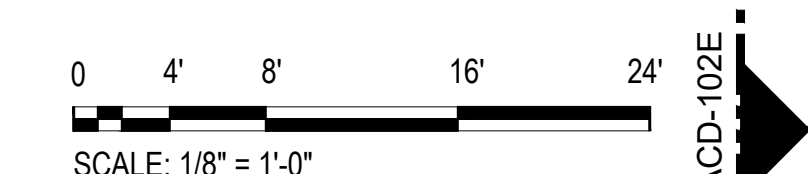
**REFLECTED CEILING PLAN DEMOLITION KEY NOTES**

- KEYNOTE TAG
- REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN GRID & DISPOSE OF TILES.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS
  - REMOVE EXISTING CURVED VAULTED PTD CEILING. EXTEND OF DEMOLITION SHOULD BE TO EXISTING REVEALS.
  - REMOVE AND RESERVE EXISTING CEILING TILE AS REQUIRED FOR WORK ABOVE. REINSTALL RESERVED EXISTING CEILING TILE AFTER WORK.
  - EXIST SKYLIGHT TO REMAIN.
  - EXISTING ACOUSTIC TILE SOFFIT TO BE REPLACED PER KEYNOTE A.
  - REMOVE EXISTING 2' X 2' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - REMOVE EXISTING 2' X 4' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS AND LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - REMOVE EXISTING PAINTED GYPSUM BOARD CEILING OR SOFFIT AT WALL. SPRINKLERS HEADS, LIGHTING, SENSORS, ETC. TO REMAIN OR TO BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - REMOVE EXISTING ACOUSTIC CEILING TILE AS REQUIRED FOR REMOVAL OF LINEAR DIFFUSER. RESERVE TILE FOR TRIMMING AND REINSTALLATION. SEE MEP DWGS FOR MORE INFORMATION.
  - EXTEND EXISTING SPRINKLER HEAD TO BELOW CEILING LEVEL. LOCATIONS ARE APPROXIMATE.
  - REMOVE EXISTING ACOUSTIC CEILING TILE. CEILING GRID TO REMAIN. RESERVE FOR REINSTALLATION.
  - REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN ALL GRID. RESERVE TILES FOR REUSE IN OTHER ROOMS.
  - REMOVE EXISTING R-30 BATT INSULATION FROM UNDERSIDE OF JOIST/ABOVE CEILING.
  - EXISTING CEILING MTD CAMERAS TO BE TEMPORALLY REMOVED. SAFE FOR REINSTALLATION.
  - EXISTING WALL MTD CAMERAS TO BE TEMPORALLY REMOVED. SAVE FOR REINSTALLATION.
  - REMOVE CURVED GYP BD. CEILING AND FRAMING.



▲ ADDED FIRE ALARM DEVICES AND EXIT SIGNS

**1 SECOND FLOOR WEST REFLECTED CEILING DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**  
400 W. SUPERIOR  
CHICAGO, IL 60654  
PUBLIC BUILDING COMMISSION  
CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
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LERCH BATES Chicago, IL  
Elevator Consultant

IRCA Chicago, IL  
Roofing Consultant

VERDES ENVIRONMENTAL SOLUTIONS Chicago, IL  
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Mark	Description	Date
▲	ADDENDUM NO. 1	12.21.23
▲	ISSUE FOR PERMIT	11.29.23
▲	ISSUE FOR BID	11.29.23

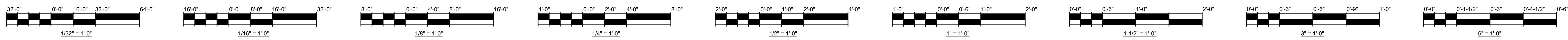
PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

PBC Contract No: C1666  
Project No: 04044

Title  
**SECOND FLOOR WEST REFLECTED CEILING DEMO PLAN**

Sheet  
**ACD-102W**





**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

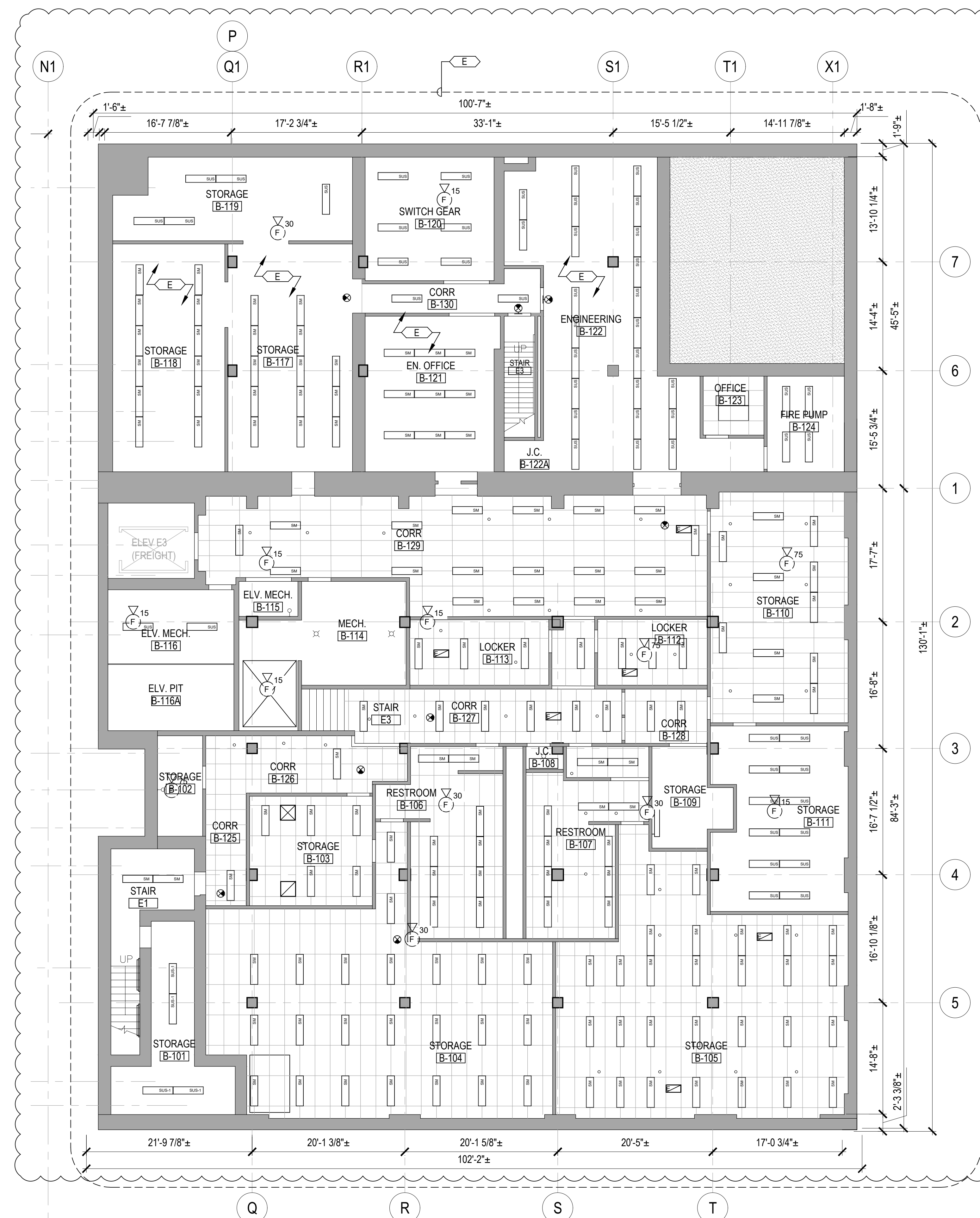
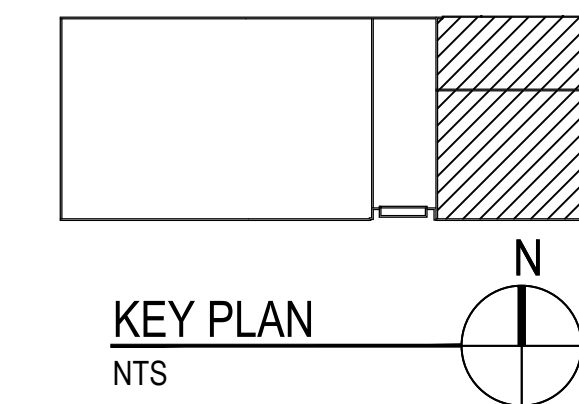
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**REFLECTED CEILING PLAN GENERAL NOTES**

- FIELD VERIFY THE POSITION OF ALL LIGHT FIXTURES, DIFFUSERS, SPRINKLER HEADS, ETC.
- PROTECT CONSTRUCTION TO REMAIN AGAINST DAMAGE AND SOILING DURING CONSTRUCTION ACTIVITIES.
- TIMING OF ALL CUTTING, SAWING AND OTHER OPERATIONS RESULTING IN NOISE AFFECTING ADJACENT SPACES SHALL BE COORDINATED WITH OWNER AND USER. TORCH CUTTING IS NOT ALLOWED.
- CEILING WITHOUT MATERIAL INDICATION ARE OPEN TO STRUCTURE ABOVE.
- ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED WITHOUT DAMAGE TO THEM TO ALLOW FOR REINSTALLATION.
- ALL ACOUSTIC TILE, CEILING GRID, GYPSUM BOARD CEILINGS, LIGHTING, EXHAUST GRILLES ETC. SHOW ON ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- EXISTING SPRINKLER HEADS NOT SHOWN FOR CLARITY, EXISTING SHOWN @ FOURTH FLOOR NORTH OF COLUMN LINE
- ROOMS WITH NO CEILINGS INDICATED ARE EXISTING EXPOSED STRUCTURE.

**REFLECTED CEILING PLAN KEY NOTES**

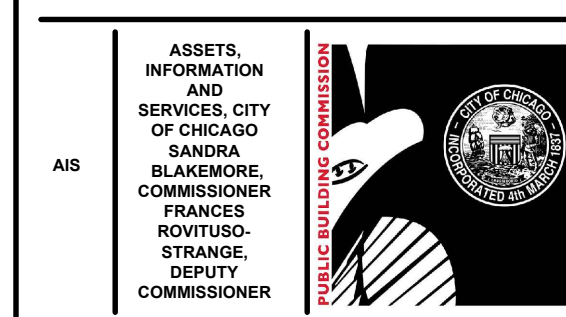
- KEYNOTE TAG
- REMOVE ALL EXISTING CEILING TILES CEILING GRID TO REMAIN. CLEAN GRID
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS
  - REINSTALL NEW ACOUSTIC CEILING TILE IN EXISTING GRID.
  - REPAINT ENTIRE CEILING TO MATCH EXISTING
  - SEE MEP SERIES DRAWINGS FOR WORK ON THIS FLOOR LEVEL.



**1 BASEMENT REFLECTED CEILING DEMOLITION AND NEW WORK PLAN**  
SCALE: 1/8"=1'-0"

**REFLECTED CEILING PLAN LEGEND**

	EXISTING 2' X 4' FLUORESCENT TUBE LIGHT FIXTURE
	EXISTING 2' X 2' FLUORESCENT TUBE LIGHT FIXTURE
	EXISTING RECESSED CAN LIGHT
	EXISTING CEILING HUNG BARE BULB
	EXISTING WALL HUNG LIGHT
	EXISTING SUSPENDED 4' - SINGLE TUBE FLUORESCENT LIGHT FIXTURE
	EXISTING SUSPENDED 4' - 2-TUBE FLUORESCENT LIGHT FIXTURE
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS
	EXISTING SUSPENDED MOUNTED TUBE LIGHT
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN
	EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN
	NEW 2' X 2' RETURN/SUPPLY DIFFUSERS
	EXISTING CEILING MOUNTED CAMERA
	EXISTING WALL MOUNTED CAMERA
	EXISTING GYPSUM BOARD CEILING
	NEW GYPSUM BOARD CEILING TO MATCH EXISTING.
	EXISTING 2' X 4' ACOUSTIC TILE CEILING
	EXISTING 2' X 2' ACOUSTIC TILE CEILING
	NEW 2' X 4' ACOUSTIC TILE CEILING ON EXISTING CEILING GRID.
	NEW 2' X 4' ACOUSTIC TILE CEILING
	EXISTING ACOUSTIC TILE TRIMMED FROM EXISTING SALVAGED ACOUSTIC TILE.
	EXISTING PARTITION WALL TO REMAIN
	EXISTING AUDIO FIRE ALARM DEVICE TO REMAIN
	EXISTING VISUAL FIRE ALARM DEVICE TO REMAIN
	EXISTING EXIT SIGNS TO REMAIN



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Issuance

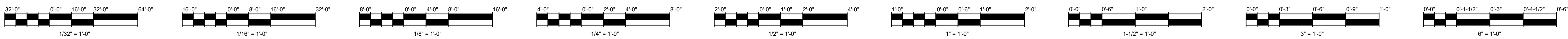
Mark	Description	Date
Δ	ADDENDUM NO. 1	12.21.23
2	ISSUE FOR PERMIT	11.29.23
1	ISSUE FOR BID	11.29.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

PBC Contract No: C1666  
Project No.: 04044  
Title: **BASEMENT REFLECTED CEILING PLAN DEMO & NEW WORK**

Sheet **AC-100**





**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SH. A-602 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES.
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS, CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.

**REFLECTED CEILING NEW CONSTRUCTION PLAN LEGEND**

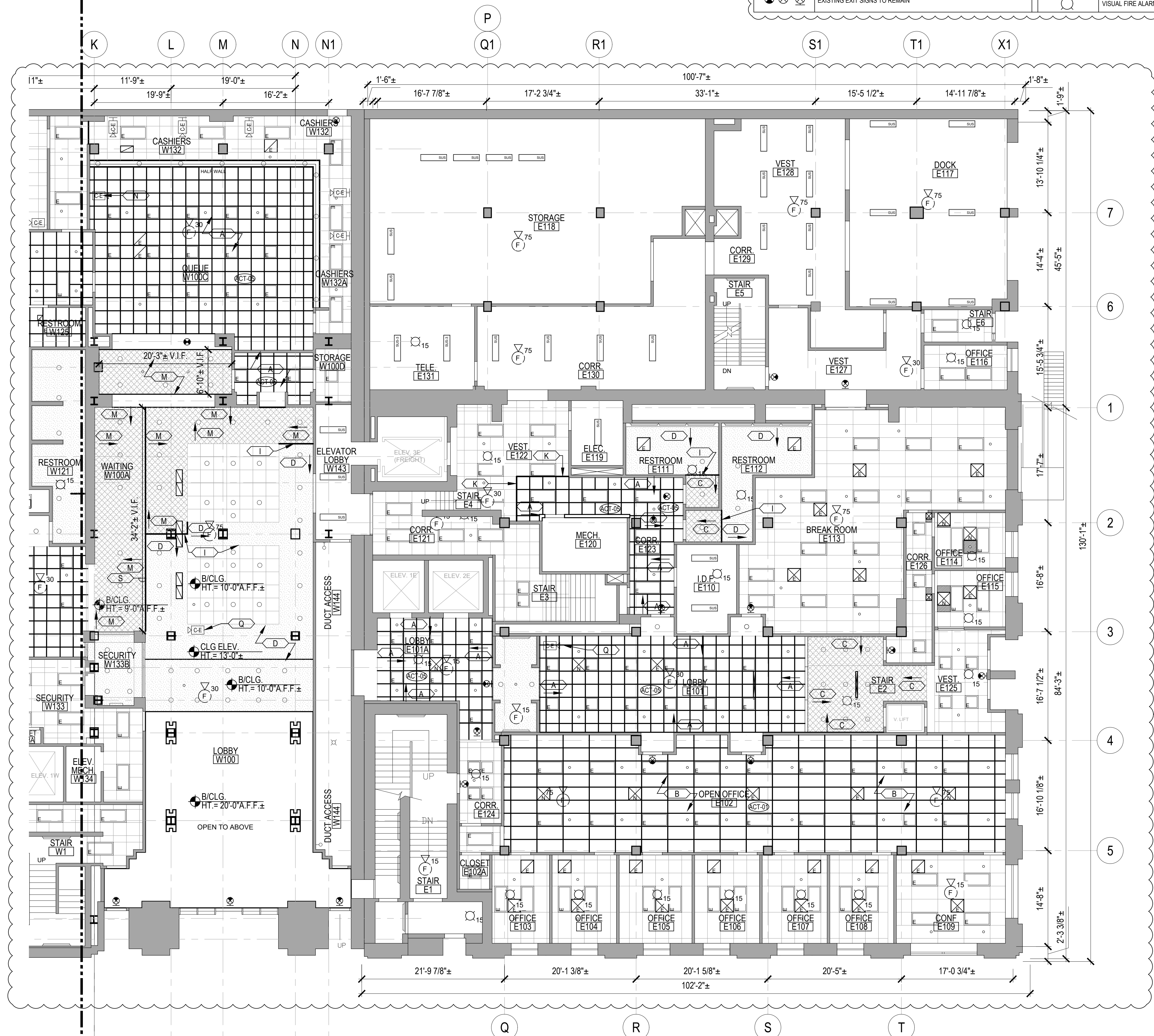
	EXISTING 2' X 4' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING CEILING MOUNTED CAMERA
	EXISTING 2' X 2' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING WALL MOUNTED CAMERA
	EXISTING RECESSED CAN LIGHT		EXISTING GYPSUM BOARD CEILING
	EXISTING CEILING HUNG BARE BULB		NEW GYPSUM BOARD CEILING TO MATCH EXISTING
	EXISTING WALL HUNG LIGHT		EXISTING 2' X 4' ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4' - SINGLE TUBE FLUORESCENT LIGHT FIXTURE		EXISTING 2' X 2' ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4' - 2 TUBE FLUORESCENT LIGHT FIXTURE		NEW 2' X 4' ACOUSTIC TILE CEILING ON EXISTING CEILING GRID
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE		NEW 2' X 4' ACOUSTIC TILE CEILING
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT		EXISTING ACOUSTIC TILE TRIMMED FROM EXISTING SALVAGED ACOUSTIC TILE
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS		PROVIDE NEW GRID TO MATCH EXISTING BETWEEN PIECES
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING PARTITION WALL TO REMAIN
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN		AUDIO FIRE ALARM DEVICE
	EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN		VISUAL FIRE ALARM DEVICE
	NEW RETURN/SUPPLY DIFFUSERS		
	NEW ACOUSTIC CEILING TILE SYSTEM. SEE SCHEDULE ON SHEET A-602		
	EXISTING EXIT SIGNS TO REMAIN		

**REFLECTED CEILING PLAN GENERAL NEW WORK NOTES**

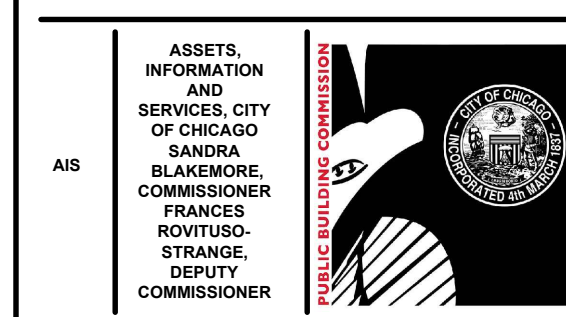
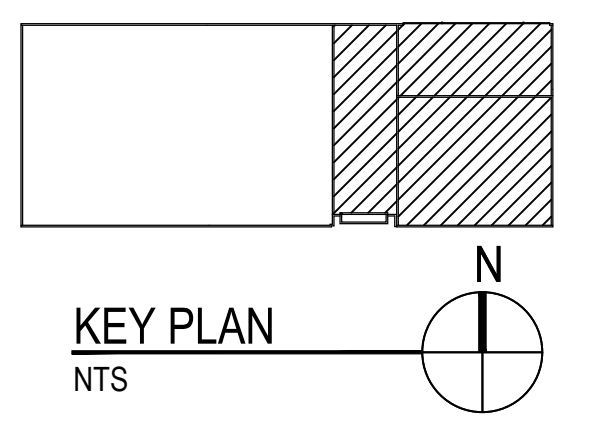
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- ALL ACOUSTIC TILE, CEILING GRID, GYPSUM BOARD CEILINGS, LIGHTING, DIFFUSER GRILLES ETC. SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL CEILINGS ARE BETWEEN APPROXIMATELY 8 FEET AND 10 FEET AFF.
- UNLESS NOTED OTHERWISE ALL NEW CEILINGS SHALL BE AT THE SAME HEIGHT AS THOSE THEY ARE REPLACING. THE ARRANGEMENT/LOCATION OF ALL LIGHTS, EXIT SIGNS, SPRINKLER HEADS SHALL BE THE SAME AS THAT THAT EXISTING UNLESS NOTED OTHERWISE. SEE MEP DWGS FOR DIFFUSERS AND OTHER INFORMATION.
- CONTRACTOR IS TO RESERVE EXISTING UNDAMAGED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED.
- ROOMS WITH NO CEILINGS INDICATED ARE EXISTING EXPOSED STRUCTURE.

**REFLECTED CEILING PLAN NEW WORK KEY NOTES**

- KEYNOTE TAG
- PROVIDE NEW 2' X 2' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW 2' X 4' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW PTD. GYPSUM BOARD CEILING. SEE DETAIL/A-602. CEILING HEIGHT IS TO MATCH ORIGINAL CEILING.
  - EXISTING GYPSUM BOARD CEILING TO REMAIN. PAINT ENTIRE CEILING.
  - PROVIDE NEW 2'X4' ACOUSTIC TILE IN EXISTING CLEANED 15/16" CAP FACE GRID. NEW ACOUSTIC TILE TO BE SAME AS THAT USED IN ROOMS ON THE SAME PLAN THAT ARE SCHEDULE FOR NEW ACOUSTIC CEILING TILE & NEW GRID.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS, ETC.
  - EXTEND EXISTING FIRE PROTECTION HEADS TO BELOW CEILING SURFACE & INSTALL NEW HEAD & CEILING ESCUTCHEON. SEE MEP DRAWINGS.
  - REPLACE EXISTING ACOUSTIC TILE SOFFIT WITH NEW TO MATCH - 12" DEEP MAX - V.I.F.
  - PROVIDE JOINT BETWEEN NEW AND EXISTING PTD GYPSUM BD CEILING - SEE 6/A-602.
  - REMOVE EXISTING ACOUSTIC TILE FOR CAMERA REINSTALLATION. REINSTALL ACOUSTIC CEILING TILE.
  - PROVIDE NEW CEILING TILE - CONNECT EXISTING & NEW CEILING TILE SYSTEMS SEE 3/A-602
  - PROVIDE SOFFIT AT INTERSECTION OF ACT & NEW PTD GYPSUM BOARD CEILING SEE 5/A-602
  - NEW GYP BD. SOFFIT SEE DETAIL 5/A-602. WIDTH AS SHOWN.
  - REINSTALL EXISTING CEILING MOUNTED CAMERAS
  - REINSTALL EXISTING WALL MOUNTED EXTERIOR CAMERA - HEIGHT AS NOTED.
  - NEW 2'X4' ACOUSTIC TILE IN EXISTING GRID. SEE ACOUSTIC TILE CEILING SCHEDULE. PROVIDE NEW 4' L GRID.
  - REINSTALL EXISTING CEILING MOUNTED CAMERA, REUSE EXISTING SUPPORTS.
  - PROVIDE NEW CURVED GYP. BD. CEILING TO MATCH EXISTING SEE DETAILS 7, 8 & 9/A-602.
  - PAINT VERTICAL GYP. BD. SOFFIT SURFACE.



**1 FIRST FLOOR EAST REFLECTED CEILING NEW WORK PLAN**  
SCALE: 1/8"=1'-0"



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Issue	Mark	Description	Date
ADDENDUM NO. 1			12.21.23
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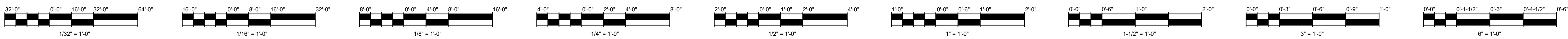
PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

PBC Contract No: C1666  
Project No.: 04044

Title: **FIRST FLOOR EAST REFLECTED CEILING PLAN NEW WORK**

Sheet: **AC-101E**





**REFLECTED CEILING NEW CONSTRUCTION PLAN LEGEND**

	EXISTING 2 X 4 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING CEILING MOUNTED CAMERA
	EXISTING 2 X 2 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING WALL MOUNTED CAMERA
	EXISTING RECESSED CAN LIGHT		EXISTING GYPSUM BOARD CEILING
	EXISTING CEILING HUNG BARE BULB		NEW GYPSUM BOARD CEILING TO MATCH EXISTING
	EXISTING WALL HUNG LIGHT		EXISTING 2 X 4 ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4\"/>		EXISTING 2 X 2 ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4\"/>		NEW 2 X 4 ACOUSTIC TILE CEILING ON EXISTING CEILING GRID
	EXISTING SURFACE MOUNTED 4\"/>		NEW 2 X 4 ACOUSTIC TILE CEILING
	EXISTING 4\"/>		EXISTING ACOUSTIC TILE TRIMMED FROM EXISTING
	EXISTING 4\"/>		SALVAGED ACOUSTIC TILE
	EXISTING 4\"/>		PROVIDE NEW GRID TO MATCH EXISTING BETWEEN PIECES
	EXISTING 4\"/>		EXISTING PARTITION WALL TO REMAIN
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		AUDIO FIRE ALARM DEVICE
	EXISTING RETURNSUPPLY DIFFUSERS TO REMAIN		VISUAL FIRE ALARM DEVICE
	EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN		
	NEW RETURNSUPPLY DIFFUSERS		
	NEW ACOUSTIC CEILING TILE SYSTEM. SEE SCHEDULE ON SHEET A-602		
	EXISTING EXIT SIGNS TO REMAIN		

**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

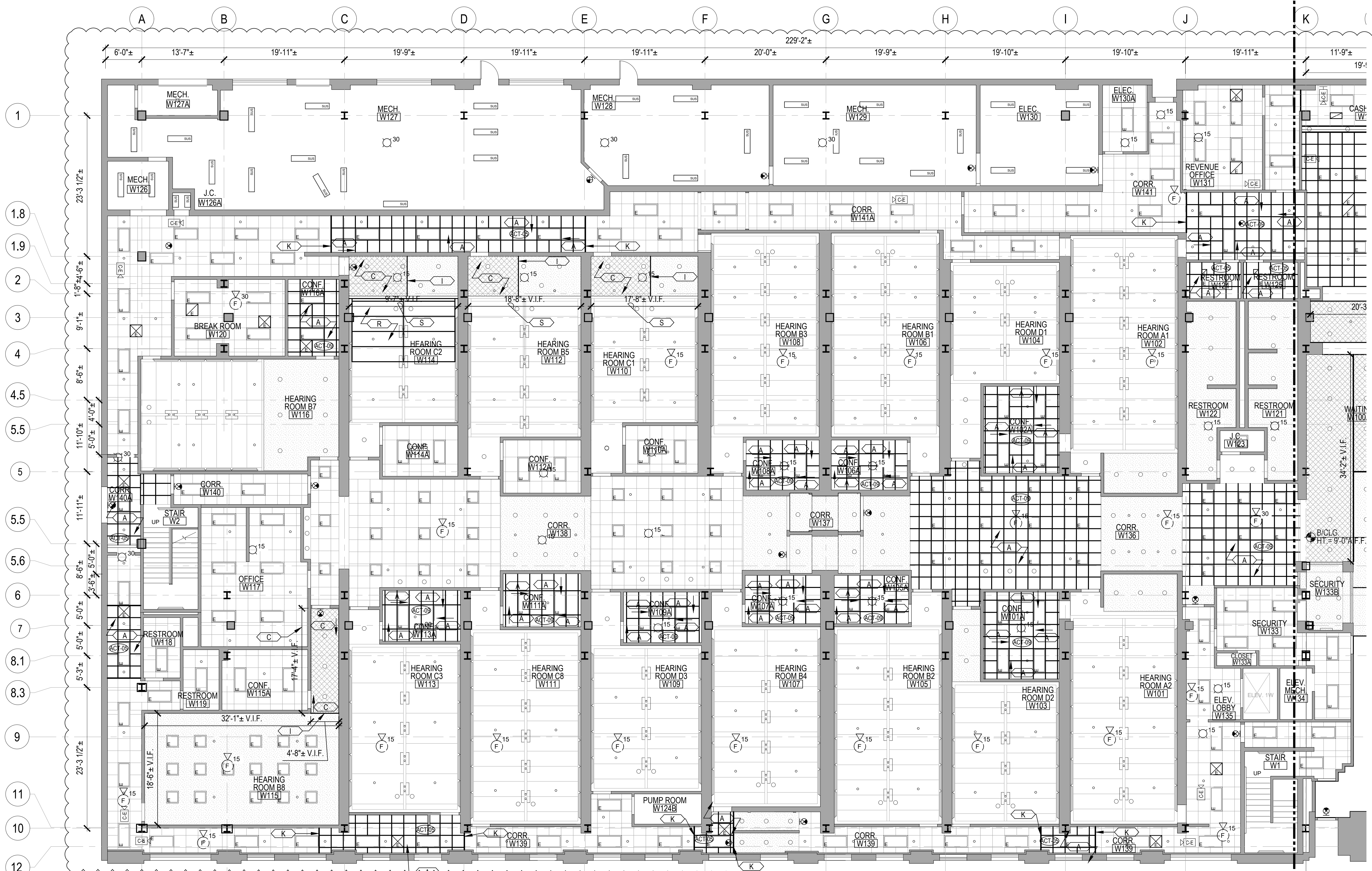
- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SH. A-602 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES.
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS, CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.

**REFLECTED CEILING PLAN GENERAL NEW WORK NOTES**

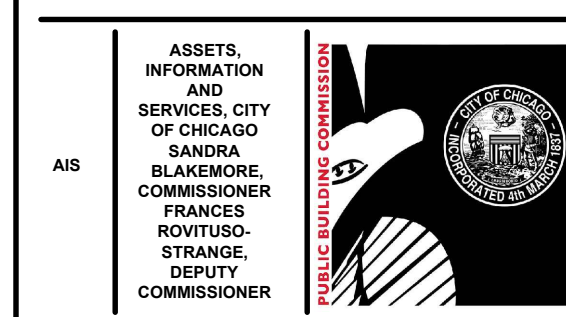
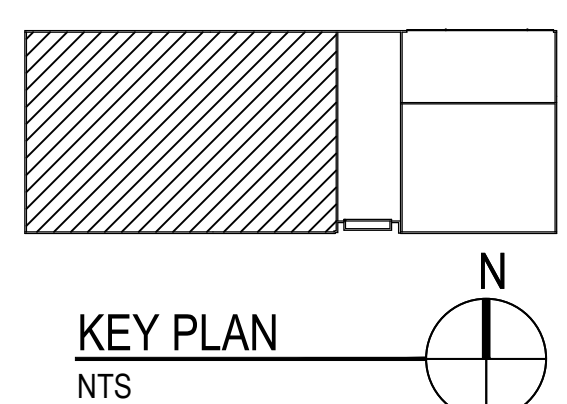
- FIELD VERIFY THE POSITION OF ALL LIGHT FIXTURES, DIFFUSERS, ALARMS SENSORS, SPRINKLER HEADS ETC.
- PROTECT CONSTRUCTION TO REMAIN AGAINST DAMAGE AND SOILING DURING CONSTRUCTION ACTIVITIES.
- TIMING OF ALL CUTTING, SAWING AND OTHER OPERATIONS RESULTING IN NOISE AFFECTING ADJACENT SPACES SHALL BE COORDINATED WITH OWNER AND USER. TORCH CUTTING IS NOT ALLOWED.
- CEILING WITHOUT MATERIAL INDICATIONS ARE OPEN TO STRUCTURE ABOVE.
- ITEMS INDICATED TO BE SALVAGED OR REUSED SHALL BE CAREFULLY REMOVED WITHOUT DAMAGE TO THEM TO ALLOW FOR REINSTALLATION.
- ALL ACOUSTIC TILE, CEILING GRID, GYPSUM BOARD CEILINGS, LIGHTING, DIFFUSER GRILLES ETC. SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL CEILINGS ARE BETWEEN APPROXIMATELY 8 FEET AND 10 FEET AFF.
- UNLESS NOTED OTHERWISE ALL NEW CEILINGS SHALL BE AT THE SAME HEIGHT AS THOSE THEY ARE REPLACING. THE ARRANGEMENT/LOCATION OF ALL LIGHTS, EXIT SIGNS, SPRINKLER HEADS SHALL BE THE SAME AS THAT THAT EXISTING UNLESS NOTED OTHERWISE. SEE MEP DWGS FOR DIFFUSERS AND OTHER INFORMATION.
- CONTRACTOR IS TO RESERVE EXISTING UNDAMAGED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED.
- ROOMS WITH NO CEILINGS INDICATED ARE EXISTING EXPOSED STRUCTURE.

**REFLECTED CEILING PLAN NEW WORK KEY NOTES**

- KEYNOTE TAG
- PROVIDE NEW 2' X 2' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW 2' X 4' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW PTD. GYPSUM BOARD CEILING. SEE DETAIL A/A-602. CEILING HEIGHT IS TO MATCH ORIGINAL CEILING.
  - EXISTING GYPSUM BOARD CEILING TO REMAIN. PAINT ENTIRE CEILING.
  - PROVIDE NEW 2'X4' ACOUSTIC CEILING TILE IN EXISTING CLEANED 15/16" CAP FACE GRID. NEW ACOUSTIC TILE TO BE SAME AS THAT USED IN ROOMS ON THE SAME PLAN THAT ARE SCHEDULE FOR NEW ACOUSTIC CEILING TILE & NEW GRID.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS, ETC.
  - EXTEND EXISTING FIRE PROTECTION HEADS TO BELOW CEILING SURFACE & INSTALL NEW HEAD & CEILING ESCUTCHEON. SEE MEP DRAWINGS.
  - REPLACE EXISTING ACOUSTIC TILE SOFFIT WITH NEW TO MATCH - 12" DEEP MAX - V.I.F.
  - PROVIDE JOINT BETWEEN NEW AND EXISTING PTD GYPSUM BOARD CEILING - SEE 6/A-602.
  - REMOVE EXISTING ACOUSTIC TILE FOR CAMERA REINSTALLATION. REINSTALL ACOUSTIC CEILING TILE.
  - PROVIDE NEW CEILING TILE - CONNECT EXISTING & NEW CEILING TILE SYSTEMS SEE 3/A-602
  - PROVIDE SOFFIT AT INTERSECTION OF ACT & NEW PTD GYPSUM BOARD CEILING SEE 5/A-602
  - NEW GYP BD. SOFFIT SEE DETAIL 5/A-602. WIDTH AS SHOWN.
  - REINSTALL EXISTING CEILING MOUNTED CAMERAS
  - REINSTALL EXISTING WALL MOUNTED EXTERIOR CAMERA - HEIGHT AS NOTED.
  - NEW 2'X4' ACOUSTIC TILE IN EXISTING GRID. SEE ACOUSTIC TILE CEILING SCHEDULE. PROVIDE NEW 4' L GRID.
  - REINSTALL EXISTING CEILING MOUNTED CAMERA, REUSE EXISTING SUPPORTS.
  - PROVIDE NEW CURVED GYP. BD. CEILING TO MATCH EXISTING SEE DETAILS 7, 8 & 9/A-602.
  - PAINT VERTICAL GYP. BD. SOFFIT SURFACE.



1 FIRST FLOOR WEST REFLECTED CEILING NEW WORK PLAN  
SCALE: 1/8" = 1'-0"



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**  
400 W. SUPERIOR  
CHICAGO, IL 60654  
PUBLIC BUILDING COMMISSION  
CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
RADA ARCHITECTS LTD.  
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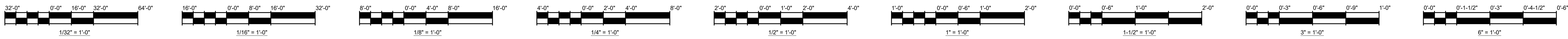
**IRCA**  
Chicago, IL  
Roofing Consultant

**VERDES ENVIRONMENTAL SOLUTIONS**  
Chicago, IL  
Environmental Consultant

Mark	Description	Date
1	ISSUE FOR PERMIT	11.29.23
2	ISSUE FOR BID	11.29.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
PBC Contract No: C1666  
Project No.: 04044  
Title: FIRST FLOOR WEST REFLECTED CEILING PLAN NEW WORK  
Sheet: **AC-101W**





**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SHIT A-602 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES.
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.

**REFLECTED CEILING NEW CONSTRUCTION PLAN LEGEND**

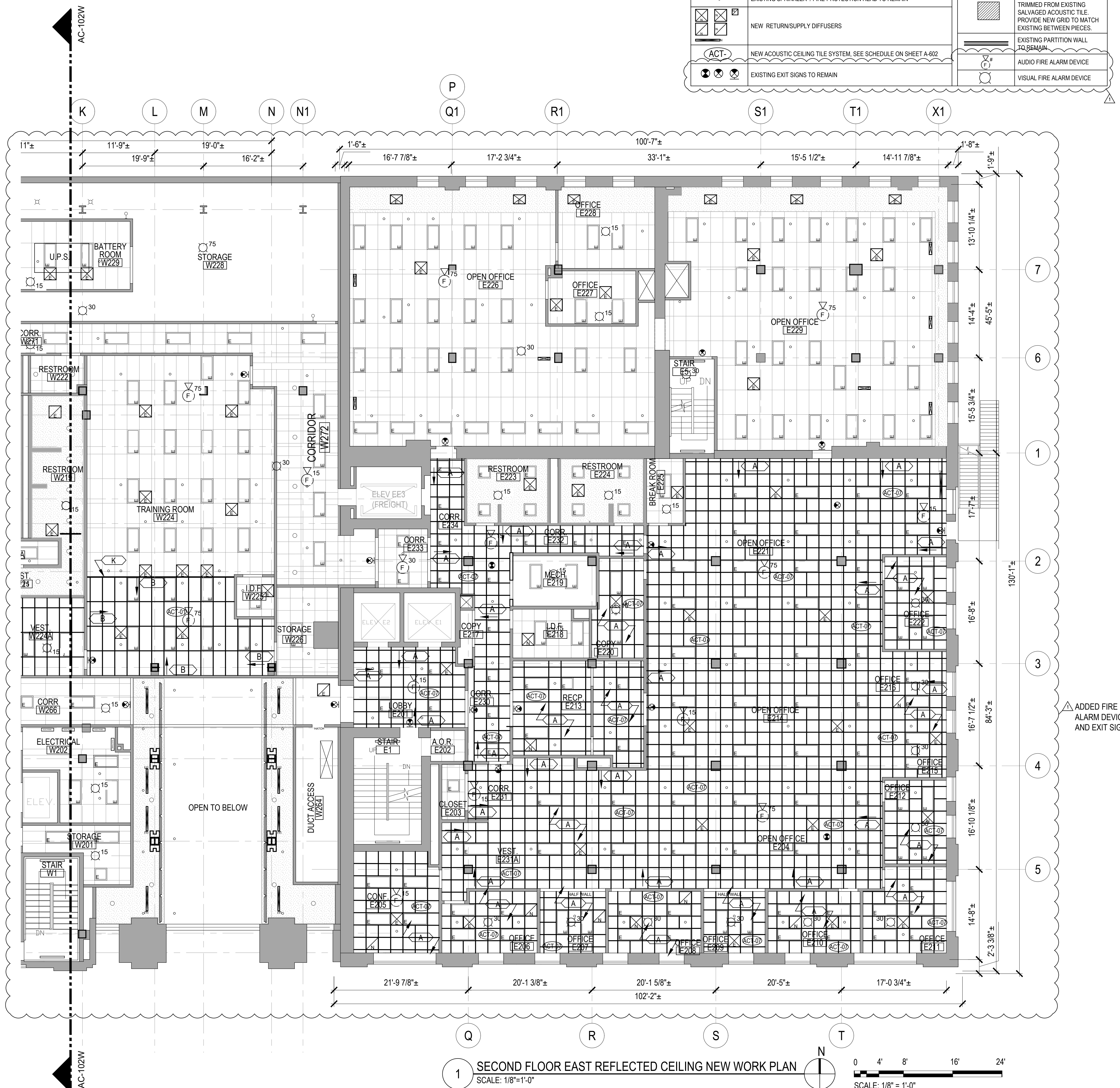
	EXISTING 2' X 4' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING CEILING MOUNTED CAMERA
	EXISTING 2' X 2' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING WALL MOUNTED CAMERA
	EXISTING RECESSED CAN LIGHT		EXISTING GYPSUM BOARD CEILING
	EXISTING CEILING HUNG BARE BULB		NEW GYPSUM BOARD CEILING TO MATCH EXISTING
	EXISTING WALL HUNG LIGHT		EXISTING 2' X 4' ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4' - SINGLE TUBE FLUORESCENT LIGHT FIXTURE		EXISTING 2' X 2' ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4' 2-TUBE FLUORESCENT LIGHT FIXTURE		NEW 2' X 4' ACOUSTIC TILE CEILING ON EXISTING CEILING GRID
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE		NEW 2' X 4' ACOUSTIC TILE CEILING
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT		EXISTING ACOUSTIC TILE TRIMMED FROM EXISTING SALVAGED ACOUSTIC TILE. PROVIDE NEW GRID TO MATCH EXISTING BETWEEN PIECES.
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS		EXISTING PARTITION WALL TO REMAIN
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		NEW RETURN/SUPPLY DIFFUSERS
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN		NEW ACOUSTIC CEILING TILE SYSTEM. SEE SCHEDULE ON SHEET A-602
	EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN		AUDIO FIRE ALARM DEVICE
	NEW RETURN/SUPPLY DIFFUSERS		VISUAL FIRE ALARM DEVICE
	EXISTING EXIT SIGNS TO REMAIN		

**REFLECTED CEILING PLAN GENERAL NEW WORK NOTES**

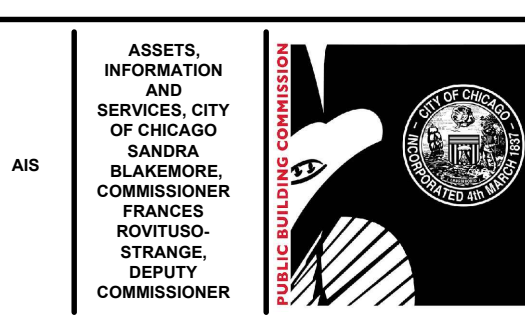
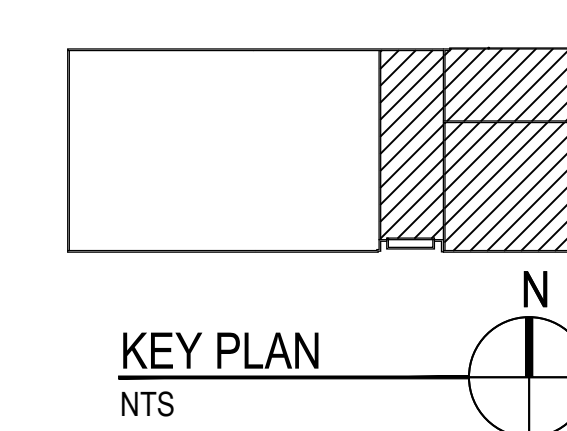
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- CONTRACTOR IS TO RESERVE EXISTING UNDAMAGED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED.
- ROOMS WITH NO CEILINGS INDICATED ARE EXISTING EXPOSED STRUCTURE.

**REFLECTED CEILING PLAN NEW WORK KEY NOTES**

- KEYNOTE TAG
- PROVIDE NEW 2' X 2' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW 2' X 4' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW PTD. GYPSUM BOARD CEILING. SEE DETAIL 4/A-602. CEILING HEIGHT IS TO MATCH ORIGINAL CEILING.
  - EXISTING GYPSUM BOARD CEILING TO REMAIN. PAINT ENTIRE CEILING.
  - PROVIDE NEW 2'X4' ACOUSTIC CEILING TILE IN EXISTING CLEANED 1 1/2" CAP FACE GRID. NEW ACOUSTIC TILE TO BE SAME AS THAT USED IN ROOMS ON THE SAME PLAN THAT ARE SCHEDULE FOR NEW ACOUSTIC CEILING TILE & NEW GRID.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS, ETC.
  - EXTEND EXISTING FIRE PROTECTION HEADS TO BELOW CEILING SURFACE & INSTALL NEW HEAD & CEILING ESCUTCHEON. SEE MEP DRAWINGS.
  - REPLACE EXISTING ACOUSTIC TILE SOFFIT WITH NEW TO MATCH - 12" DEEP MAX - V.I.F.
  - PROVIDE JOINT BETWEEN NEW AND EXISTING PTD GYPSUM BD CEILING - SEE 6/A-602.
  - REMOVE EXISTING ACOUSTIC TILE FOR CAMERA REINSTALLATION. REINSTALL ACOUSTIC CEILING TILE.
  - PROVIDE NEW CEILING TILE - CONNECT EXISTING & NEW CEILING TILE SYSTEMS SEE 3/A-602
  - PROVIDE SOFFIT AT INTERSECTION OF ACT & NEW PTD GYPSUM BOARD CEILING SEE 5/A-602
  - NEW GYP BD. SOFFIT SEE DETAIL 5/A-602. WIDTH AS SHOWN.
  - REINSTALL EXISTING CEILING MOUNTED CAMERAS
  - REINSTALL EXISTING WALL MOUNTED EXTERIOR CAMERA - HEIGHT AS NOTED.
  - NEW 2'X4' ACOUSTIC TILE IN EXISTING GRID. SEE ACOUSTIC TILE CEILING SCHEDULE. PROVIDE NEW 4' L GRID.
  - REINSTALL EXISTING CEILING MOUNTED CAMERA, REUSE EXISTING SUPPORTS.
  - PROVIDE NEW CURVED GYP. BD. CEILING TO MATCH EXISTING SEE DETAILS 7, 8 & 9/A-602.
  - PAINT VERTICAL GYP. BD. SOFFIT SURFACE.



**1 SECOND FLOOR EAST REFLECTED CEILING NEW WORK PLAN**  
SCALE: 1/8" = 1'-0"



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**

400 W. SUPERIOR  
CHICAGO, IL 60654

PUBLIC BUILDING COMMISSION  
CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
RADA ARCHITECTS LTD.

**RADA ARCHITECTS**  
RIPCORD CENTER | 233 N Michigan Avenue  
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Structural Engineers of Record

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**LERCH BATES**  
Chicago, IL  
Elevator Consultant

**IRCA**  
Chicago, IL  
Roofing Consultant

**VERDES ENVIRONMENTAL SOLUTIONS**  
Chicago, IL  
Environmental Consultant

Mark	Description	Date
Δ	ADDENDUM NO. 1	12.21.23
2	ISSUE FOR PERMIT	11.29.23
1	ISSUE FOR BID	11.29.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

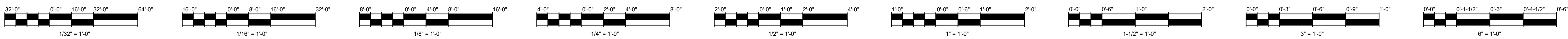
PBC Contract No: C1606

Project No.: 04044

Title: **SECOND FLOOR EAST REFLECTED CEILING PLAN NEW WORK**

Sheet: **AC-102E**





**REFLECTED CEILING NEW CONSTRUCTION PLAN LEGEND**

	EXISTING 2 X 4 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING CEILING MOUNTED CAMERA
	EXISTING 2 X 2 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING WALL MOUNTED CAMERA
	EXISTING RECESSED CAN LIGHT		EXISTING GYPSUM BOARD CEILING
	EXISTING CEILING HUNG BARE BULB		NEW GYPSUM BOARD CEILING TO MATCH EXISTING
	EXISTING WALL HUNG LIGHT		EXISTING 2 X 4 ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4\"/>		EXISTING 2 X 2 ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4\"/>		NEW 2 X 4 ACOUSTIC TILE CEILING ON EXISTING CEILING GRID
	EXISTING SURFACE MOUNTED 4\"/>		NEW 2 X 4 ACOUSTIC TILE CEILING
	EXISTING 4\"/>		EXISTING ACOUSTIC TILE TRIMMED FROM EXISTING SALVAGED ACOUSTIC TILE
	EXISTING 4\"/>		PROVIDE NEW GRID TO MATCH EXISTING BETWEEN PIECES
	EXISTING 4\"/>		EXISTING PARTITION WALL TO REMAIN
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		AUDIO FIRE ALARM DEVICE
	EXISTING RETURNSUPPLY DIFFUSERS TO REMAIN		VISUAL FIRE ALARM DEVICE
	EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN		
	NEW RETURNSUPPLY DIFFUSERS		
	NEW ACOUSTIC CEILING TILE SYSTEM. SEE SCHEDULE ON SHEET A-602		
	EXISTING EXIT SIGNS TO REMAIN		

**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SH. A-602 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES.
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS, CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.

**REFLECTED CEILING PLAN GENERAL NEW WORK NOTES**

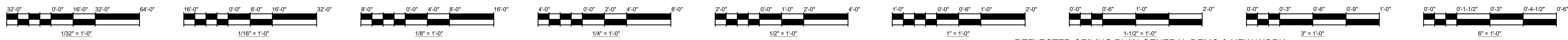
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- PROTECT CONSTRUCTION TO REMAIN AGAINST DAMAGE AND SOILING DURING CONSTRUCTION ACTIVITIES.
- TIMING OF ALL CUTTING, SAWING AND OTHER OPERATIONS RESULTING IN NOISE AFFECTING ADJACENT SPACES SHALL BE COORDINATED WITH OWNER AND USER. TORCH CUTTING IS NOT ALLOWED.
- CEILING WITHOUT MATERIAL INDICATIONS ARE OPEN TO STRUCTURE ABOVE.
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- UNLESS NOTED OTHERWISE, ALL CEILINGS ARE BETWEEN APPROXIMATELY 8 FEET AND 10 FEET AFF.
- UNLESS NOTED OTHERWISE ALL NEW CEILINGS SHALL BE AT THE SAME HEIGHT AS THOSE THEY ARE REPLACING. THE ARRANGEMENT/LOCATION OF ALL LIGHTS, EXIT SIGNS, SPRINKLER HEADS SHALL BE THE SAME AS THAT THAT EXISTING UNLESS NOTED OTHERWISE. SEE MEP DWGS FOR DIFFUSERS AND OTHER INFORMATION.
- CONTRACTOR IS TO RESERVE EXISTING UNDAMAGED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED.
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**REFLECTED CEILING PLAN NEW WORK KEY NOTES**

- KEYNOTE TAG
- PROVIDE NEW 2' X 2' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW 2' X 4' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW PTD. GYPSUM BOARD CEILING. SEE DETAIL 4/A-602. CEILING HEIGHT IS TO MATCH ORIGINAL CEILING.
  - EXISTING GYPSUM BOARD CEILING TO REMAIN. PAINT ENTIRE CEILING.
  - PROVIDE NEW 2' X 4' ACOUSTIC CEILING TILE IN EXISTING CLEANED 1 1/2" CAP FACE GRID. NEW ACOUSTIC TILE TO BE SAME AS THAT USED IN ROOMS ON THE SAME PLAN THAT ARE SCHEDULE FOR NEW ACOUSTIC CEILING TILE & NEW GRID.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS, ETC.
  - EXTEND EXISTING FIRE PROTECTION HEADS TO BELOW CEILING SURFACE & INSTALL NEW HEAD & CEILING ESCUTCHEON. SEE MEP DRAWINGS.
  - REPLACE EXISTING ACOUSTIC TILE SOFFIT WITH NEW TO MATCH - 12" DEEP MAX - V.I.F.
  - PROVIDE JOINT BETWEEN NEW AND EXISTING PTD GYPSUM BD CEILING - SEE 6/A-602.
  - REMOVE EXISTING ACOUSTIC TILE FOR CAMERA REINSTALLATION. REINSTALL ACOUSTIC CEILING TILE.
  - PROVIDE NEW CEILING TILE - CONNECT EXISTING & NEW CEILING TILE SYSTEMS SEE 3/A-602
  - PROVIDE SOFFIT AT INTERSECTION OF ACT & NEW PTD GYPSUM BOARD CEILING SEE 5/A-602
  - NEW GYP BD. SOFFIT SEE DETAIL 5/A-602. WIDTH AS SHOWN.
  - REINSTALL EXISTING CEILING MOUNTED CAMERAS
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  - REINSTALL EXISTING CEILING MOUNTED CAMERA, REUSE EXISTING SUPPORTS.
  - PROVIDE NEW CURVED GYP. BD. CEILING TO MATCH EXISTING SEE DETAILS 7, 8 & 9/A-602.
  - PAINT VERTICAL GYP. BD. SOFFIT SURFACE.







**REFLECTED CEILING PLAN DEMO LEGEND**

	EXISTING 2 X 4 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING
	EXISTING 2 X 2 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING TO BE REMOVED
	EXISTING RECESSED CAN LIGHT		2 X 4 ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING CEILING HUNG BARE BULB		2 X 2 ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING WALL HUNG LIGHT		2 X 4 ACOUSTIC TILE CEILING TO BE REPLACED
	EXISTING SUSPENDED 4' - SINGLE TUBE FLUORESCENT LIGHT FIXTURE		2 X 4 ACOUSTIC TILE CEILING TO BE REPLACED CEILING GRID TO REMAIN
	EXISTING SUSPENDED 2' TUBE FLUORESCENT LIGHT FIXTURE		2 X 4 ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE		2 X 2 ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT		EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS		EXISTING CEILING MOUNTED CAMERA
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING WALL MOUNTED CAMERA
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN		EXISTING VISUAL FIRE ALARM DEVICE TO REMAIN
	EXISTING RETURN/SUPPLY DIFFUSER TO BE REMOVED		
	EXISTING PARTITION WALL TO REMAIN		
	EXISTING AUDIO FIRE ALARM DEVICE TO REMAIN		
	EXISTING EXIT SIGNS TO REMAIN		

**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SHT. A-602 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS, CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.

**REFLECTED CEILING NEW CONSTRUCTION PLAN LEGEND**

	EXISTING 2 X 4 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING CEILING MOUNTED CAMERA
	EXISTING 2 X 2 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING WALL MOUNTED CAMERA
	EXISTING RECESSED CAN LIGHT		EXISTING GYPSUM BOARD CEILING
	EXISTING CEILING HUNG BARE BULB		NEW GYPSUM BOARD CEILING TO MATCH EXISTING
	EXISTING WALL HUNG LIGHT		EXISTING 2 X 4 ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4' - SINGLE TUBE FLUORESCENT LIGHT FIXTURE		EXISTING 2 X 2 ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 2' TUBE FLUORESCENT LIGHT FIXTURE		NEW 2 X 4 ACOUSTIC TILE CEILING ON EXISTING CEILING GRID
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE		NEW 2 X 2 ACOUSTIC TILE CEILING
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT		EXISTING ACOUSTIC TILE TRIMMED FROM EXISTING SALVAGED ACOUSTIC TILE
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS		PROVIDE NEW GRID TO MATCH EXISTING BETWEEN PIECES
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING PARTITION WALL TO REMAIN
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN		AUDIO FIRE ALARM DEVICE
	EXISTING RETURN/SUPPLY DIFFUSER TO BE REMOVED		VISUAL FIRE ALARM DEVICE
	EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN		
	NEW RETURN/SUPPLY DIFFUSERS		
	NEW ACOUSTIC CEILING TILE SYSTEM, SEE SCHEDULE ON SHEET A-602		
	EXISTING EXIT SIGNS TO REMAIN		

**REFLECTED CEILING PLAN GENERAL DEMO & NEW WORK NOTES**

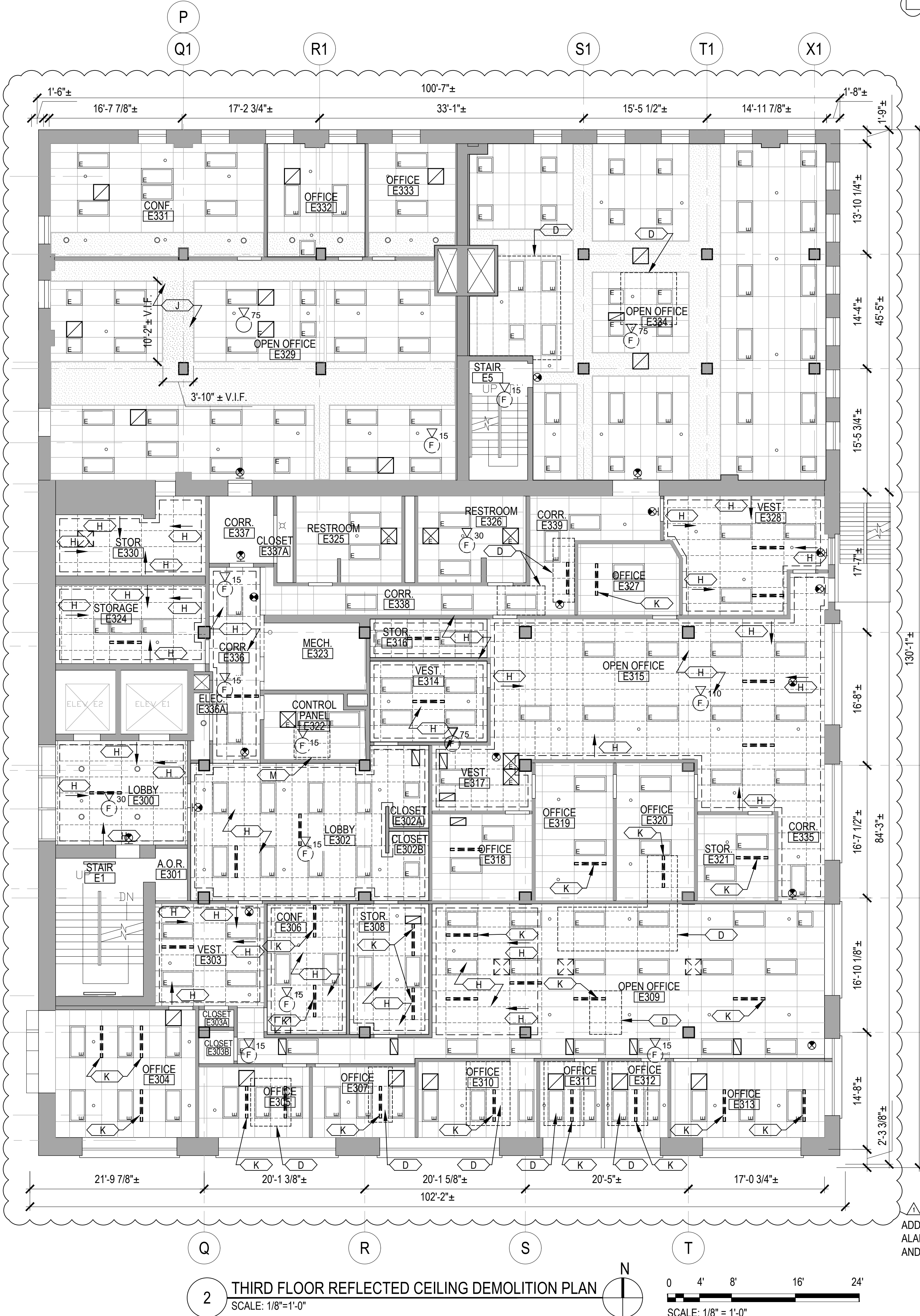
- FIELD VERIFY THE POSITION OF ALL LIGHT FIXTURES, DIFFUSERS, ALARMS SENSORS, SPRINKLER HEADS ETC. PROTECT CONSTRUCTION TO REMAIN INCLUDING FLOORING AGAINST DAMAGE AND SOILING DURING CONSTRUCTION ACTIVITIES.
- TIMING OF ALL CUTTING, SAWING, AND OTHER OPERATIONS RESULTING IN NOISE AFFECTING ADJACENT SPACES SHALL BE COORDINATED WITH OWNER. TORCH CUTTING IS NOT ALLOWED.
- CEILING WITHOUT MATERIAL INDICATIONS ARE OPEN TO STRUCTURE ABOVE.
- ITEMS INDICATED TO BE SALVAGED OR REUSED SHALL BE CAREFULLY REMOVED WITHOUT DAMAGE TO THEM TO ALLOW FOR REINSTALLATION.
- ALL ACOUSTIC TILE, CEILING GRID, GYPSUM BOARD CEILINGS, LIGHTING, DIFFUSER GRILLES ETC. SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL CEILINGS ARE BETWEEN APPROXIMATELY 8 FEET AND 10 FEET AFF. NEW CEILING HEIGHTS TO MATCH EXISTING U.N.O.
- CONTRACTOR SHALL RESERVE/SALVAGE EXISTING UNDAMAGED DEMOLISHED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED OR REMOVED AND REUSED. REPLACED TILE SHALL MATCH EXISTING
- THE ARRANGEMENT/LOCATION OF ALL LIGHTS, EXIT SIGNS, SPRINKLER HEADS SHALL BE THE SAME AS THAT EXISTING UNLESS NOTED OTHERWISE. SEE MEP DWGS FOR DIFFUSERS AND OTHER INFORMATION.
- UNLESS NOTED OTHERWISE NEW CEILING GRID PATTERN SHALL MATCH THOSE EXISTING IN THE SPACE. CONTRACTOR SHALL FIELD VERIFY ALL LAYOUTS

**REFLECTED CEILING PLAN DEMOLITION KEY NOTES**

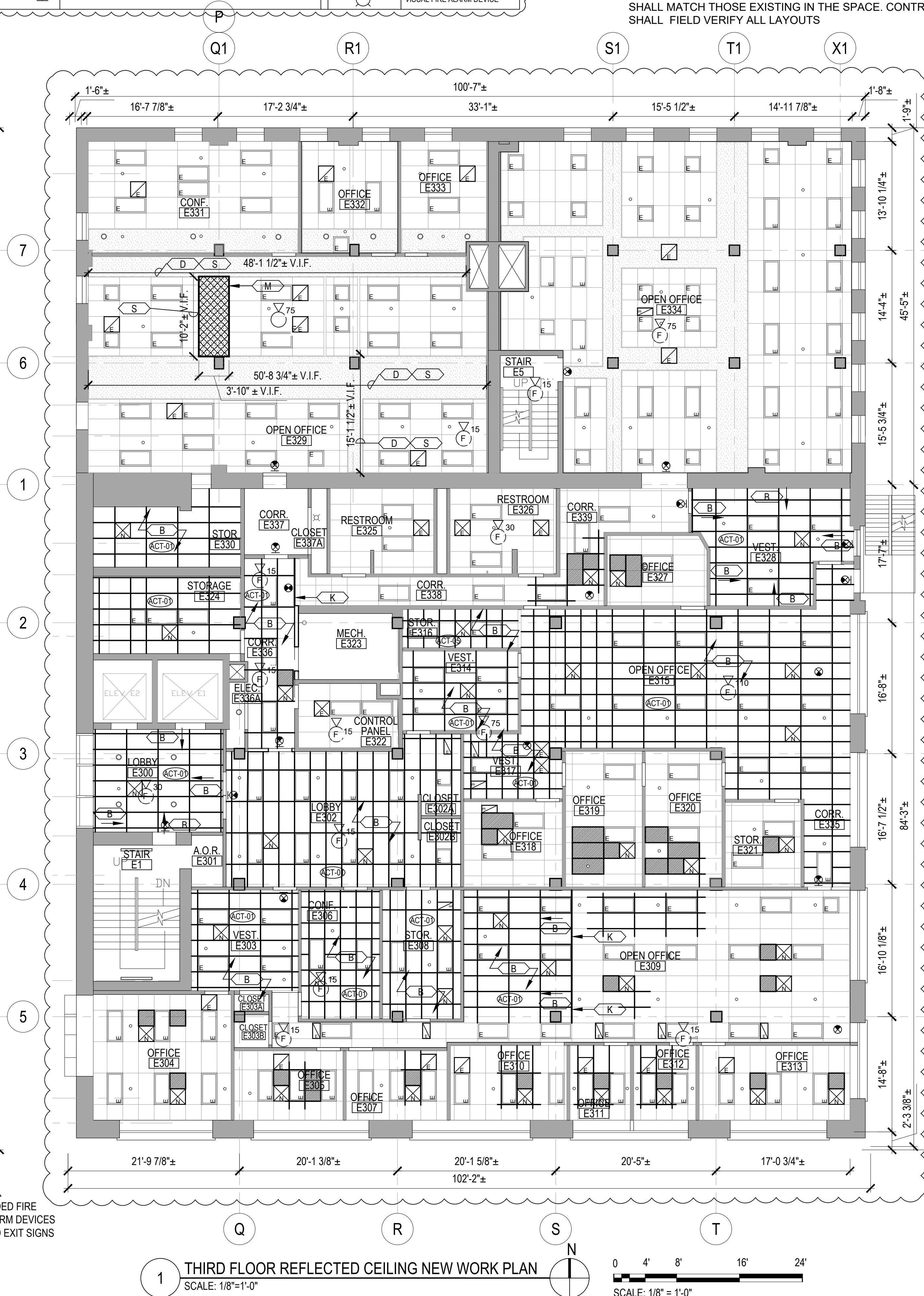
- KEYNOTE TAG
- REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN GRID & DISPOSE OF TILES.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS
  - REMOVE EXISTING CURVED VAULTED PTD CEILING. EXTEND DEMOLITION SHOULD BE TO EXISTING REVEALS.
  - REMOVE AND RESERVE EXISTING CEILING TILE AS REQUIRED FOR WORK ABOVE. REINSTALL RESERVED EXISTING CEILING TILE AFTER WORK.
  - EXIST. SKYLIGHT TO REMAIN.
  - EXISTING ACOUSTIC TILE SOFFIT TO BE REPLACED PER KEYNOTE A.
  - REMOVE EXISTING 2' X 2' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
  - REMOVE EXISTING 2' X 4' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS AND LIGHTING SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
  - REMOVE EXISTING PAINTED GYPSUM BOARD CEILING OR SOFFIT AT WALL. SPRINKLERS HEADS, LIGHTING, SENSORS, ETC. TO REMAIN OR TO BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
  - REMOVE EXISTING ACUSTIC CEILING TILE AS REQUIRED FOR REMOVAL OF LINEAR DIFFUSER. RESERVE TILE FOR TRIMMING AND REINSTALLATION. SEE MEP DWGS FOR MORE INFORMATION
  - EXTEND EXISTING SPRINKLER HEAD TO BELOW CEILING LEVEL. LOCATIONS ARE APPROXIMATE.
  - REMOVE EXISTING ACOUSTIC CEILING TILE. CEILING GRID TO REMAIN. RESERVE FOR REINSTALLATION.
  - REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN ALL GRID. RESERVE TILES FOR REUSE IN OTHER ROOMS.
  - REMOVE EXISTING R-30 BATT INSULATION FROM UNDERSIDE OF JOIST/ABOVE CEILING.
  - EXISTING CEILING MTD CAMERAS TO BE TEMPORALLY REMOVED, SAFE FOR REINSTALLATION.
  - EXISTING WALL MTD CAMERAS TO BE TEMPORALLY REMOVED, SAFE FOR REINSTALLATION.
  - REMOVE CURVED GYP. BD. CEILING AND FRAMING.

**REFLECTED CEILING PLAN NEW WORK KEY NOTES**

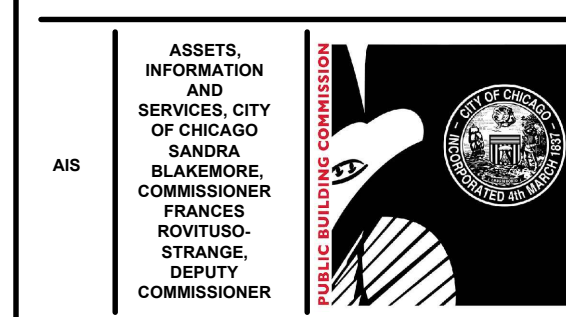
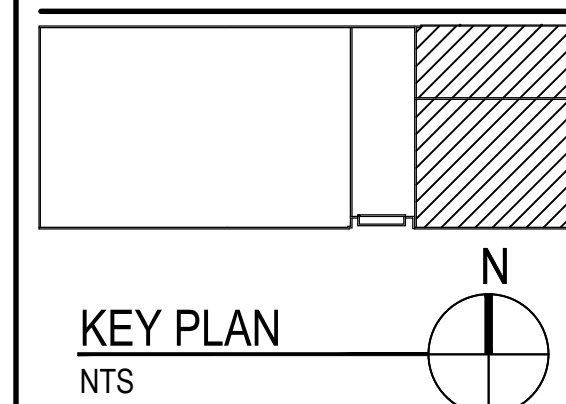
- KEYNOTE TAG
- PROVIDE NEW 2' X 2' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW 2' X 4' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW PTD. GYPSUM BOARD CEILING. SEE DETAIL/A-602. CEILING HEIGHT IS TO MATCH ORIGINAL CEILING
  - EXISTING GYPSUM BOARD CEILING TO REMAIN. PAINT ENTIRE CEILING.
  - PROVIDE NEW 2'X4' ACOUSTIC CEILING TILE IN EXISTING CLEANED 1/2" CAP FACE GRID. NEW ACOUSTIC TILE TO BE SAME AS THAT USED IN ROOMS ON THE SAME PLAN THAT ARE SCHEDULE FOR NEW ACOUSTIC CEILING TILE & NEW GRID.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS, ETC.
  - EXTEND EXISTING FIRE PROTECTION HEADS TO BELOW CEILING SURFACE & INSTALL NEW HEAD & CEILING ESCUTCHEON. SEE MEP DRAWINGS.
  - REPLACE EXISTING ACOUSTIC TILE SOFFIT WITH NEW TO MATCH - 12" DEEP MAX - V.I.F.
  - PROVIDE JOINT BETWEEN NEW AND EXISTING PTD GYPSUM BD CEILING - SEE 6/A-602.
  - REMOVE EXISTING ACOUSTIC TILE FOR CAMERA REINSTALLATION. REINSTALL ACOUSTIC CEILING TILE.
  - PROVIDE NEW CEILING TILE - CONNECT EXISTING & NEW CEILING TILE SYSTEMS SEE 3/A-602
  - PROVIDE SOFFIT AT INTERSECTION OF ACT & NEW PTD GYPSUM BOARD CEILING SEE 5/A-602
  - NEW GYP. BD. SOFFIT SEE DETAIL 5/A-602. WIDTH AS SHOWN.
  - REINSTALL EXISTING CEILING MOUNTED CAMERAS
  - REINSTALL EXISTING WALL MOUNTED EXTERIOR CAMERA - HEIGHT AS NOTED.
  - NEW 2'X4' ACOUSTIC TILE IN EXISTING GRID. SEE ACOUSTIC TILE CEILING SCHEDULE. PROVIDE NEW 4' L GRID.
  - REINSTALL EXISTING CEILING MOUNTED CAMERA, REUSE EXISTING SUPPORTS.
  - PROVIDE NEW CURVED GYP. BD. CEILING TO MATCH EXISTING SEE DETAILS 7, 8 & 9/A-602.
  - PAINT VERTICAL GYP. BD. SOFFIT SURFACE.



**2 THIRD FLOOR REFLECTED CEILING DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



**1 THIRD FLOOR REFLECTED CEILING NEW WORK PLAN**  
SCALE: 1/8"=1'-0"



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**

400 W. SUPERIOR  
CHICAGO, IL 60654

PUBLIC BUILDING COMMISSION  
CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
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**IMEG Chicago, IL**  
Structural Engineers of Record

**IMEG Chicago, IL**  
MEPP Engineers of Record

**LERCH BATES Chicago, IL**  
Elevator Consultant

**IRCA Chicago, IL**  
Roofing Consultant

**VERDES ENVIRONMENTAL SOLUTIONS Chicago, IL**  
Environmental Consultant

Mark	Description	Date
1	ADDENDUM NO. 1	12-21-23
2	ISSUE FOR PERMIT	11-29-23
1	ISSUE FOR BID	11-29-23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

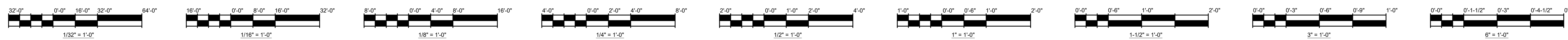
PBC Contract No: C1666

Project No: 04044

Title: **THIRD FLOOR REFLECTED CEILING DEMO & NEW WORK PLAN**

Sheet





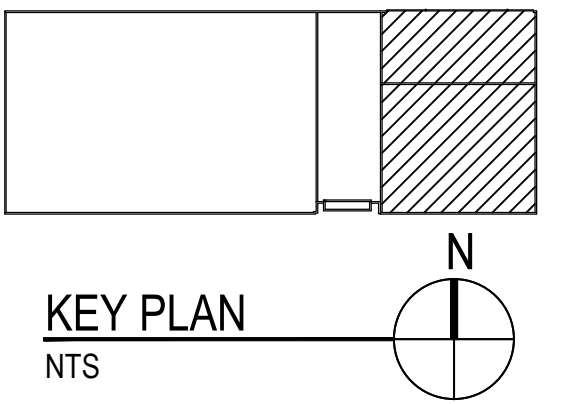
**REFLECTED CEILING PLAN DEMO LEGEND**

	EXISTING 2 X 4 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING
	EXISTING 2 X 2 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING TO BE REMOVED
	EXISTING RECESSED CAN LIGHT		2 X 4 ACUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING CEILING HUNG BARE BULB		2 X 2 ACUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING WALL HUNG LIGHT		2 X 4 ACUSTIC TILE CEILING TO BE REPLACED, CEILING GRID TO REMAIN
	EXISTING SUSPENDED 4\"/>		2 X 4 ACUSTIC TILE CEILING TO BE REMOVED
	EXISTING SUSPENDED 4\"/>		2 X 2 ACUSTIC TILE CEILING TO BE REMOVED
	EXISTING SURFACE MOUNTED 4\"/>		EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN
	EXISTING 4\"/>		EXISTING CEILING MOUNTED CAMERA
	EXISTING 4\"/>		EXISTING WALL MOUNTED CAMERA
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING VISUAL FIRE ALARM DEVICE TO REMAIN
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN		
	EXISTING RETURN/SUPPLY DIFFUSER TO BE REMOVED		
	EXISTING PARTITION WALL TO REMAIN		
	EXISTING AUDIO FIRE ALARM DEVICE TO REMAIN		
	EXISTING EXIT SIGNS TO REMAIN		

**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SHT. A-602 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES.
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS, CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.



**REFLECTED CEILING NEW CONSTRUCTION PLAN LEGEND**

	EXISTING 2 X 4 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING CEILING MOUNTED CAMERA
	EXISTING 2 X 2 FLUORESCENT TUBE LIGHT FIXTURE		EXISTING WALL MOUNTED CAMERA
	EXISTING RECESSED CAN LIGHT		EXISTING GYPSUM BOARD CEILING
	EXISTING CEILING HUNG BARE BULB		NEW GYPSUM BOARD CEILING TO MATCH EXISTING
	EXISTING WALL HUNG LIGHT		EXISTING 2 X 4 ACUSTIC TILE CEILING
	EXISTING SUSPENDED 4\"/>		EXISTING 2 X 2 ACUSTIC TILE CEILING
	EXISTING SUSPENDED 4\"/>		NEW 2 X 4 ACUSTIC TILE CEILING ON EXISTING CEILING GRID
	EXISTING SURFACE MOUNTED 4\"/>		NEW 2 X 2 ACUSTIC TILE CEILING
	EXISTING 4\"/>		EXISTING ACOUSTIC TILE TRIMMED FROM EXISTING SALVAGED ACOUSTIC TILE, PROVIDE NEW GRID TO MATCH EXISTING BETWEEN PIECES
	EXISTING 4\"/>		EXISTING PARTITION WALL
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		AUDIO FIRE ALARM DEVICE
	EXISTING RETURN/SUPPLY DIFFUSERS TO REMAIN		VISUAL FIRE ALARM DEVICE
	EXISTING RETURN/SUPPLY DIFFUSER TO BE REMOVED		
	EXISTING PARTITION WALL TO REMAIN		
	EXISTING AUDIO FIRE ALARM DEVICE TO REMAIN		
	EXISTING EXIT SIGNS TO REMAIN		

**REFLECTED CEILING PLAN GENERAL DEMO & NEW WORK NOTES**

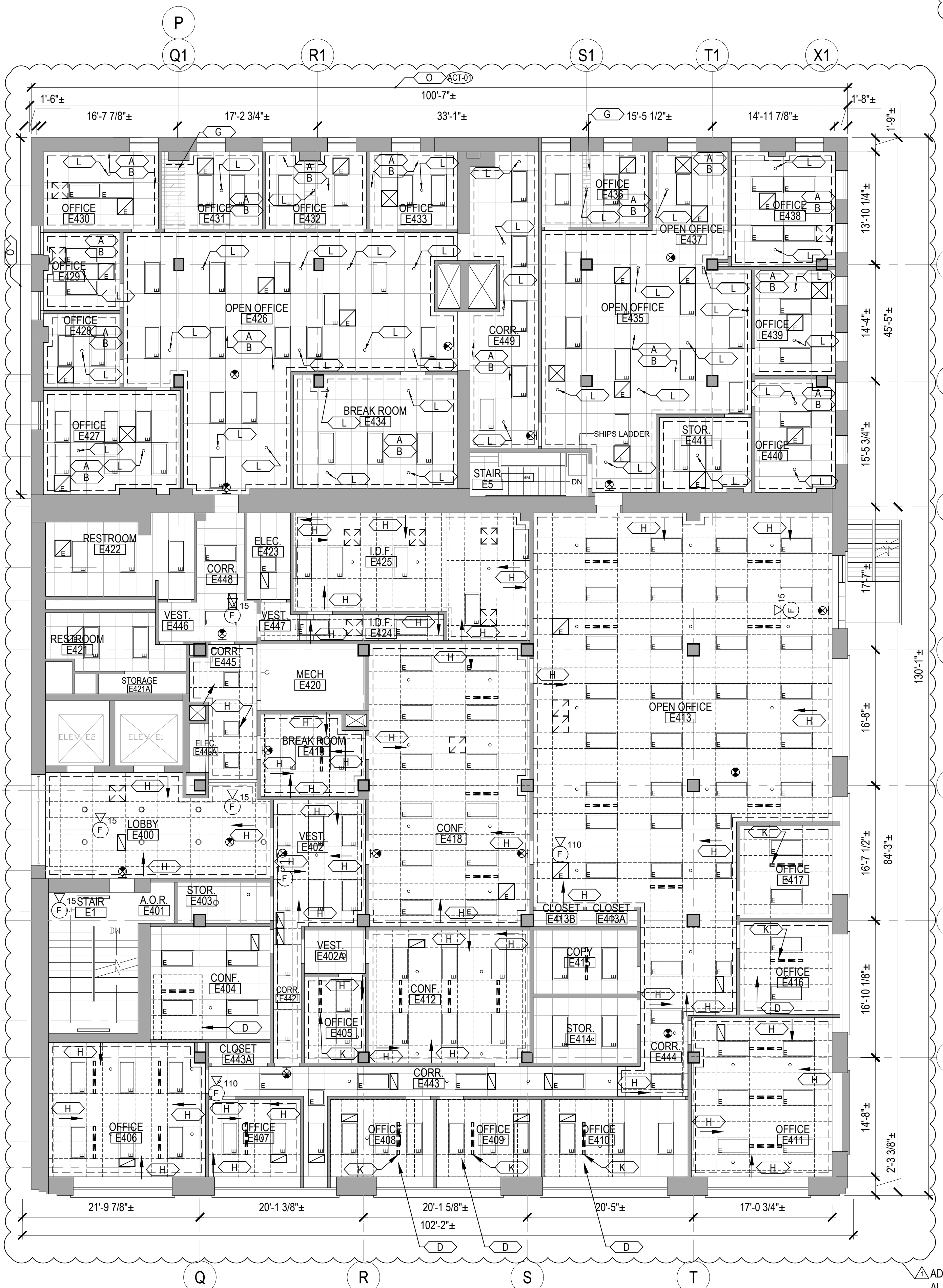
- FIELD VERIFY THE POSITION OF ALL LIGHT FIXTURES, DIFFUSERS, ALARMS SENSORS, SPRINKLER HEADS ETC.
- PROTECT CONSTRUCTION TO REMAIN INCLUDING FLOORING AGAINST DAMAGE AND SOILING DURING CONSTRUCTION ACTIVITIES.
- TIMING OF ALL CUTTING, SAWING, AND OTHER OPERATIONS RESULTING IN NOISE AFFECTING ADJACENT SPACES SHALL BE COORDINATED WITH OWNER. TORCH CUTTING IS NOT ALLOWED.
- CEILING WITHOUT MATERIAL INDICATIONS ARE OPEN TO STRUCTURE ABOVE.
- ITEMS INDICATED TO BE SALVAGED OR REUSED SHALL BE CAREFULLY REMOVED WITHOUT DAMAGE TO THEM TO ALLOW FOR REINSTALLATION.
- ALL ACOUSTIC TILE, CEILING GRID, GYPSUM BOARD CEILINGS, LIGHTING, DIFFUSER GRILLES ETC. SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL CEILINGS ARE BETWEEN APPROXIMATELY 8 FEET AND 10 FEET AFF. NEW CEILING HEIGHTS TO MATCH EXISTING U.N.O.
- CONTRACTOR SHALL RESERVE/SALVAGE EXISTING UNDAMAGED DEMOLISHED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED OR REMOVED AND REUSED. REPLACED TILE SHALL MATCH EXISTING.
- THE ARRANGEMENT/LOCATION OF ALL LIGHTS, EXIT SIGNS, SPRINKLER HEADS SHALL BE THE SAME AS THAT EXISTING UNLESS NOTED OTHERWISE. SEE MEP DWGS FOR DIFFUSERS AND OTHER INFORMATION.

**REFLECTED CEILING PLAN DEMOLITION KEY NOTES**

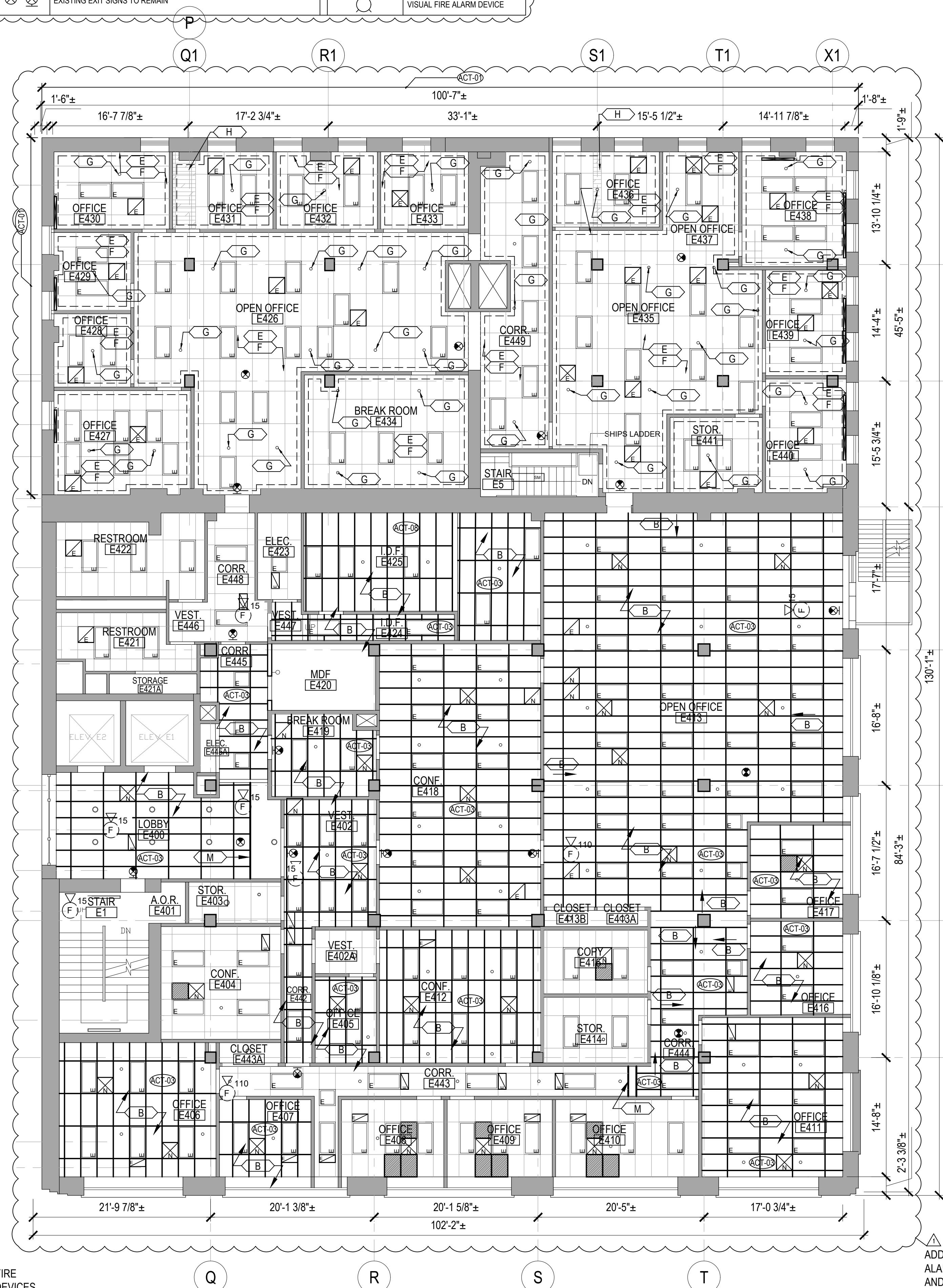
- KEYNOTE TAG
- REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN GRID & DISPOSE OF TILES.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS
  - REMOVE EXISTING CURVED VAULTED PTD CEILING. EXTEND OF DEMOLITION SHOULD BE TO EXISTING REVEALS.
  - REMOVE AND RESERVE EXISTING CEILING TILE AS REQUIRED FOR WORK ABOVE. REINSTALL RESERVED EXISTING CEILING TILE AFTER WORK.
  - EXIST. SKYLIGHT TO REMAIN.
  - EXISTING ACOUSTIC TILE SOFFIT TO BE REPLACED PER KEYNOTE A.
  - REMOVE EXISTING 2' X 2' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - REMOVE EXISTING 2' X 4' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS AND LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - REMOVE EXISTING PTD. GYPSUM BOARD CEILING TO REMAIN. RESERVE EXISTING PAINTED GYPSUM BOARD CEILING OR SOFFIT AT WALL. SPRINKLERS HEADS, LIGHTING, SENSORS, ETC. TO REMAIN OR TO BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - REMOVE EXISTING ACOUSTIC CEILING TILE AS REQUIRED FOR REMOVAL OF LINEAR DIFFUSER. RESERVE TILE FOR TRIMMING AND REINSTALLATION. SEE MEP DWGS FOR MORE INFORMATION.
  - EXTEND EXISTING SPRINKLER HEAD TO BELOW CEILING LEVEL. LOCATIONS ARE APPROXIMATE.
  - REMOVE EXISTING ACOUSTIC CEILING TILE. CEILING GRID TO REMAIN. CLEAN ALL GRID. RESERVE TILES FOR REUSE IN OTHER ROOMS.
  - REMOVE EXISTING R-30 BATT INSULATION FROM UNDERSIDE OF JOIST/ABOVE CEILING.
  - EXISTING CEILING MTD CAMERAS TO BE TEMPORALLY REMOVED. SAFE FOR REINSTALLATION.
  - EXISTING WALL MTD CAMERAS TO BE TEMPORALLY REMOVED. SAFE FOR REINSTALLATION.
  - REMOVE CURVED GYP. BD. CEILING AND FRAMING.

**REFLECTED CEILING PLAN NEW WORK KEY NOTES**

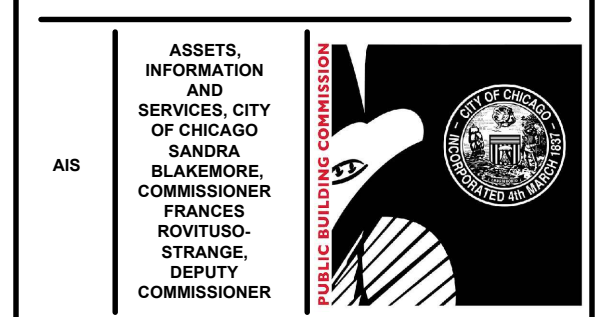
- KEYNOTE TAG
- PROVIDE NEW 2' X 2' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW 2' X 4' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW PTD. GYPSUM BOARD CEILING. SEE DETAIL A-602. CEILING HEIGHT IS TO MATCH ORIGINAL CEILING.
  - EXISTING GYPSUM BOARD CEILING TO REMAIN. PAINT ENTIRE CEILING.
  - PROVIDE NEW 2' X 4' ACOUSTIC CEILING TILE IN EXISTING CLEANED 15/16\"/>
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS, ETC.
  - EXTEND EXISTING FIRE PROTECTION HEADS TO BELOW CEILING SURFACE & INSTALL NEW HEAD & CEILING ESCUTCHEON. SEE MEP DRAWINGS.
  - REPLACE EXISTING ACOUSTIC TILE SOFFIT WITH NEW TO MATCH - 12\"/>
  - PROVIDE JOINT BETWEEN NEW AND EXISTING PTD GYPSUM BOARD CEILING - SEE A-602.
  - REMOVE EXISTING ACOUSTIC TILE FOR CAMERA REINSTALLATION. REINSTALL ACOUSTIC CEILING TILE.
  - PROVIDE NEW CEILING TILE - CONNECT EXISTING & NEW CEILING TILE SYSTEMS SEE 3/A-602
  - PROVIDE SOFFIT AT INTERSECTION OF ACT & NEW PTD GYPSUM BOARD CEILING SEE 5/A-602
  - NEW GYP. BD. SOFFIT SEE DETAIL 5/A-602. WIDTH AS SHOWN.
  - REINSTALL EXISTING CEILING MOUNTED CAMERAS
  - REINSTALL EXISTING WALL MOUNTED EXTERIOR CAMERA - HEIGHT AS NOTED.
  - NEW 2' X 4' ACOUSTIC TILE IN EXISTING GRID. SEE ACOUSTIC TILE CEILING SCHEDULE. PROVIDE NEW 4' L GRID.
  - REINSTALL EXISTING CEILING MOUNTED CAMERA, REUSE EXISTING SUPPORTS.
  - REMOVE NEW CURVED GYP. BD. CEILING TO MATCH EXISTING SEE DETAILS 7, 8 & 9/A-602.
  - PAINT VERTICAL GYP. BD. SOFFIT SURFACE.



**2 FOURTH FLOOR REFLECTED CEILING DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



**1 FOURTH FLOOR REFLECTED CEILING NEW WORK PLAN**  
SCALE: 1/8"=1'-0"



**CIP - Central Hearing Facility  
Roof and MEP Upgrades**

400 W. SUPERIOR  
CHICAGO, IL 60654

PUBLIC BUILDING COMMISSION  
CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
RADA ARCHITECTS LTD.



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IMEG  
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Structural Engineers of Record

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MEPP Engineers of Record

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Chicago, IL  
Elevator Consultant

IRCA  
Chicago, IL  
Roofing Consultant

VERDES ENVIRONMENTAL SOLUTIONS  
Chicago, IL  
Environmental Consultant

Issue	Mark	Description	Date
1		ISSUE FOR PERMIT	11.29.23
2		ISSUE FOR BID	11.29.23

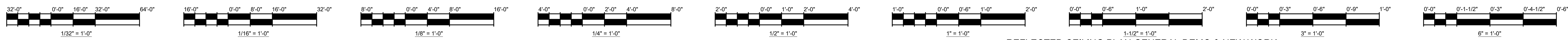
PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

PBC Contract No: C1666  
Project No: 04044

Title: **FOURTH FLOOR REFLECTED CEILING DEMO & NEW WORK PLAN**

Sheet: **AC-104**





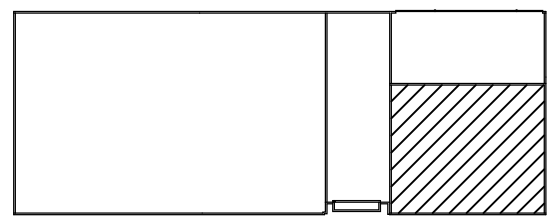
**REFLECTED CEILING PLAN DEMO LEGEND**

	EXISTING 2' X 4' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING
	EXISTING 2' X 2' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING TO BE REMOVED
	EXISTING RECESSED CAN LIGHT		2' X 4' ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING CEILING HUNG BARE BULB		2' X 2' ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING WALL HUNG LIGHT		2' X 4' ACOUSTIC TILE CEILING TO BE REPLACED CEILING GRID TO REMAIN
	EXISTING SUSPENDED 4' - SINGLE TUBE FLUORESCENT LIGHT FIXTURE		2' X 4' ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SUSPENDED 4' 2-TUBE FLUORESCENT LIGHT FIXTURE		2' X 2' ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE		EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT		EXISTING CEILING MOUNTED CAMERA
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS		EXISTING WALL MOUNTED CAMERA
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING VISUAL FIRE ALARM DEVICE TO REMAIN
	EXISTING RETURNSUPPLY DIFFUSERS TO REMAIN		
	EXISTING RETURNSUPPLY DIFFUSER TO BE REMOVED		
	EXISTING PARTITION WALL TO REMAIN		
	EXISTING AUDIO FIRE ALARM DEVICE TO REMAIN		
	EXISTING EXIT SIGNS TO REMAIN		

**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SHT. A-602 FOR ACOUSTIC CEILING TILE CEILING REPLACEMENT ALLOWANCES.
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS, CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.



KEY PLAN NTS

**REFLECTED CEILING NEW CONSTRUCTION PLAN LEGEND**

	EXISTING 2' X 4' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING CEILING MOUNTED CAMERA
	EXISTING 2' X 2' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING WALL MOUNTED CAMERA
	EXISTING RECESSED CAN LIGHT		EXISTING GYPSUM BOARD CEILING
	EXISTING CEILING HUNG BARE BULB		NEW GYPSUM BOARD CEILING TO MATCH EXISTING
	EXISTING WALL HUNG LIGHT		EXISTING 2' X 4' ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4' - SINGLE TUBE FLUORESCENT LIGHT FIXTURE		EXISTING 2' X 2' ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4' 2-TUBE FLUORESCENT LIGHT FIXTURE		NEW 2' X 4' ACOUSTIC TILE CEILING ON EXISTING CEILING GRID
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE		NEW 2' X 4' ACOUSTIC TILE CEILING
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT		EXISTING ACOUSTIC TILE TRIMMED FROM EXISTING SALVAGED ACOUSTIC TILE PROVIDE NEW GRID TO MATCH EXISTING BETWEEN PIECES
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS		EXISTING PARTITION WALL TO REMAIN
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		AUDIO FIRE ALARM DEVICE
	EXISTING RETURNSUPPLY DIFFUSERS TO REMAIN		VISUAL FIRE ALARM DEVICE
	EXISTING RETURNSUPPLY DIFFUSER TO BE REMOVED		
	EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN		
	NEW RETURNSUPPLY DIFFUSERS		
	NEW ACOUSTIC CEILING TILE SYSTEM, SEE SCHEDULE ON SHEET A-602		
	EXISTING EXIT SIGNS TO REMAIN		

**REFLECTED CEILING PLAN GENERAL DEMO & NEW WORK NOTES**

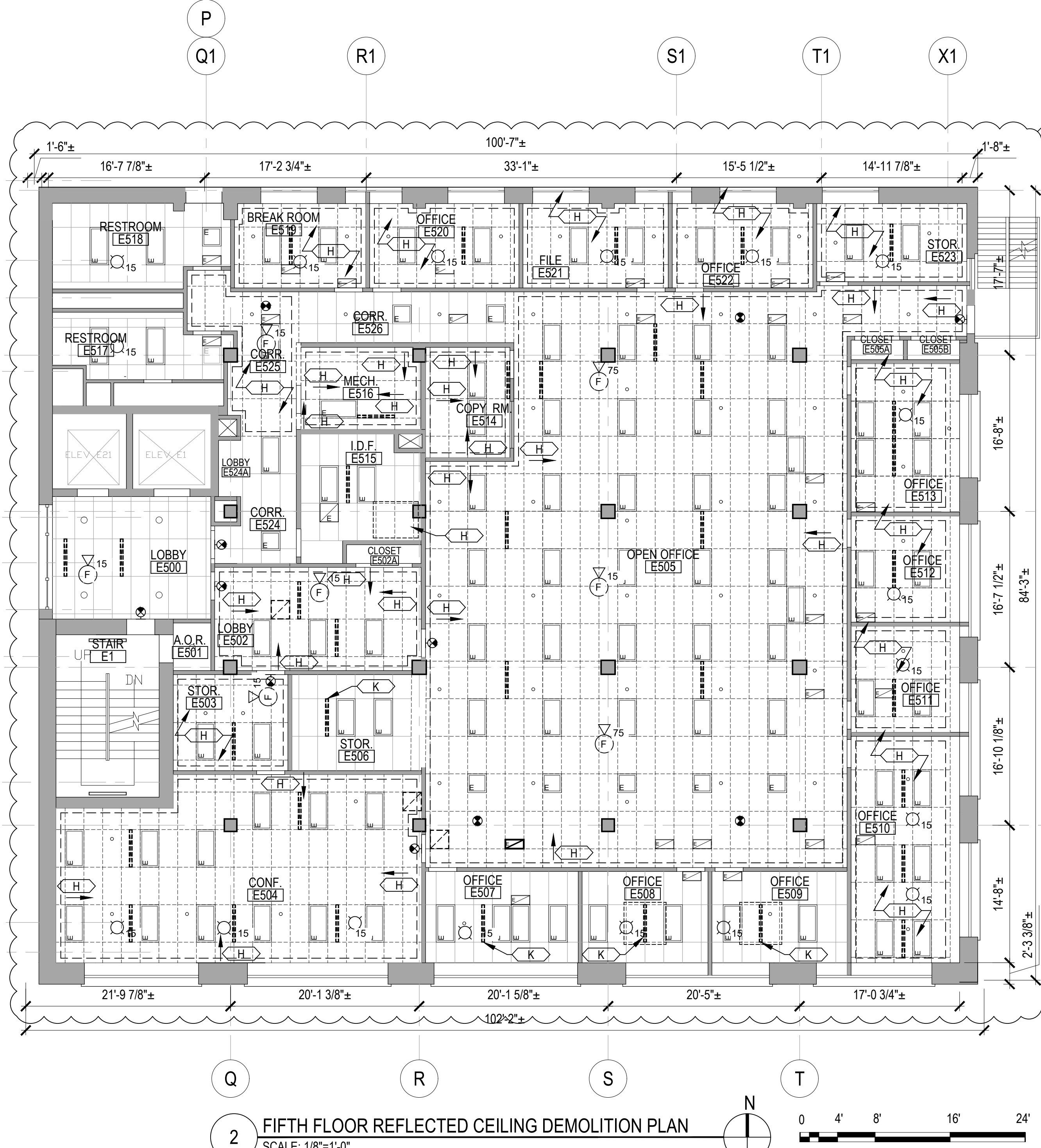
- FIELD VERIFY THE POSITION OF ALL LIGHT FIXTURES, DIFFUSERS, ALARMS SENSORS, SPRINKLER HEADS ETC.
- PROTECT CONSTRUCTION TO REMAIN INCLUDING FLOORING AGAINST DAMAGE AND SOILING DURING CONSTRUCTION ACTIVITIES.
- TIMING OF ALL CUTTING, SAWING, AND OTHER OPERATIONS RESULTING IN NOISE AFFECTING ADJACENT SPACES SHALL BE COORDINATED WITH OWNER. TORCH CUTTING IS NOT ALLOWED.
- CEILING WITHOUT MATERIAL INDICATIONS ARE OPEN TO STRUCTURE ABOVE.
- ITEMS INDICATED TO BE SALVAGED OR REUSED SHALL BE CAREFULLY REMOVED WITHOUT DAMAGE TO THEM TO ALLOW FOR REINSTALLATION.
- ALL ACOUSTIC TILE, CEILING GRID, GYPSUM BOARD CEILINGS, LIGHTING, DIFFUSER GRILLES ETC. SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL CEILINGS ARE BETWEEN APPROXIMATELY 8 FEET AND 10 FEET AFF. NEW CEILING HEIGHTS TO MATCH EXISTING U.N.O.
- CONTRACTOR SHALL RESERVE/SALVAGE EXISTING UNDAMAGED DEMOLISHED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED OR REMOVED AND REUSED. REPLACED TILE SHALL MATCH EXISTING.
- THE ARRANGEMENT/LOCATION OF ALL LIGHTS, EXIT SIGNS, SPRINKLER HEADS SHALL BE THE SAME AS THAT EXISTING UNLESS NOTED OTHERWISE. SEE MEP DWGS FOR DIFFUSERS AND OTHER INFORMATION.
- UNLESS NOTED OTHERWISE NEW CEILING GRID PATTERN SHALL MATCH THOSE EXISTING IN THE SPACE. CONTRACTOR SHALL FIELD VERIFY ALL LAYOUTS.
- CONTRACTOR SHALL FIELD VERIFY ALL CEILING LAYOUTS & REPORT DISCREPANCIES TO THE OWNER.
- NOT USED.

**REFLECTED CEILING PLAN DEMOLITION KEY NOTES**

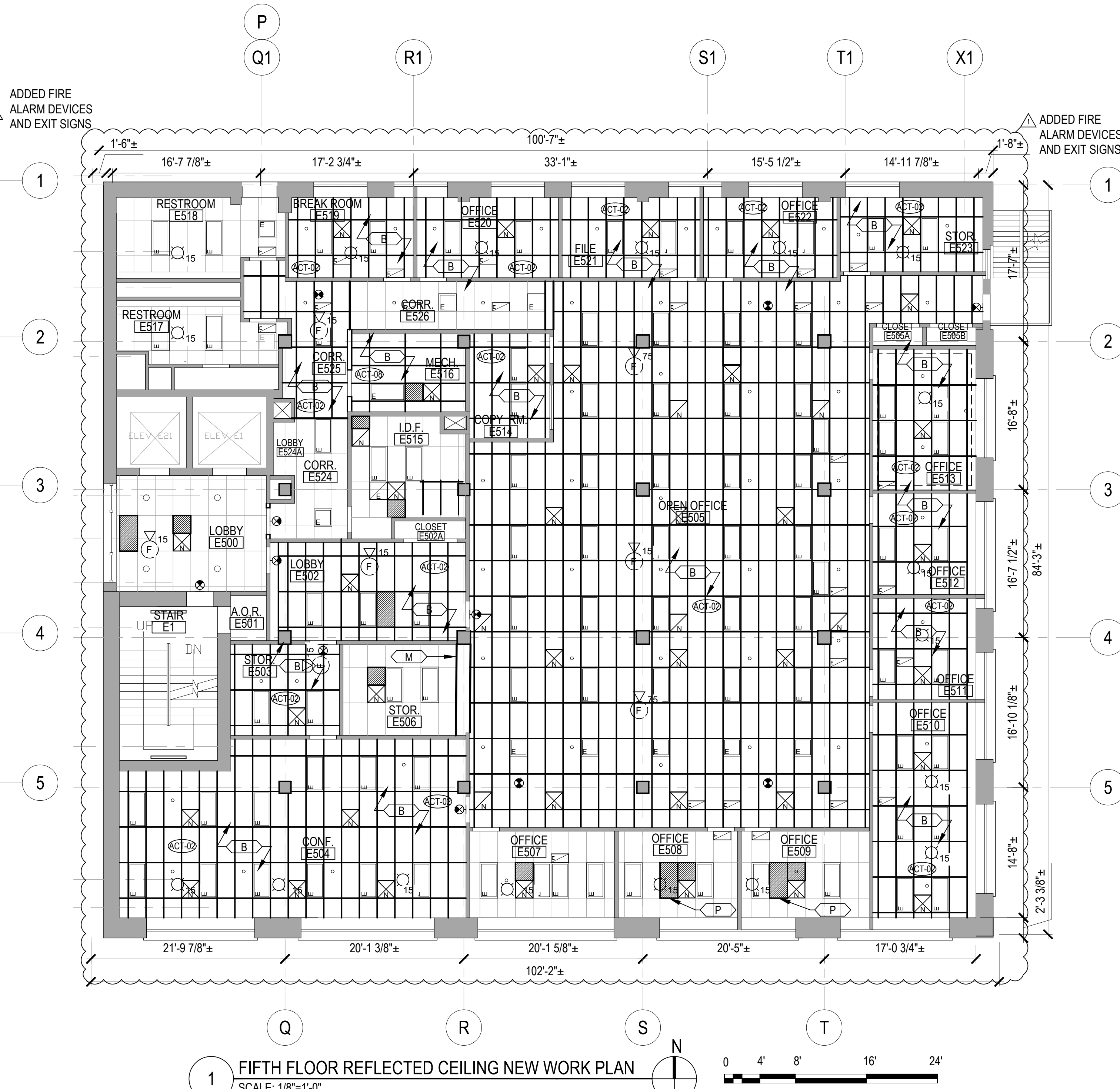
- KEYNOTE TAG
- REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN GRID & DISPOSE OF TILES.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS
  - REMOVE EXISTING CURVED VAULTED PTD CEILING. EXTEND DEMOLITION SHOULD BE TO EXISTING REVEALS.
  - REMOVE AND RESERVE EXISTING CEILING TILE AS REQUIRED FOR WORK ABOVE. REINSTALL RESERVED EXISTING CEILING TILE AFTER WORK.
  - EXIST. SKYLIGHT TO REMAIN.
  - EXISTING ACOUSTIC TILE SOFFIT TO BE REPLACED PER KEYNOTE A.
  - REMOVE EXISTING 2' X 2' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - REMOVE EXISTING 2' X 4' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS AND, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - EXISTING PTD. GYPSUM BOARD CEILING TO REMAIN
  - REMOVE EXISTING PAINTED GYPSUM BOARD CEILING OR SOFFIT AT WALL. SPRINKLERS HEADS, LIGHTING, SENSORS, ETC. TO REMAIN OR TO BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION.
  - REMOVE EXISTING ACOUSTIC CEILING TILE AS REQUIRED FOR REMOVAL OF LINEAR DIFFUSER. RESERVE TILE FOR TRIMMING AND REINSTALLATION. SEE MEP DWGS FOR MORE INFORMATION.
  - EXTEND EXISTING SPRINKLER HEAD TO BELOW CEILING LEVEL. LOCATIONS ARE APPROXIMATE.
  - REMOVE EXISTING ACOUSTIC CEILING TILE. CEILING GRID TO REMAIN. RESERVE FOR REINSTALLATION.
  - REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN ALL GRID. RESERVE TILES FOR REUSE IN OTHER ROOMS.
  - REMOVE EXISTING R-30 BATT INSULATION FROM UNDERSIDE OF JOIST/ABOVE CEILING.
  - EXISTING CEILING MTD CAMERAS TO BE TEMPORALLY REMOVED. SAFE FOR REINSTALLATION.
  - EXISTING WALL MTD CAMERAS TO BE TEMPORALLY REMOVED. SAVE FOR REINSTALLATION.
  - REMOVE CURVED GYP. BD. CEILING AND FRAMING.

**REFLECTED CEILING PLAN NEW WORK KEY NOTES**

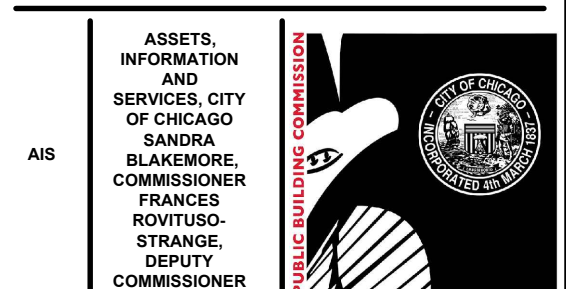
- KEYNOTE TAG
- PROVIDE NEW 2' X 2' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW 2' X 4' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW PTD. GYPSUM BOARD CEILING. SEE DETAIL/A-602. CEILING HEIGHT IS TO MATCH ORIGINAL CEILING
  - EXISTING GYPSUM BOARD CEILING TO REMAIN. PAINT ENTIRE CEILING.
  - PROVIDE NEW 2' X 4' ACOUSTIC CEILING TILE IN EXISTING CLEANED 1 1/2" CAP FACE GRID. NEW ACOUSTIC TILE TO BE SAME AS THAT USED IN ROOMS ON THE SAME PLAN THAT ARE SCHEDULE FOR NEW ACOUSTIC CEILING TILE & NEW GRID.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS, ETC.
  - EXTEND EXISTING FIRE PROTECTION HEADS TO BELOW CEILING SURFACE & INSTALL NEW HEAD & CEILING ESCUTCHEON. SEE MEP DRAWINGS.
  - REPLACE EXISTING ACOUSTIC TILE SOFFIT WITH NEW TO MATCH - 12" DEEP MAX - V.I.F.
  - PROVIDE JOINT BETWEEN NEW AND EXISTING PTD GYPSUM BOARD CEILING - SEE 6/A-602.
  - REMOVE EXISTING ACOUSTIC TILE FOR CAMERA REINSTALLATION. REINSTALL ACOUSTIC CEILING TILE.
  - PROVIDE NEW CEILING TILE - CONNECT EXISTING & NEW CEILING TILE SYSTEMS SEE 3/A-602
  - PROVIDE SOFFIT AT INTERSECTION OF ACT & NEW PTD GYPSUM BOARD CEILING SEES/A-602
  - NEW GYP. BD. SOFFIT SEE DETAIL 5/A-602. WIDTH AS SHOWN.
  - REINSTALL EXISTING CEILING MOUNTED CAMERAS
  - REINSTALL EXISTING WALL MOUNTED EXTERIOR CAMERA - HEIGHT AS NOTED.
  - NEW 2' X 4' ACOUSTIC TILE IN EXISTING GRID. SEE ACOUSTIC TILE CEILING SCHEDULE. PROVIDE NEW 4' L GRID.
  - REINSTALL EXISTING CEILING MOUNTED CAMERA, REUSE EXISTING SUPPORTS.
  - PROVIDE NEW CURVED GYP. BD. CEILING TO MATCH EXISTING SEE DETAILS 7, 8 & 9/A-602.
  - PAINT VERTICAL GYP. BD. SOFFIT SURFACE.



2 FIFTH FLOOR REFLECTED CEILING DEMOLITION PLAN SCALE: 1/8"=1'-0"



1 FIFTH FLOOR REFLECTED CEILING NEW WORK PLAN SCALE: 1/8"=1'-0"



**CIP - Central Hearing Facility Roof and MEP Upgrades**  
 400 W. SUPERIOR  
 CHICAGO, IL 60654  
 PUBLIC BUILDING COMMISSION  
 CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
**RADA ARCHITECTS LTD.**  
**RADA ARCHITECTS**  
 1800 S. MICHIGAN AVE. CHICAGO, ILLINOIS 60605  
 PHONE: 312.856.1970  
 FAX: 312.856.1978  
 WWW.RADA-ARCH.COM

**IMEG Chicago, IL**  
 Structural Engineers of Record

**IMEG Chicago, IL**  
 MEPP Engineers of Record

**LERCH BATES Chicago, IL**  
 Elevator Consultant

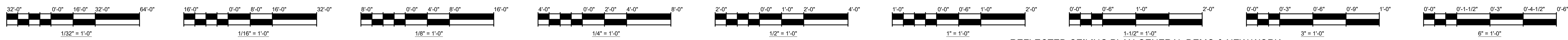
**IRCA Chicago, IL**  
 Roofing Consultant

**VERDES ENVIRONMENTAL SOLUTIONS Chicago, IL**  
 Environmental Consultant

Issuance	Mark	Description	Date
1		ADDENDUM NO. 1	12.21.23
2		ISSUE FOR PERMIT	11.29.23
1		ISSUE FOR BID	11.29.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
 PBC Contract No: C1606  
 Project No.: 04044  
 Title: FIFTH FLOOR REFLECTED CEILING DEMO & NEW WORK PLAN  
 Sheet: AC-105





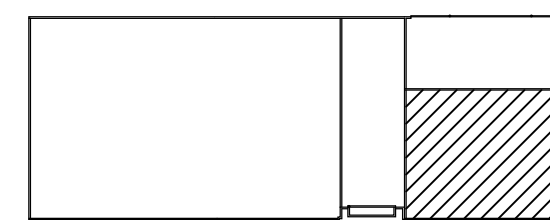
**REFLECTED CEILING PLAN DEMO LEGEND**

	EXISTING 2' X 4' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING
	EXISTING 2' X 2' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING GYPSUM BOARD CEILING TO BE REMOVED
	EXISTING RECESSED CAN LIGHT		2' X 4' ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING CEILING HUNG BARE BULB		2' X 2' ACOUSTIC TILE CEILING EXISTING U.N.O.
	EXISTING WALL HUNG LIGHT		2' X 4' ACOUSTIC TILE CEILING TO BE REPLACED
	EXISTING SUSPENDED 4' - SINGLE TUBE FLUORESCENT LIGHT FIXTURE		2' X 4' ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SUSPENDED 4' 2-TUBE FLUORESCENT LIGHT FIXTURE		2' X 2' ACOUSTIC TILE CEILING TO BE REMOVED
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE		EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT		EXISTING CEILING MOUNTED CAMERA
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS		EXISTING WALL MOUNTED CAMERA
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING VISUAL FIRE ALARM DEVICE TO REMAIN
	EXISTING RETURNSUPPLY DIFFUSERS TO REMAIN		
	EXISTING RETURNSUPPLY DIFFUSER TO BE REMOVED		
	EXISTING PARTITION WALL TO REMAIN		
	EXISTING AUDIO FIRE ALARM DEVICE TO REMAIN		
	EXISTING EXIT SIGNS TO REMAIN		

**CEILING REPAIR ALLOWANCES**

CONTRACTOR SHALL INCLUDE THE BELOW LISTED WORK IN ADDITION TO LIKE WORK SHOWN ON THE DOCUMENTS.

- SEE ACOUSTIC PANEL CEILING SCHEDULE ON SHT. A-602 FOR ACOUSTIC CEILING TILE REPLACEMENT ALLOWANCES.
- IN ADDITION TO THE EXISTING GYPSUM BOARD CEILING REPLACEMENT SHOWN ON THE DRAWINGS, CONTRACTOR SHALL ALLOW FOR THE REPLACEMENT OF ANOTHER 600 SF OF CEILING REPLACEMENT IN AREAS TO BE DETERMINED.



**REFLECTED CEILING NEW CONSTRUCTION PLAN LEGEND**

	EXISTING 2' X 4' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING CEILING MOUNTED CAMERA
	EXISTING 2' X 2' FLUORESCENT TUBE LIGHT FIXTURE		EXISTING WALL MOUNTED CAMERA
	EXISTING RECESSED CAN LIGHT		EXISTING GYPSUM BOARD CEILING
	EXISTING CEILING HUNG BARE BULB		NEW GYPSUM BOARD CEILING TO MATCH EXISTING
	EXISTING WALL HUNG LIGHT		EXISTING 2' X 4' ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4' - SINGLE TUBE FLUORESCENT LIGHT FIXTURE		EXISTING 2' X 2' ACOUSTIC TILE CEILING
	EXISTING SUSPENDED 4' 2-TUBE FLUORESCENT LIGHT FIXTURE		NEW 2' X 4' ACOUSTIC TILE CEILING ON EXISTING CEILING GRID
	EXISTING SURFACE MOUNTED 4' FLUORESCENT LIGHT FIXTURE		NEW 2' X 2' ACOUSTIC TILE CEILING
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT		EXISTING ACOUSTIC TILE TRIMMED FROM EXISTING SALVAGED ACOUSTIC TILE
	EXISTING 4' WALL MOUNTED FLUORESCENT SINGLE TUBE LIGHT - NO LENS		PROVIDE NEW GRID TO MATCH EXISTING BETWEEN PIECES
	EXISTING SUSPENDED MOUNTED TUBE LIGHT		EXISTING PARTITION WALL TO REMAIN
	EXISTING RETURNSUPPLY DIFFUSERS TO REMAIN		AUDIO FIRE ALARM DEVICE
	EXISTING SPRINKLER / FIRE-PROTECTION HEAD TO REMAIN		VISUAL FIRE ALARM DEVICE
	NEW RETURNSUPPLY DIFFUSERS		
	NEW ACOUSTIC CEILING TILE SYSTEM, SEE SCHEDULE ON SHEET A-602		
	EXISTING EXIT SIGNS TO REMAIN		

**REFLECTED CEILING PLAN GENERAL DEMO & NEW WORK NOTES**

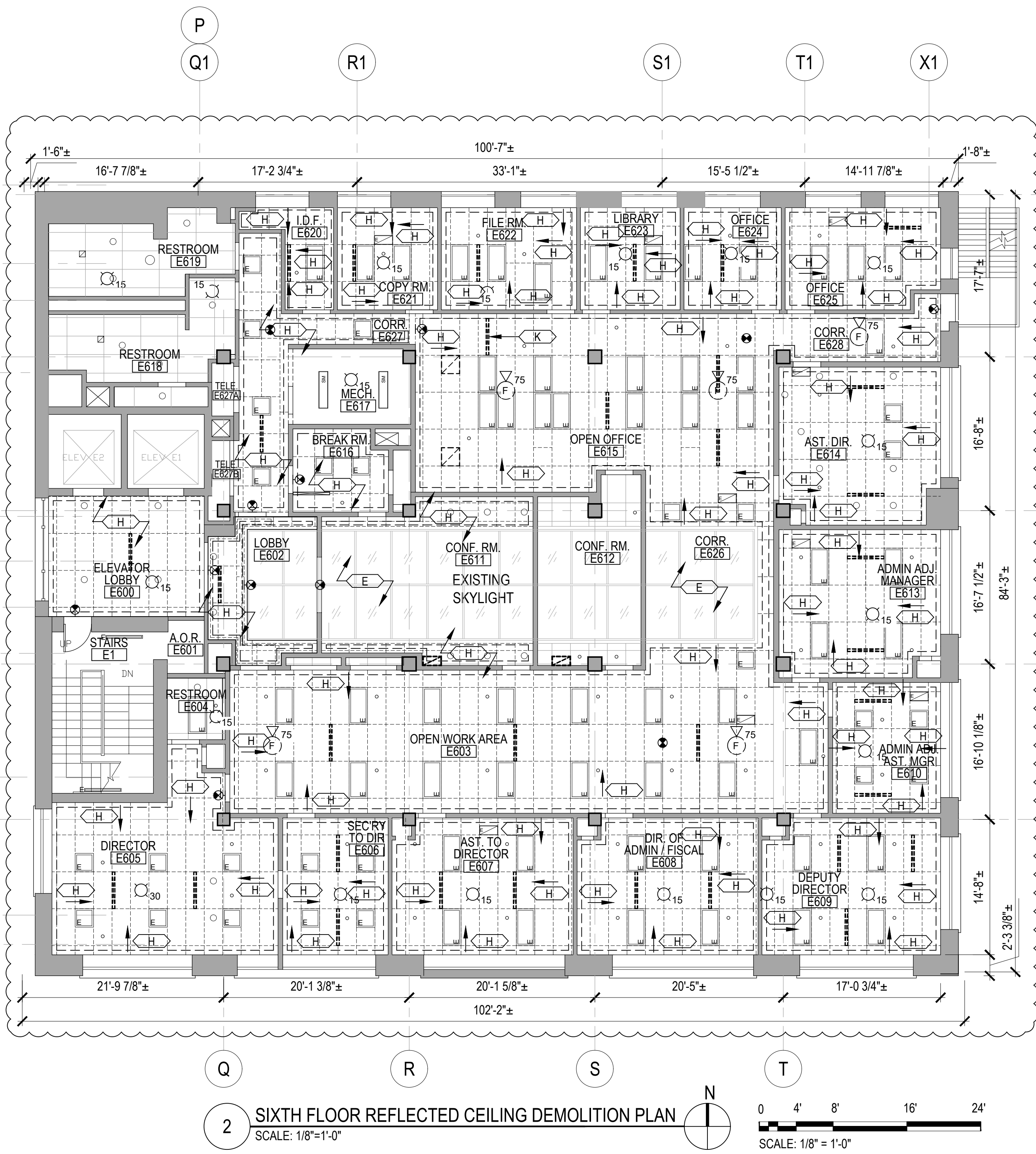
- FIELD VERIFY THE POSITION OF ALL LIGHT FIXTURES, DIFFUSERS, ALARMS SENSORS, SPRINKLER HEADS ETC.
- PROTECT CONSTRUCTION TO REMAIN INCLUDING FLOORING AGAINST DAMAGE AND SOILING DURING CONSTRUCTION ACTIVITIES.
- TIMING OF ALL CUTTING, SAWING, AND OTHER OPERATIONS RESULTING IN NOISE AFFECTING ADJACENT SPACES SHALL BE COORDINATED WITH OWNER. TORCH CUTTING IS NOT ALLOWED.
- CEILING WITHOUT MATERIAL INDICATIONS ARE OPEN TO STRUCTURE ABOVE.
- ITEMS INDICATED TO BE SALVAGED OR REUSED SHALL BE CAREFULLY REMOVED WITHOUT DAMAGE TO THEM TO ALLOW FOR REINSTALLATION.
- ALL ACOUSTIC TILE, CEILING GRID, GYPSUM BOARD CEILINGS, LIGHTING, DIFFUSER GRILLES ETC. SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL CEILINGS ARE BETWEEN APPROXIMATELY 8 FEET AND 10 FEET AFF. NEW CEILING HEIGHTS TO MATCH EXISTING U.N.O.
- CONTRACTOR SHALL RESERVE/SALVAGE EXISTING UNDAMAGED DEMOLISHED CEILING TILE TO BE REUSED AS REQUIRED WHERE CEILING TILES ONLY ARE TO BE REPLACED OR REMOVED AND REUSED. REPLACED TILE SHALL MATCH EXISTING.
- THE ARRANGEMENT/LOCATION OF ALL LIGHTS, EXIT SIGNS, SPRINKLER HEADS SHALL BE THE SAME AS THAT EXISTING UNLESS NOTED OTHERWISE. SEE MEP DWGS FOR DIFFUSERS AND OTHER INFORMATION.
- UNLESS NOTED OTHERWISE NEW CEILING GRID PATTERN SHALL MATCH THOSE EXISTING IN THE SPACE. CONTRACTOR SHALL FIELD VERIFY ALL LAYOUTS
- CONTRACTOR SHALL FIELD VERIFY ALL CEILING LAYOUTS & REPORT DISCREPANCIES TO THE OWNER.
- NOT USED

**REFLECTED CEILING PLAN DEMOLITION KEY NOTES**

- KEYNOTE TAG
- REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN GRID & DISPOSE OF TILES.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS
  - REMOVE EXISTING CURVED VAULTED PTD CEILING. EXTEND OF DEMOLITION SHOULD BE TO EXISTING REVEALS.
  - REMOVE AND RESERVE EXISTING CEILING TILE AS REQUIRED FOR WORK ABOVE. REINSTALL RESERVED EXISTING CEILING TILE AFTER WORK.
  - EXIST. SKYLIGHT TO REMAIN.
  - EXISTING ACOUSTIC TILE SOFFIT TO BE REPLACED PER KEYNOTE A.
  - REMOVE EXISTING 2' X 2' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
  - REMOVE EXISTING 2' X 4' ACOUSTIC TILE CEILING AND GRID. SPRINKLERS HEADS AND LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. TO REMAIN OR BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
  - REMOVE EXISTING PAINTED GYPSUM BOARD CEILING OR SOFFIT AT WALL. SPRINKLERS HEADS, LIGHTING, SENSORS, ETC. TO REMAIN OR TO BE REMOVED AND SALVAGED FOR REINSTALLATION. RESERVE SPRINKLER HEAD ESCUTCHEONS ETC. FOR REINSTALLATION. DIFFUSERS TO REMAIN U.N.O. SEE MEP DWGS FOR MORE INFORMATION
  - REMOVE EXISTING ACOUSTIC CEILING TILE AS REQUIRED FOR REMOVAL OF LINEAR DIFFUSER. RESERVE TILE FOR TRIMMING AND REINSTALLATION. SEE MEP DWGS FOR MORE INFORMATION
  - EXTEND EXISTING SPRINKLER HEAD TO BELOW CEILING LEVEL. LOCATIONS ARE APPROXIMATE.
  - REMOVE EXISTING ACOUSTIC CEILING TILE. CEILING GRID TO REMAIN. RESERVE FOR REINSTALLATION.
  - REMOVE ALL EXISTING CEILING TILES IN ROOM. CEILING GRID TO REMAIN. CLEAN ALL GRID. RESERVE TILES FOR REUSE IN OTHER ROOMS.
  - REMOVE EXISTING R-30 BATT INSULATION FROM UNDERSIDE OF JOIST/ABOVE CEILING.
  - EXISTING CEILING MTD CAMERAS TO BE TEMPORALLY REMOVED, SAFE FOR REINSTALLATION.
  - EXISTING WALL MTD CAMERAS TO BE TEMPORALLY REMOVED, SAVE FOR REINSTALLATION.
  - REMOVE CURVED GYP. BD. CEILING AND FRAMING.

**REFLECTED CEILING PLAN NEW WORK KEY NOTES**

- KEYNOTE TAG
- PROVIDE NEW 2' X 2' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW 2' X 4' ACOUSTIC TILE CEILING SYSTEM. GRID PATTERN TO MATCH THAT WHICH WAS REMOVED. REINSTALL ALL EXISTING SPRINKLERS HEADS, LIGHTING, SENSORS, ALARMS, CAMERAS, ETC. IN SAME LOCATION AS PREVIOUSLY LOCATED. SEE MEP DWGS FOR MORE INFORMATION REGARDING AIR DIFFUSERS, DUCTWORK ETC. SEE ACOUSTIC TILE CEILING SCHEDULE FOR THE DETAIL OF THE CEILING TO BE REINSTALLED.
  - PROVIDE NEW PTD. GYPSUM BOARD CEILING. SEE DETAIL A-602. CEILING HEIGHT IS TO MATCH ORIGINAL CEILING.
  - EXISTING GYPSUM BOARD CEILING TO REMAIN. PAINT ENTIRE CEILING.
  - PROVIDE NEW 2' X 4' ACOUSTIC CEILING TILE IN EXISTING CLEANED 1 1/4" CAP FACE GRID. NEW ACOUSTIC TILE TO BE SAME AS THAT USED IN ROOMS ON THE SAME PLAN THAT ARE SCHEDULE FOR NEW ACOUSTIC CEILING TILE & NEW GRID.
  - CLEAN ALL EXISTING LIGHT FIXTURES AND DIFFUSERS, ETC.
  - EXTEND EXISTING FIRE PROTECTION HEADS TO BELOW CEILING SURFACE & INSTALL NEW HEAD & CEILING ESCUTCHEON. SEE MEP DRAWINGS.
  - REPLACE EXISTING ACOUSTIC TILE SOFFIT WITH NEW TO MATCH - 12" DEEP MAX - V.I.F.
  - PROVIDE JOINT BETWEEN NEW AND EXISTING PTD GYPSUM BD CEILING - SEE 6/A-602.
  - REMOVE EXISTING ACOUSTIC TILE FOR CAMERA REINSTALLATION. REINSTALL ACOUSTIC CEILING TILE.
  - PROVIDE NEW CEILING TILE - CONNECT EXISTING & NEW CEILING TILE SYSTEMS SEE 3/A-602
  - PROVIDE SOFFIT AT INTERSECTION OF ACT & NEW PTD GYPSUM BOARD CEILING SEE 5/A-602
  - NEW GYP BD. SOFFIT SEE DETAIL 5/A-602. WIDTH AS SHOWN.
  - REINSTALL EXISTING CEILING MOUNTED CAMERAS
  - REINSTALL EXISTING WALL MOUNTED EXTERIOR CAMERA - HEIGHT AS NOTED.
  - NEW 2' X 4' ACOUSTIC TILE IN EXISTING GRID. SEE ACOUSTIC TILE CEILING SCHEDULE. PROVIDE NEW 4' L GRID.
  - REINSTALL EXISTING CEILING MOUNTED CAMERA, REUSE EXISTING SUPPORTS.
  - PROVIDE NEW CURVED GYP. BD. CEILING TO MATCH EXISTING SEE DETAILS 7 & 8/A-602.
  - PAINT VERTICAL GYP. BD. SOFFIT SURFACE.



ADDED FIRE ALARM DEVICES AND EXIT SIGNS

1  
2  
3  
4  
5

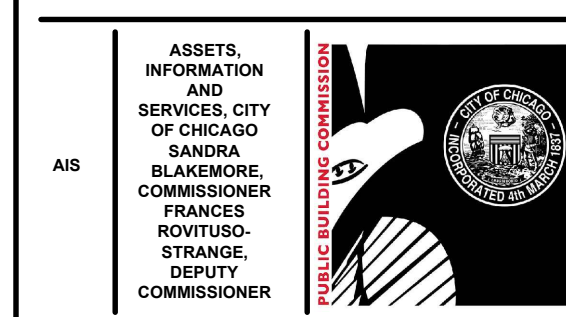
**2 SIXTH FLOOR REFLECTED CEILING DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



ADDED FIRE ALARM DEVICES AND EXIT SIGNS

1  
2  
3  
4  
5

**1 SIXTH FLOOR REFLECTED CEILING NEW WORK PLAN**  
SCALE: 1/8"=1'-0"



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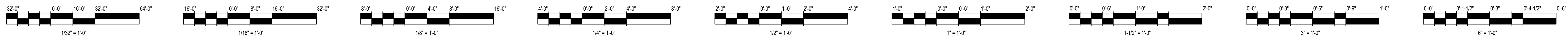
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Issue No.	Mark	Description	Date
1		ISSUE FOR BID	11.29.23
2		ISSUE FOR PERMIT	11.29.23
3		ADDENDUM NO. 1	12.21.23

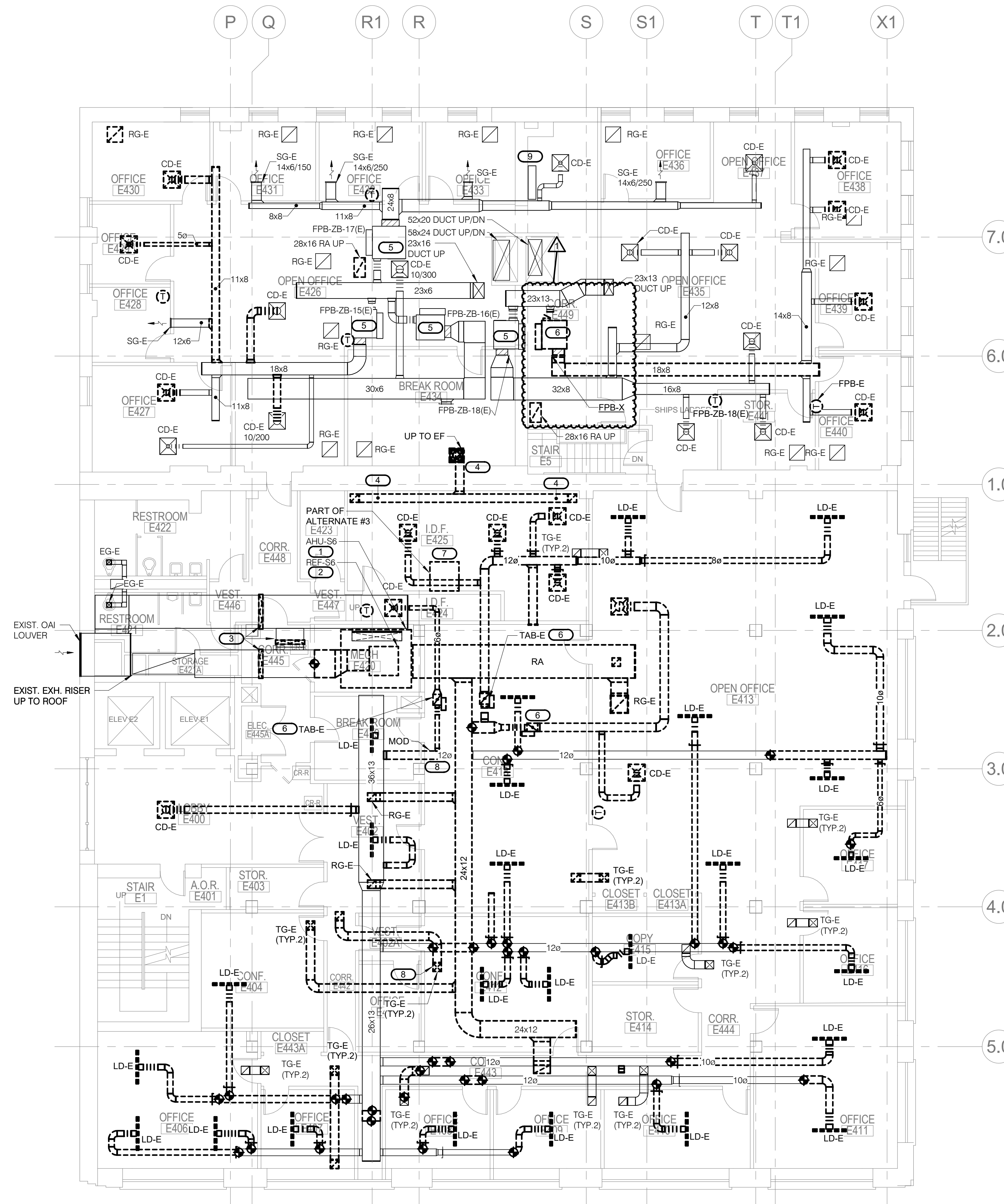
PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
PBC Contract No: C1666  
Project No.: 04044  
Title: **SIXTH FLOOR REFLECTED CEILING DEMO & NEW WORK PLAN**  
Sheet: **AC-106**



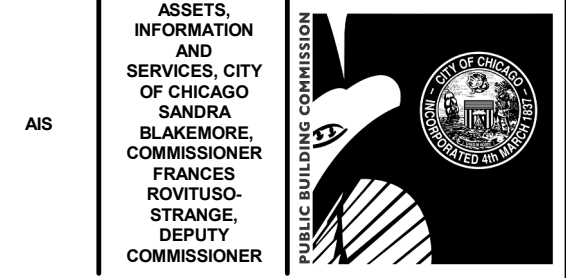


**GENERAL NOTES:**  
 1. REFER TO SHEET M-000 FOR PRE-DEMOLITION TESTING SCOPE.

- KEYNOTES: #**
- EXISTING AHU (APPROX. 8000 CFM) INCLUDING INLET PLENUM, FILTER BOX, HOT WATER PREHEAT COIL, CHILLED WATER COIL AND VERTICAL FAN SECTION TO BE REMOVED. REMOVE PIPING BACK TO SHUTOFF VALVES IN MECH ROOM. DISCONNECT SA DUCT AT MECHANICAL ROOM WALL, DOWNSTREAM SA DUCT TO REMAIN. EXIST. MIXED AIR DUCT DROP IS TO REMAIN. REMOVE ALL ASSOCIATED CONTROLS.
  - EXISTING IN-LINE RETURN EXHAUST FAN IS TO BE REMOVED. ALONG WITH INLET AND OUTLET DUCT FITTINGS AS SHOWN. REMOVE ASSOCIATED CONTROLS AND VFD. REMOVE ALL ASSOCIATED CONTROLS.
  - EXISTING MOTORIZED CONTROL DAMPERS AND ASSOCIATED WIRING TO BE REMOVED. EXISTING DUCT IS TO REMAIN.
  - REMOVE EXISTING EXHAUST DUCTWORK ASSOCIATED WITH ROOF FAN, INCLUDING IN IDF ROOM CEILING. EXISTING LOW EXHAUST GRILLES TO BE CAPPED OFF, ALONG WITH DUCT AT CEILING. EXISTING VERTICAL CHASE AND ENCLOSED DUCT TO BE LEFT IN PLACE.
  - REMOVE EXISTING BAS CONTROLS INCLUDING CONTROLLER, THERMOSTAT/TEMP SENSOR, WIRING, CONDUIT AND MISCELLANEOUS DEVICES FOR EXISTING FAN POWERED VAV BOX WHICH IS TO REMAIN IN OPERATION. PRIOR TO REMOVING CONTROLS, TEST EXIST. FAN, HEATING COIL, CONTACTORS, PRIMARY AIR DAMPER AND ACTUATOR FOR PROPER OPERATION.
  - REMOVE EXIST. TAB AND ALL ASSOCIATED CONTROLS. REMOVE INLET/OUTLET DUCTING AS SHOWN.
  - AS PART OF ALTERNATE #3 ONLY, AFTER NEW SYSTEMS ARE OPERATIONAL, COORDINATE WITH OWNER TO REMOVE SPOT COOLER AND REMOVE ASSOCIATED DUCTS AND PIPING.
  - REMOVE EXISTING DUCT MOUNTED MOTORIZED DAMPER AND ALL ASSOCIATED CONTROLS.
  - EXISTING CONTROL PANEL ENCLOSURE FOR RTU-1 ABOVE. REMOVE ABANDONED CONTROLS, NIGHT SETBACK THERMOSTAT AND ACTIVE TELETRUOL CONTROLLER AND WIRING. EXISTING CONTROL CABINET AND RACEWAY TO RTU MOUNTED CONTROLS MAY BE RE-USED.



**1 FOURTH FLOOR EAST PLAN - MECHANICAL DEMOLITION**  
 1/8" = 1'-0"



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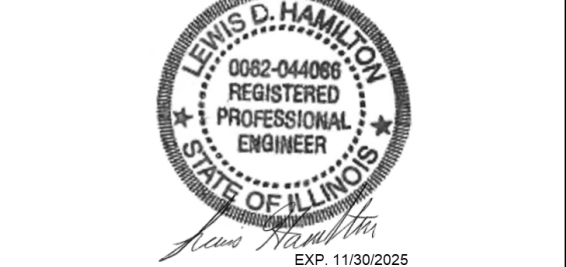
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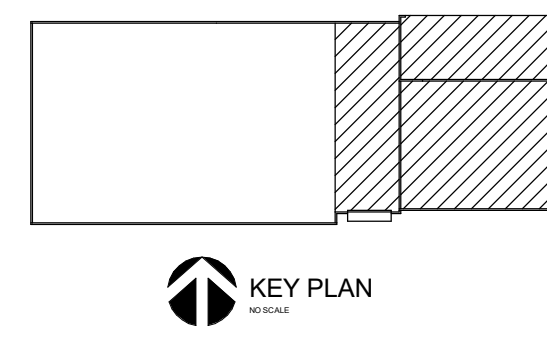


Mark	Description	Date
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	ISSUE FOR PERMIT	11.29.23
	ISSUE FOR BID	11.29.23

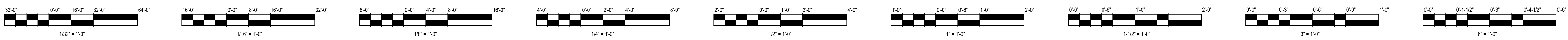
PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
 PBC Contract No: C1606  
 Project No.: 04044

**FOURTH FLOOR EAST PLAN - MECHANICAL DEMOLITION**

Sheet  
**MD-104**



KEY PLAN

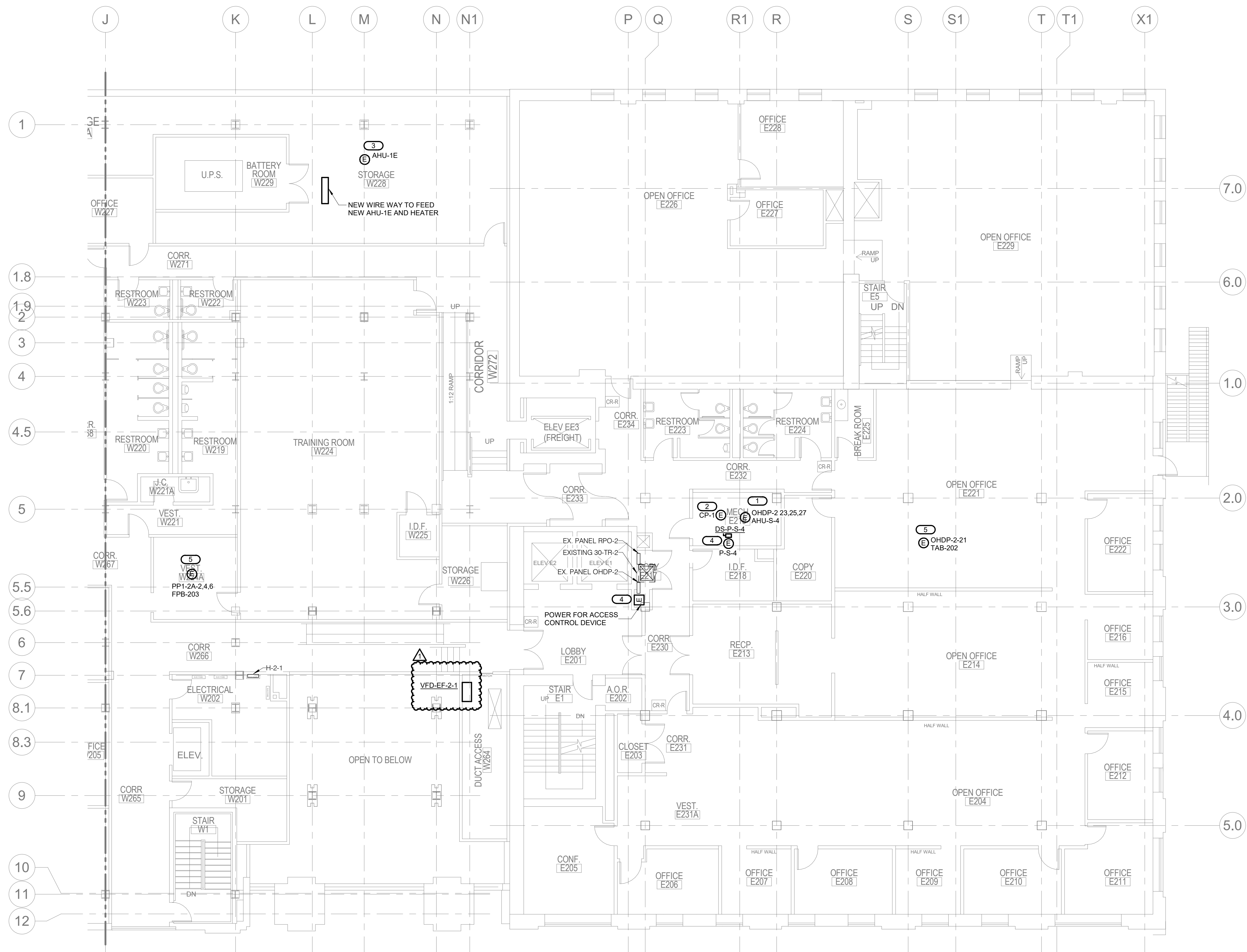


**GENERAL NOTES:**

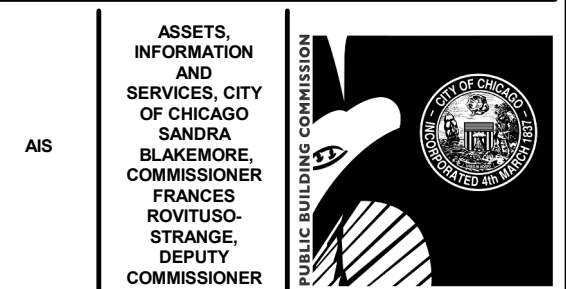
1. ALL DUCT SMOKE DETECTORS SHALL BE REINSTALLED IN THE RETURN AIR DUCT.

**KEYNOTES: #**

1. NEW SINGLE POINT POWER CONNECTION FOR NEW AHU. PROVIDE NEW WIRING. REUSE EXISTING CONDUIT AND EXTEND AS NEEDED. REINSTALL EXISTING SMOKE DETECTOR.
2. PROVIDE NEW 120V/20A CIRCUIT FROM EXISTING PANEL RPO-2. UTILIZE NEXT AVAILABLE CIRCUIT. PROVIDE #12+12GND IN 3/4\".
3. NEW AHU-1E. EXTEND WIRING AND CONDUIT FROM FIRST FLOOR EXISTING PANEL "A" TO NEW AIR HANDLING UNIT LOCATION. COORDINATE EQUIPMENT LOCATION WITH MECHANICAL CONTRACTOR.
4. PROVIDE NEW 120V/20A CIRCUIT FROM EXISTING PANEL RPO-2. UTILIZE NEXT AVAILABLE CIRCUIT. PROVIDE #12+12GND IN 3/4\".
5. DISCONNECT/CONTROLLER PROVIDED BY MANUFACTURER AND INSTALLED BY E.C. ELECTRICAL CONTRACTOR SHALL WIRE AS PER MANUFACTURER'S RECOMMENDATIONS.



**1 SECOND FLOOR EAST PLAN - POWER NEW WORK**  
1/8" = 1'-0"



**CIP - Central Hearing Facility  
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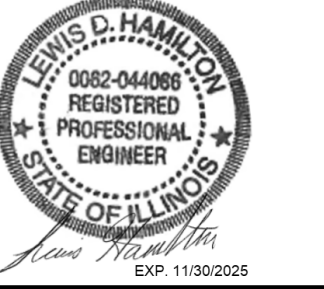
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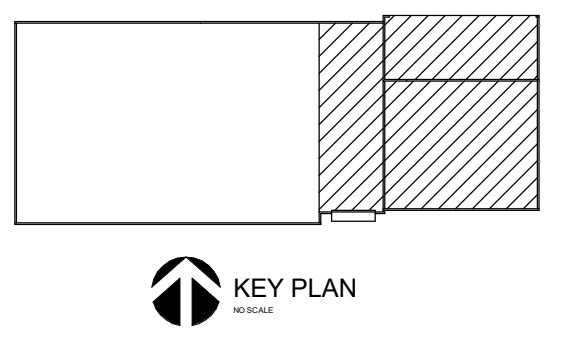


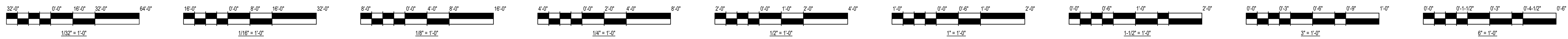
Mark	Description	Date
1	ADDENDUM NO. 1	12.21.23
	ISSUE FOR PERMIT	11.29.23
	ISSUE FOR BID	11.29.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
PBC Contract No: C1606  
Project No.: 04044

Title  
**SECOND FLOOR EAST PLAN - POWER**

Sheet  
**E-102E**



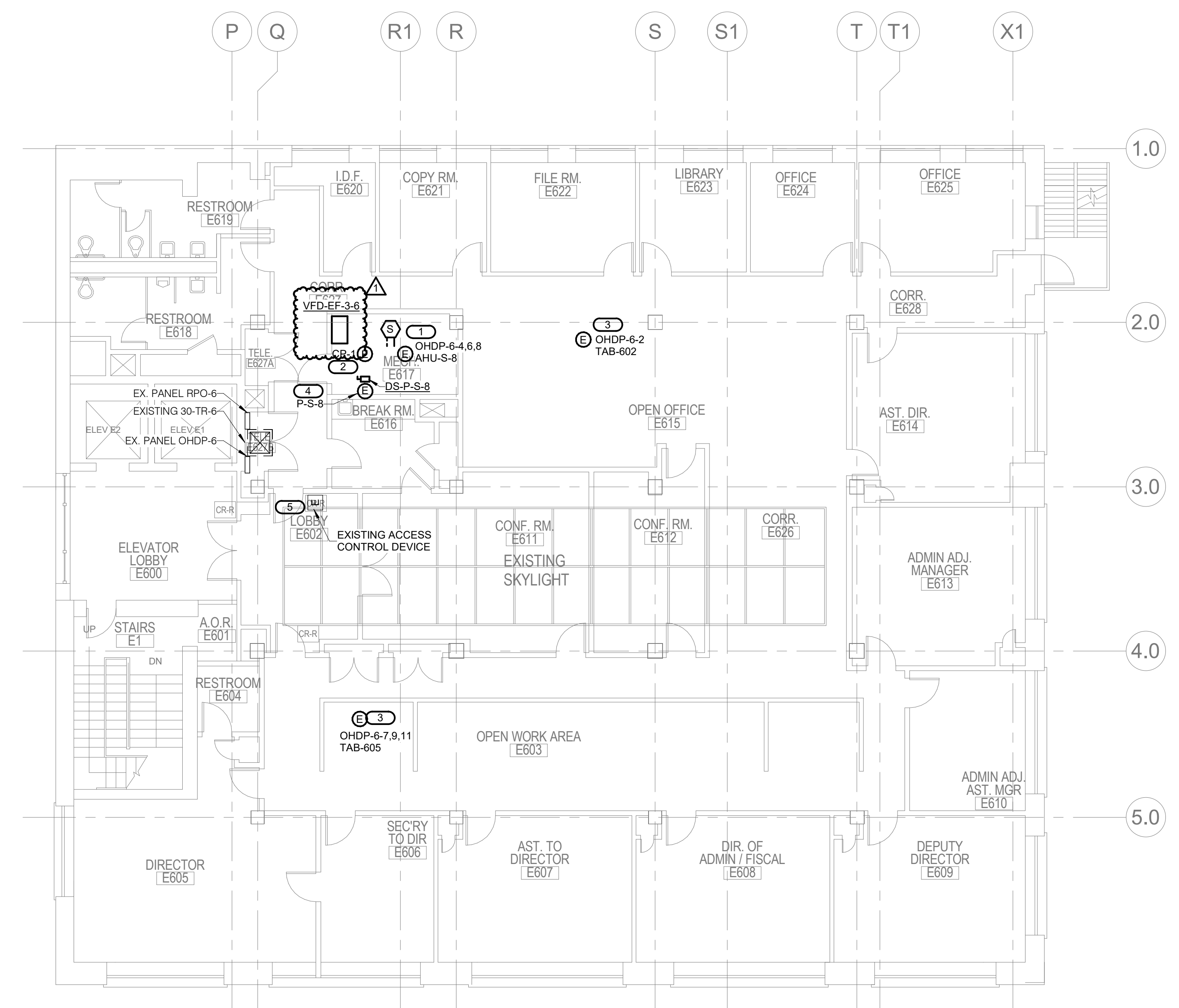


**GENERAL NOTES:**

1. ALL DUCT SMOKE DETECTORS SHALL BE REINSTALLED IN THE RETURN AIR DUCT.

**KEYNOTES: #**

1. NEW SINGLE POINT POWER CONNECTION FOR NEW AHU. PROVIDE NEW WIRING. REUSE EXISTING CONDUIT AND EXTEND AS NEEDED. REINSTALL DUCT SMOKE DETECTOR.
2. PROVIDE NEW 120V/20A CIRCUIT FROM EXISTING PANEL RPO-6. UTILIZE NEXT AVAILABLE CIRCUIT. PROVIDE #12+12GND IN 3/4\".
3. DISCONNECT/CONTROLLER PROVIDED BY MANUFACTURER. ELECTRICAL CONTRACTOR SHALL WIRE AS PER MANUFACTURER'S RECOMMENDATIONS.
4. PROVIDE NEW 120V/20A CIRCUIT FROM EXISTING PANEL RPO-6. UTILIZE NEXT AVAILABLE CIRCUIT. PROVIDE #12+12GND IN 3/4\".
5. EXISTING CARD READER/DOOR ACCESS CONTROL TO BE REMOVED AND RE-INSTALLED AS PART OF DOORWALL REPLACEMENT. REMOVE WIRING TO CARD READER AND ELECTRIC STRIKE AND RE-INSTALL WITHIN NEW WALL AND TO RELOCATED DOOR. SECURITY SYSTEM IS UNDER WARRANTY. UTILIZE SERVICES OF OWNER'S VENDOR TO MAINTAIN WARRANTY.



**1 SIXTH FLOOR EAST PLAN - POWER NEW WORK**  
1/8" = 1'-0"



ASSETS INFORMATION AND SERVICES, CITY OF CHICAGO  
SANDRA BLANKENHOE, COMMISSIONER  
FRANCES ROYBUS, DEPUTY COMMISSIONER

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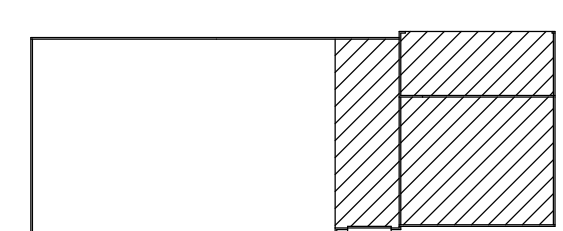
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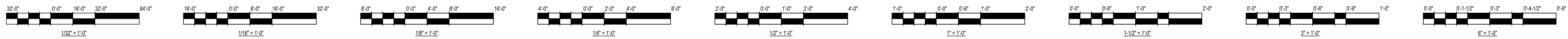


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1	ADDENDUM NO. 1	12.21.23
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PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
PBC Contract No: C1606  
Project No.: 04044  
Title  
SIXTH FLOOR EAST PLAN - POWER



KEY PLAN



### VARIABLE FREQUENCY DRIVE SCHEDULE

STARTER TYPE:	ACCESSORIES & OPTIONS (REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION):	
PWM - PULSE WIDTH MODULATED (6, 12, 18 PULSE PWM REQUIRED)	SC - SHIELDED VFD CABLE	RSS - REMOTE START-STOP, DRIVE RUN, FAULT TRIP
AFE - ACTIVE FRONT END / ULTRA LOW HARMONIC (REQUIRED)	LPF - LEADING POWER FACTOR MANAGEMENT	SA - STANDARD ACCESSORIES FOR ALL DRIVES (INCLUDES * ITEMS)
LINE DISCONNECT:	PHF - PASSIVE HARMONIC FILTER	* MANUAL SPEED ADJUSTMENT
DS - DISCONNECT SWITCH	AHF - ACTIVE HARMONIC FILTER	* ELECTRONIC THERMAL OVERLOADS
FDS - FUSED DISCONNECT SWITCH	CA - TWO CONVERTIBLE AUXILIARY CONTACTS	* CONTROL TRANSFORMER, FUSED, 120V
CB - CIRCUIT BREAKER	TO - MELTING THERMAL OVERLOADS	* HAND-OFF-AUTO DOOR SWITCH
	MMO - MULTIPLE MOTOR OVERLOADS	* SKIP FREQUENCY CAPABILITY
	FCH - FORCED COOLING / HEATING	* HARMONIC DISTORTION PERFORMANCE CRITERIA REFER TO SPECIFICATIONS

ITEM	LINE DISC.	DRIVE BYPASS	SCCR	CIRCUIT VOLTAGE	POLES	DRIVE			ENCLOSURE	REQUIRED ACCESSORIES & OPTIONS	COMMENTS
						HP RATING	TYPE	TORQUE TYPE			
VFD-EF-2-1	DS	2 CONTACT	100 kA	480 V	3	7.5	PWM	VARIABLE	NEMA 1	SA [LR]	
VFD-EF-3-6	DS	2 CONTACT	100 kA	480 V	3	20	PWM	VARIABLE	NEMA 1	SA [LR]	
VFD-P-1	DS	2 CONTACT	100 kA	480 V	3	25	PWM	VARIABLE	NEMA 1	SA [LR]	
VFD-P-1A	DS	2 CONTACT	100 kA	480 V	3	25	PWM	VARIABLE	NEMA 1	SA [LR]	
VFD-REF-1E	DS	2 CONTACT	100 kA	480 V	3	15	PWM	VARIABLE	NEMA 1	SA [LR]	1
VFD-REF-1W	DS	2 CONTACT	100 kA	480 V	3	15	PWM	VARIABLE	NEMA 1	SA [LR]	1
VFD-REF-3	DS	2 CONTACT	100 kA	480 V	3	1	PWM	VARIABLE	NEMA 1	SA [LR]	
VFD-S-1E	DS	2 CONTACT	100 kA	480 V	3	30	PWM	VARIABLE	NEMA 1	SA [LR]	1
VFD-S-1W	DS	2 CONTACT	100 kA	480 V	3	20	PWM	VARIABLE	NEMA 1	SA [LR]	1
VFD-S-2E	DS	2 CONTACT	100 kA	480 V	3	30	PWM	VARIABLE	NEMA 1	SA [LR]	1
VFD-S-2E	DS	2 CONTACT	100 kA	480 V	3	7.5	PWM	VARIABLE	NEMA 1	SA [LR]	1
VFD-S-2W	DS	2 CONTACT	100 kA	480 V	3	30	PWM	VARIABLE	NEMA 1	SA [LR]	1
VFD-S-2W	DS	2 CONTACT	100 kA	480 V	3	15	PWM	VARIABLE	NEMA 1	SA [LR]	1

1. VFD'S ARE DIRECT REPLACEMENT OF EXISTING VFD'S. SIZES ARE BASED ON RECORD DRAWINGS AND FOR BIDDING PURPOSES. PRIOR TO ORDERING NEW VFD'S CONTRACTOR SHALL VERIFY THE EXISTING MOTOR VFD SIZES AND PROVIDE MATCHING SIZE ACCESSORIES FOR NEW VFD'S.

### ELECTRICAL WIRING SCHEDULE

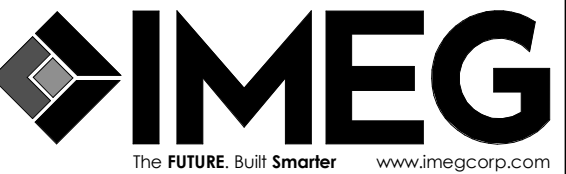
PANEL	ITEM	WIRE AND RACEWAY
H2-1	FPB-201	3#12 & 1#12 EGC IN 3/4" C.
	FPB-202	3#12 & 1#12 EGC IN 3/4" C.
OHDP-1	AHU-S-3	3#12 & 1#12 EGC IN 3/4" C.
	FPB-101	2#12 & 1#12 EGC IN 3/4" C.
OHDP-2	AHU-S-4	3#12 & 1#12 EGC IN 3/4" C.
	TAB-202	2#12 & 1#12 EGC IN 3/4" C.
OHDP-3	AHU1E-CU-2	3#10 & 1#10 EGC IN 3/4" C.
	AHU-S-5	3#12 & 1#12 EGC IN 3/4" C.
	EF-2-1	3#12 & 1#12 EGC IN 3/4" C.
OHDP-4	AHU-S-6	3#12 & 1#12 EGC IN 3/4" C.
	CRAC-1	3#10 & 1#10 EGC IN 3/4" C.
	CRAC-CU-1	
OHDP-5	AHU-S-7	3#12 & 1#12 EGC IN 3/4" C.
	EF-3-6	3#10 & 1#10 EGC IN 3/4" C.
	HT-1	2#12 & 1#12 EGC IN 3/4" C.
OHDP-6	AHU-S-8	3#12 & 1#12 EGC IN 3/4" C.
	TAB-602	2#12 & 1#12 EGC IN 3/4" C.
	TAB-605	3#12 & 1#12 EGC IN 3/4" C.
	TEF-1	3#12 & 1#12 EGC IN 3/4" C.
PP1-1	TAB-211	3#12 & 1#12 EGC IN 3/4" C.
	TAB-215	3#12 & 1#12 EGC IN 3/4" C.
	TAB-217	3#12 & 1#12 EGC IN 3/4" C.
PP1-1A	ECH-1	2#12 & 1#12 EGC IN 3/4" C.
	ECH-1	2#12 & 1#12 EGC IN 3/4" C.
	ECH-1	2#12 & 1#12 EGC IN 3/4" C.
	ECH-1	2#12 & 1#12 EGC IN 3/4" C.
PP1-2	TAB-219	2#12 & 1#12 EGC IN 3/4" C.
	TAB-2111	2#10 & 1#10 EGC IN 3/4" C.
	TAB-2115	2#12 & 1#12 EGC IN 3/4" C.
PP1-2A	FPB-203	3#6 & 1#10 EGC IN 3/4" C.
	TAB-2117	3#12 & 1#12 EGC IN 3/4" C.
SB-2	CH-2	(2) SETS OF 3#250 & 1#2 EGC IN 2 1/2" C.
	CH-3	(2) SETS OF 3#250 & 1#2 EGC IN 2 1/2" C.

### DISCONNECT AND STARTER SCHEDULE

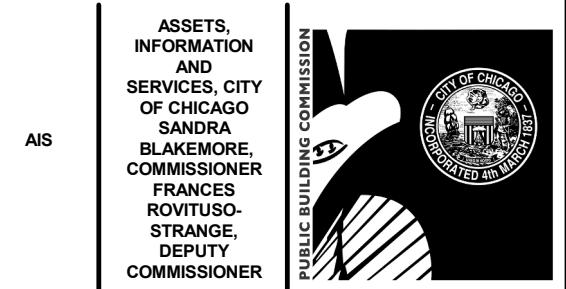
NOTE: ALL DISCONNECTS (EXCEPT MANUAL STARTERS) SHALL BE HEAVY DUTY TYPE.

DISCONNECT TYPE:	ACCESSORIES & OPTIONS	
FU - FUSED	SA - STANDARD ACCESSORIES (INCLUDES * PF - PHASE LOSS PROTECTION (5 HP OR GREATER, 3 ...	
NF - NON-FUSED	*CT - CONTROL TRANSFORMER, FUSED 120V	TO - MELTING THERMAL OVERLOADS (1 PHASE)
CB - CIRCUIT BREAKER	*EO - ELECTRONIC OVERLOAD (3 PHASE ...	TS - 2 SPEED SELECTOR SWITCH IN DOOR
	*HA - HAND-OFF-AUTO IN DOOR	GP - GREEN (OFF) PILOT LIGHT IN DOOR
	*RP - RED (RUN) PILOT LIGHT IN DOOR	FA - 4-CONVERTIBLE AUXILIARY CONTACTS
STARTER TYPE:	*TA - TWO CONVERTIBLE AUXILIARY ...	EI - ELECTRICAL INTERLOCK (2)N.O. & (2)N.C.
FV - FULL VOLTAGE	S/N - INSULATED NEUTRAL ASSEMBLY	SS - START-STOP PUSHBUTTON IN DOOR
YD - WYE - DELTA		HL - HANDLE PADLOCK HASP
RE - REVERSING		
TW - 2 SPEED, 2 WINDING		
SW - 2 SPEED, 1 WINDING		
RV - REDUCED VOLTAGE AUTOXMR		
SS - SOLID STATE		
MS - MANUAL STARTER		
MX - MANUAL SWITCH		
FS - FUSED SWITCH		
AMS-ASSEMBLED MOTOR STARTER		

ITEM	DISCONNECT TYPE & RATING		TRIP RATING	VOLTAGE	POLES	STARTER		ENCLOSURE	REQUIRED ACCESSORIES & OPTIONS	COMMENTS
	RATING	TRIP RATING				NEMA SIZE	TYPE			
DS-AHU-S-3	30 A	30 A	480 V	3				NEMA 1		
DS-AHU-S-5	30 A	30 A	480 V	3				NEMA 1		
DS-P-S-3	30 A	30 A	208 V	3				NEMA 1		
DS-P-S-4	30 A	30 A	208 V	3				NEMA 1		
DS-P-S-5	30 A	30 A	208 V	3				NEMA 1		
DS-P-S-6	30 A	30 A	208 V	3				NEMA 1		
DS-P-S-7	30 A	30 A	208 V	3				NEMA 1		
DS-P-S-8	30 A	30 A	208 V	3				NEMA 1		
DS-30R	30 A	30 A	480 V	3				NEMA 3R		
FDS-REF-3	30 A	30 A	480 V	3				NEMA 1		
FDS-P-1	60 A	60 A	208 V	3				NEMA 1		
FDS-P-1A	60 A	60 A	208 V	3				NEMA 1		
FDS-	60 A	60 A	480 V	3				NEMA 1		



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MEPPF Engineers of Record

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REF. SCALE IN INCHES PROJECT #23011507.D1

LERCH BATES  
Chicago, IL  
Elevator Consultant  
IRCA  
Chicago, IL  
Roofing Consultant  
VERDE2 ENVIRONMENTAL SOLUTIONS  
Chicago, IL  
Environmental Consultant



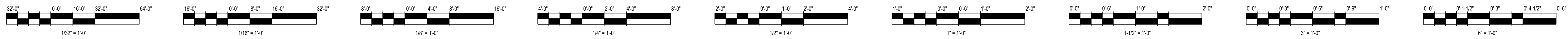
Mark	Description	Date
1	ADDENDUM NO. 1	12.21.23
	ISSUE FOR PERMIT	11.29.23
	ISSUE FOR BID	11.29.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades

PBC Contract No: C1606  
Project No.: 04044  
Title

ELECTRICAL SCHEDULES





**EX. PANEL HDP-1**

ENCLOSURE: NEMA PB 1  
FED FROM: 400 A/3P @ SB-2  
LOCATION:

MAIN: 400 A MCB  
VOLTS: 480/277 Wye  
PHASE: 3  
WIRE: 4  
SCCR: 65 kA  
ISC UNKNOWN 0 A

NOTES: LOAD SHOWN ON PANEL SCHEDULE REPRESENT ONLY LOAD BEING ADDED TO PANEL.

CKT NO.	LOAD DESCRIPTION	LOAD	POLES	FRAME	TRIP	TYPE	ACC.	WIRE AND RACEWAY	CIRCUIT KEY
1	MCC-1 (EXISTING)	0 kVA	3	100 A	100 A	--	--	--	--
2	MCC-2 (EXISTING)	0 kVA	2	100 A	100 A	--	--	--	--
3	ROFFTOP AC (EXISTING)	0 kVA	3	60 A	60 A	--	--	--	--
4	SPARE	0 kVA	1	30 A	30 A	--	--	--	--
5	EXISTING LOAD	0 kVA	3	200 A	200 A	--	--	--	--
6	MCC-1 (EXISTING)	0 kVA	1	100 A	100 A	--	--	--	--
7	MCC-3 (EXISTING)	0 kVA	3	100 A	100 A	--	--	--	--
8	SPARE	0 kVA	1	400 A	20 A	--	--	--	--
9	SPARE	0 kVA	1	400 A	20 A	--	--	--	--
10	SPARE	0 kVA	1	1	--	--	--	--	--
11	SPARE	0 kVA	1	--	--	--	--	--	--
12	SPARE	0 kVA	1	--	--	--	--	--	--

LOAD SUMMARY (INCLUDES ALL TUBS IN THIS PANEL)

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	TOTALS*
Power	0 kVA	0.00%	0 kVA	TOTAL CONNECTED LOAD: 0.00 kVA TOTAL ESTIMATED DEMAND LOAD: 0 kVA TOTAL CONNECTED AMPS: 0.00 A TOTAL ESTIMATED DEMAND AMPS: 0 A

\*TOTAL DEMAND CALCS SUBTRACT ANY REDUNDANT LOAD AND THE SMALLER OF ANY NONCOINCIDENT HVAC LOADS. THIS CALC IS DONE AT EACH PANEL.

CIRCUIT KEY NOTES:

**EX. PANEL OHDP-1**

ENCLOSURE: NEMA PB 1  
FED FROM: 0 A/0P @  
LOCATION:

MAIN: 100 A MLO  
VOLTS: 480/277 Wye  
PHASE: 3  
WIRE: 4  
SCCR: EXISTING  
ISC UNKNOWN 0.00 kA

NOTES: LOAD SHOWN ON PANEL SCHEDULE REPRESENT ONLY LOAD BEING ADDED TO PANEL.

CKT NO.	LOAD DESCRIPTION	LOAD	POLES	FRAME	TRIP	TYPE	ACC.	WIRE AND RACEWAY	CIRCUIT KEY
1	SPACE	--	1	--	--	--	--	--	2
2	SPACE	--	1	--	--	--	--	--	4
3	SPACE	--	1	--	--	--	--	--	6
4	SPACE	--	1	--	--	--	--	--	8
5	SPACE	--	1	--	--	--	--	--	10
6	SPACE	--	1	--	--	--	--	--	12
7	SPACE	--	1	--	--	--	--	--	14
8	SPACE	--	1	--	--	--	--	--	16
9	SPACE	--	1	--	--	--	--	--	18
10	SPACE	--	1	--	--	--	--	--	20
11	SPACE	--	1	--	--	--	--	--	22
12	SPACE	--	1	--	--	--	--	--	24
13	SPACE	--	1	--	--	--	--	--	26
14	SPACE	--	1	--	--	--	--	--	28

LOAD SUMMARY

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	TOTALS*
Motor	0.83 kVA	100.00%	0.83 kVA	TOTAL CONNECTED LOAD: 10.14 kVA TOTAL ESTIMATED DEMAND LOAD: 10.14 kVA TOTAL CONNECTED AMPS: 12.20 A TOTAL ESTIMATED DEMAND AMPS: 12.2 A

\*TOTAL DEMAND CALCS SUBTRACT ANY REDUNDANT LOAD AND THE SMALLER OF ANY NONCOINCIDENT HVAC LOADS. THIS CALC IS DONE AT EACH PANEL.

CIRCUIT KEY NOTES: 'N' = NEW CIRCUIT BREAKER

**EX. PANEL OHDP-2**

ENCLOSURE: NEMA PB 1  
FED FROM: 0 A/0P @  
LOCATION:

MAIN: 100 A MLO  
VOLTS: 480/277 Wye  
PHASE: 3  
WIRE: 4  
SCCR: EXISTING  
ISC UNKNOWN 0.00 kA

NOTES: LOAD SHOWN ON PANEL SCHEDULE REPRESENT ONLY LOAD BEING ADDED TO PANEL.

CKT NO.	LOAD DESCRIPTION	LOAD	POLES	FRAME	TRIP	TYPE	ACC.	WIRE AND RACEWAY	CIRCUIT KEY
1	SPACE	--	1	--	--	--	--	--	2
2	SPACE	--	1	--	--	--	--	--	4
3	SPACE	--	1	--	--	--	--	--	6
4	SPACE	--	1	--	--	--	--	--	8
5	SPACE	--	1	--	--	--	--	--	10
6	SPACE	--	1	--	--	--	--	--	12
7	SPACE	--	1	--	--	--	--	--	14
8	SPACE	--	1	--	--	--	--	--	16
9	SPACE	--	1	--	--	--	--	--	18
10	SPACE	--	1	--	--	--	--	--	20
11	SPACE	--	1	--	--	--	--	--	22
12	SPACE	--	1	--	--	--	--	--	24
13	SPACE	--	1	--	--	--	--	--	26
14	SPACE	--	1	--	--	--	--	--	28

LOAD SUMMARY

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	TOTALS*
Power	9.912 kVA	100.00%	9.912 kVA	TOTAL CONNECTED LOAD: 9.91 kVA TOTAL ESTIMATED DEMAND LOAD: 9.912 kVA TOTAL CONNECTED AMPS: 11.92 A TOTAL ESTIMATED DEMAND AMPS: 11.9 A

\*TOTAL DEMAND CALCS SUBTRACT ANY REDUNDANT LOAD AND THE SMALLER OF ANY NONCOINCIDENT HVAC LOADS. THIS CALC IS DONE AT EACH PANEL.

CIRCUIT KEY NOTES: 'N' = NEW BREAKER

**EX. PANEL OHDP-3**

ENCLOSURE: NEMA PB 1  
FED FROM: 0 A/0P @  
LOCATION:

MAIN: 100 A MLO  
VOLTS: 480/277 Wye  
PHASE: 3  
WIRE: 4  
SCCR: EXISTING  
ISC UNKNOWN 0.00 kA

NOTES: LOAD SHOWN ON PANEL SCHEDULE REPRESENT ONLY LOAD BEING ADDED TO PANEL.

CKT NO.	LOAD DESCRIPTION	LOAD	POLES	FRAME	TRIP	TYPE	ACC.	WIRE AND RACEWAY	CIRCUIT KEY	
1	AHU1E-CU2	25 A	3	10	10	5.7	3.05	5.7	3.05	2
2	EF-2-1	12	12	3	20 A	EF-2-1	--	--	4	
3	SPACE	--	1	--	--	--	--	--	6	
4	SPACE	--	1	--	--	--	--	--	8	
5	SPACE	--	1	--	--	--	--	--	10	
6	SPACE	--	1	--	--	--	--	--	12	
7	SPACE	--	1	--	--	--	--	--	14	
8	SPACE	--	1	--	--	--	--	--	16	
9	SPACE	--	1	--	--	--	--	--	18	
10	SPACE	--	1	--	--	--	--	--	20	
11	SPACE	--	1	--	--	--	--	--	22	
12	SPACE	--	1	--	--	--	--	--	24	
13	SPACE	--	1	--	--	--	--	--	26	
14	SPACE	--	1	--	--	--	--	--	28	

LOAD SUMMARY

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	TOTALS*
HVAC	17.1 kVA	100.00%	17.1 kVA	TOTAL CONNECTED LOAD: 35.56 kVA TOTAL ESTIMATED DEMAND LOAD: 35.567 kVA TOTAL CONNECTED AMPS: 42.77 A TOTAL ESTIMATED DEMAND AMPS: 42.7 A

\*TOTAL DEMAND CALCS SUBTRACT ANY REDUNDANT LOAD AND THE SMALLER OF ANY NONCOINCIDENT HVAC LOADS. THIS CALC IS DONE AT EACH PANEL.

CIRCUIT KEY NOTES: 'N' = NEW BREAKER

**EX. PANEL OHDP-4**

ENCLOSURE: NEMA PB 1  
FED FROM: 0 A/0P @  
LOCATION:

MAIN: 100 A MLO  
VOLTS: 480/277 Wye  
PHASE: 3  
WIRE: 4  
SCCR: EXISTING  
ISC UNKNOWN 0.00 kA

NOTES: LOAD SHOWN ON PANEL SCHEDULE REPRESENT ONLY LOAD BEING ADDED TO PANEL.

CKT NO.	LOAD DESCRIPTION	LOAD	POLES	FRAME	TRIP	TYPE	ACC.	WIRE AND RACEWAY	CIRCUIT KEY	
1	CRAC-1	20 A	3	10	10	4.15	0.55	4.15	0	2
2	CRAC-2-1	1	20 A	CRAC-2-1	--	--	--	--	4	
3	SPACE	--	1	--	--	--	--	--	6	
4	SPACE	--	1	--	--	--	--	--	8	
5	SPACE	--	1	--	--	--	--	--	10	
6	SPACE	--	1	--	--	--	--	--	12	
7	SPACE	--	1	--	--	--	--	--	14	
8	SPACE	--	1	--	--	--	--	--	16	
9	SPACE	--	1	--	--	--	--	--	18	
10	SPACE	--	1	--	--	--	--	--	20	
11	SPACE	--	1	--	--	--	--	--	22	
12	SPACE	--	1	--	--	--	--	--	24	
13	SPACE	--	1	--	--	--	--	--	26	
14	SPACE	--	1	--	--	--	--	--	28	

LOAD SUMMARY

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	TOTALS*
Power	22.316 kVA	100.00%	22.316 kVA	TOTAL CONNECTED LOAD: 22.32 kVA TOTAL ESTIMATED DEMAND LOAD: 22.316 kVA TOTAL CONNECTED AMPS: 26.84 A TOTAL ESTIMATED DEMAND AMPS: 26.8 A

\*TOTAL DEMAND CALCS SUBTRACT ANY REDUNDANT LOAD AND THE SMALLER OF ANY NONCOINCIDENT HVAC LOADS. THIS CALC IS DONE AT EACH PANEL.

CIRCUIT KEY NOTES: 'N' = NEW BREAKER

**EX. PANEL OHDP-5**

ENCLOSURE: NEMA PB 1  
FED FROM: 0 A/0P @  
LOCATION:

MAIN: 100 A MLO  
VOLTS: 480/277 Wye  
PHASE: 3  
WIRE: 4  
SCCR: EXISTING  
ISC UNKNOWN 0.00 kA

NOTES: LOAD SHOWN ON PANEL SCHEDULE REPRESENT ONLY LOAD BEING ADDED TO PANEL.

CKT NO.	LOAD DESCRIPTION	LOAD	POLES	FRAME	TRIP	TYPE	ACC.	WIRE AND RACEWAY	CIRCUIT KEY	
1	EF-3-6	35 A	3	10	10	7.17	--	7.17	--	2
2	SPACE	--	1	--	--	--	--	--	4	
3	SPACE	--	1	--	--	--	--	--	6	
4	SPACE	--	1	--	--	--	--	--	8	
5	SPACE	--	1	--	--	--	--	--	10	
6	SPACE	--	1	--	--	--	--	--	12	
7	SPACE	--	1	--	--	--	--	--	14	
8	SPACE	--	1	--	--	--	--	--	16	
9	SPACE	--	1	--	--	--	--	--	18	
10	SPACE	--	1	--	--	--	--	--	20	
11	SPACE	--	1	--	--	--	--	--	22	
12	SPACE	--	1	--	--	--	--	--	24	
13	SPACE	--	1	--	--	--	--	--	26	
14	SPACE	--	1	--	--	--	--	--	28	

LOAD SUMMARY

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	TOTALS*
Motor	25.655 kVA	100.00%	25.655 kVA	TOTAL CONNECTED LOAD: 34.97 kVA TOTAL ESTIMATED DEMAND LOAD: 34.967 kVA TOTAL CONNECTED AMPS: 42.06 A TOTAL ESTIMATED DEMAND AMPS: 42.1 A

\*TOTAL DEMAND CALCS SUBTRACT ANY REDUNDANT LOAD AND THE SMALLER OF ANY NONCOINCIDENT HVAC LOADS. THIS CALC IS DONE AT EACH PANEL.

CIRCUIT KEY NOTES: 'N' = NEW BREAKER, 'G' = PROVIDE GFCI BREAKER

**EX. PANEL OHDP-6**

ENCLOSURE: NEMA PB 1  
FED FROM: 0 A/0P @  
LOCATION:

MAIN: 100 A MLO  
VOLTS: 480/277 Wye  
PHASE: 3  
WIRE: 4  
SCCR: EXISTING  
ISC UNKNOWN 0.00 kA

NOTES: LOAD SHOWN ON PANEL SCHEDULE REPRESENT ONLY LOAD BEING ADDED TO PANEL.

CKT NO.	LOAD DESCRIPTION	LOAD	POLES	FRAME	TRIP	TYPE	ACC.	WIRE AND RACEWAY	CIRCUIT KEY	
1	TAB-602	12	12	12	12	1.67	4.05	1.67	4.05	2
2	AHU-S-8	12	12	3	20 A	AHU-S-8	--	--	4	
3	SPACE	--	1	--	--	--	--	--	6	
4	SPACE	--	1	--	--	--	--	--	8	
5	SPACE	--	1	--	--	--	--	--	10	
6	SPACE	--	1	--	--	--	--	--	12	
7	TAB-605 (REPLACING EXISTING AHU)	15 A	3	12	12	1.67	4.05	1.67	0.94	8
8	TEF-1	12	12	3	15 A	TEF-1	--	--	10	
9	SPACE	--	1	--	--	--	--	--	12	
10	SPACE	--	1	--	--	--	--	--	14	
11	SPACE	--	1	--	--	--	--	--	16	
12	SPACE	--	1	--	--	--	--	--	18	
13	SPACE	--	1	--	--	--	--	--	20	
14	SPACE	--	1	--	--	--	--	--	22	
15	SPACE	--	1	--	--	--	--	--	24	
16	SPACE	--	1	--	--	--	--	--	26	
17	SPACE	--	1	--	--	--	--	--	28	

LOAD SUMMARY

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	TOTALS*
Power	23.965 kVA	100.00%	23.965 kVA	TOTAL CONNECTED LOAD: 23.96 kVA TOTAL ESTIMATED DEMAND LOAD: 23.965 kVA TOTAL CONNECTED AMPS: 28.83 A TOTAL ESTIMATED DEMAND AMPS: 28.8 A

\*TOTAL DEMAND CALCS SUBTRACT ANY REDUNDANT LOAD AND THE SMALLER OF ANY NONCOINCIDENT HVAC LOADS. THIS CALC IS DONE AT EACH PANEL.

CIRCUIT KEY NOTES: 'N' = NEW BREAKER

**EX. PANEL H-2-1**

ENCLOSURE: NEMA PB 1  
FED FROM: 0 A/0P @  
LOCATION:

MAIN: 100 A MCB  
VOLTS: 480/277 Wye  
PHASE: 3  
WIRE: 4  
SCCR: 65 kA  
ISC UNKNOWN 0.00 kA

NOTES: LOAD SHOWN ON PANEL SCHEDULE REPRESENT ONLY LOAD BEING ADDED TO PANEL.

CKT NO.	LOAD DESCRIPTION	LOAD	POLES	FRAME	TRIP	TYPE	ACC.	WIRE AND RACEWAY	CIRCUIT KEY	
1	FPB-202	15 A	3	12	12	1.9	1.9	1.9	1.9	2
2	FPB-201	1.03	12	12	12	3	15 A	FPB-201	4	
3	SPACE	--	1	--	--	--	--	--	6	
4	SPACE	--	1	--	--	--	--	--	8	
5	SPACE	--	1	--	--	--	--	--	10	
6	SPACE	--	1	--	--	--	--	--	12	
7	SPACE	--	1	--	--	--	--	--	14	
8	SPACE	--	1	--	--	--	--	--	16	
9	SPACE	--	1	--	--	--	--	--	18	
10	SPACE	--	1	--	--	--	--	--	20	
11	SPACE	--	1	--	--	--	--	--	22	
12	SPACE	--	1	--	--	--	--	--	24	
13	SPACE	--	1	--	--	--	--	--	26	
14	SPACE	--	1	--	--	--	--	--	28	

LOAD SUMMARY

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	TOTALS*
Power	5.715 kVA	100.00%	5.715 kVA	TOTAL CONNECTED LOAD: 11.43 kVA TOTAL ESTIMATED DEMAND LOAD: 11.429 kVA TOTAL CONNECTED AMPS: 13.75 A TOTAL ESTIMATED DEMAND AMPS: 13.7 A

\*TOTAL DEMAND CALCS SUBTRACT ANY REDUNDANT LOAD AND THE SMALLER OF ANY NONCOINCIDENT HVAC LOADS. THIS CALC IS DONE AT EACH PANEL.

CIRCUIT KEY NOTES:



ASBESTOS INFORMATION AND SERVICES, CITY OF CHICAGO  
SANDRA BLANKENHOE, COMMISSIONER  
FRANCIS ROYCE, CHIEF OF STAFF  
COMMISSIONER

**CIP - Central Hearing Facility Roof and MEP Upgrades**

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CHICAGO, IL 60654  
PUBLIC BUILDING COMMISSION  
CITY OF CHICAGO, MAYOR BRANDON JOHNSON

Architect of Record:  
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LERCH BATES  
Chicago, IL  
Elevator Consultant

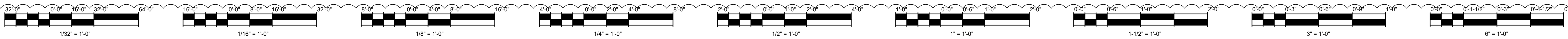
IRCA  
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Roofing Consultant

VERDE2 ENVIRONMENTAL SOLUTIONS  
Chicago, IL  
Environmental Consultant

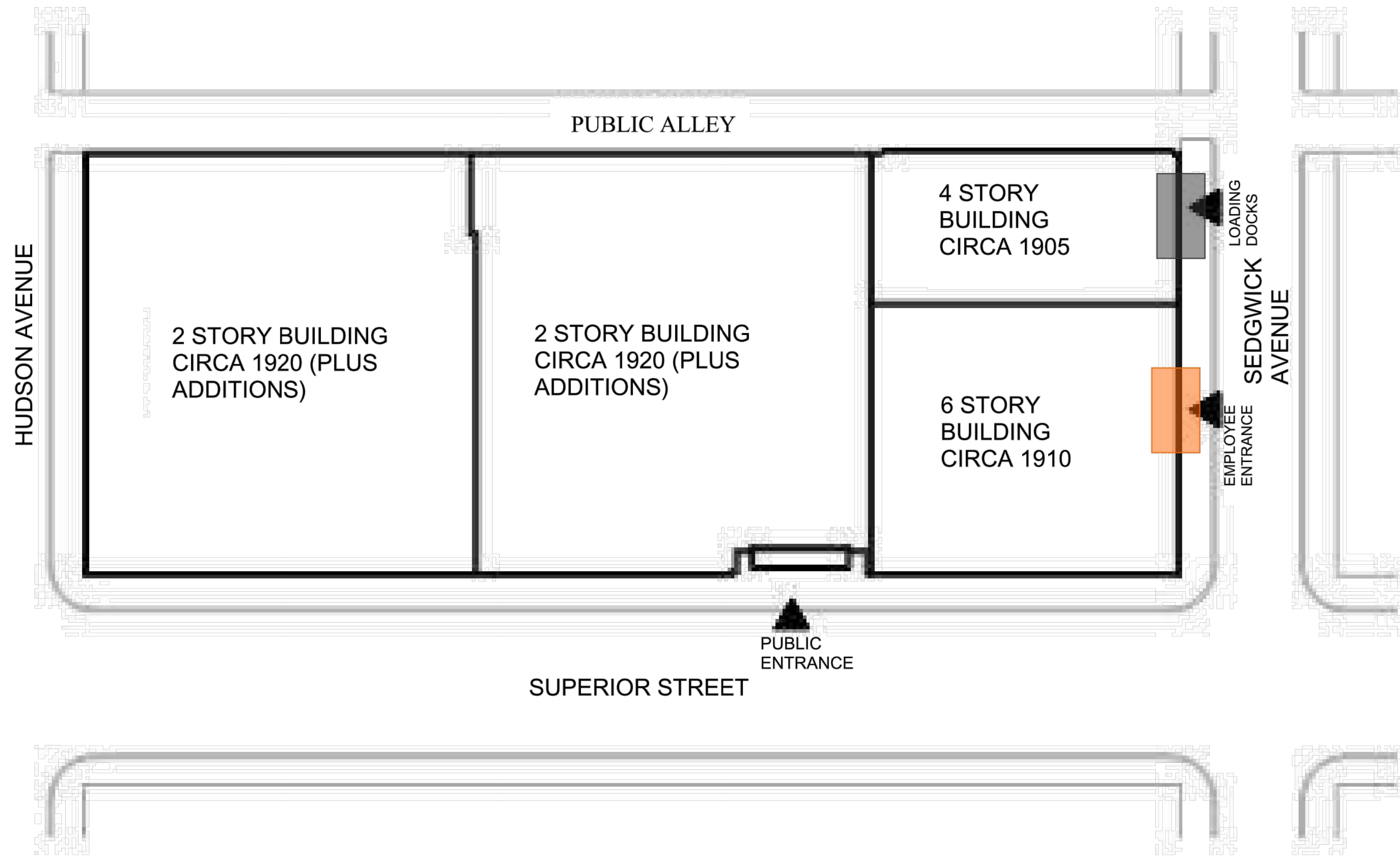


Issue	Mark	Description	Date
1		ADDENDUM NO. 1 ISSUE FOR PERMIT 	





**SITE PLAN**



**BUILDING PERMIT**  
 - CONTRACTOR MUST OBTAIN ALL REQUIRED PERMITS AS NECESSARY TO PERFORM THE WORK.  
 - BUILDING PERMIT DOCUMENTATION ARE UNDER REVIEW BY THE DEPARTMENT OF BUILDINGS. THE BUILDING PERMIT IS #101038941.  
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE APPLICABLE INFORMATION BELOW WITHIN TWO (2) WEEKS OF NOTICE OF AWARD ("NOA"), FOR PERMIT APPROVAL. BUILDING PERMIT IS ANTICIPATED BY MARCH 29, 2023.

**REQUIREMENTS WITHIN TWO WEEKS OF NOTICE OF AWARD:**

- GENERAL CONTRACTOR'S LETTER:**  
 -WRITTEN ON GC LETTERHEAD.  
 -GC'S WRITTEN CONFIRMATION OF CONTRACT AWARD (INCLUDE COPY OF "NOA").  
 -INCLUDE GC'S LICENSE NUMBER, WITH EXPIRATION DATE.  
 -INCLUDE CURRENT COPY OF GC'S INSURANCE CERTIFICATE.
- HVAC LETTER:**  
 -WRITTEN ON HVAC LETTERHEAD.  
 -HVAC'S WRITTEN CONFIRMATION OF CONTRACT AWARD (INCLUDE COPY OF "NOA").  
 -INCLUDE HVAC'S LICENSE NUMBER, WITH EXPIRATION DATE. ALSO, ATTACH A COPY OF HVAC'S "1010" BUSINESS LICENSE. THE 1010 BUSINESS LICENSE ALLOWS THE HVAC CONTRACTOR TO PERFORM COMMERCIAL WORK.  
 -INCLUDE CURRENT COPY OF SUBCONTRACTOR'S INSURANCE CERTIFICATE.
- ELECTRICAL LETTER:**  
 -WRITTEN ON ELECTRICAL LETTERHEAD.  
 -ELECTRICAL'S WRITTEN CONFIRMATION OF CONTRACT AWARD (INCLUDE COPY OF "NOA").  
 -INCLUDE ELECTRICAL'S LICENSE NUMBER, WITH EXPIRATION DATE.  
 -INCLUDE CURRENT COPY OF SUBCONTRACTOR'S INSURANCE CERTIFICATE.
- PLUMBING LETTER:**  
 -WRITTEN ON PLUMBING LETTERHEAD.  
 -PLUMBING'S WRITTEN CONFIRMATION OF CONTRACT AWARD (INCLUDE COPY OF "NOA").  
 -INCLUDE PLUMBING'S LICENSE NUMBER, WITH EXPIRATION DATE.  
 -INCLUDE CURRENT COPY OF SUBCONTRACTOR'S INSURANCE CERTIFICATE.
- ROOFING LETTER:**  
 -WRITTEN ON ROOFING LETTERHEAD.  
 -ROOFING'S WRITTEN CONFIRMATION OF CONTRACT AWARD (INCLUDE COPY OF "NOA").  
 -INCLUDE ROOFING'S LICENSE NUMBER, WITH EXPIRATION DATE.  
 -INCLUDE CURRENT COPY OF SUBCONTRACTOR'S INSURANCE CERTIFICATE.

**MILESTONE 1: PRE-CONSTRUCTION, INCLUDING PERMITTING, CONSTRUCTION SUBMITTALS, MATERIAL AND EQUIPMENT PROCUREMENT, SCHEDULE PREPARATION, MOBILIZATION, ETC.: COMPLETION 3/29/2024.**

- CONTRACTOR SHALL ASSUME BUILDING PERMIT APPROVAL BY MARCH 29, 2024.  
 - PROVIDE CRITICAL SUBMITTALS FOR THE NEW CHILLERS, AHUs, AND VFDs FOR THE AOR'S REVIEW WITHIN THE TWO (2) WEEKS OF NOTICE OF AWARD.

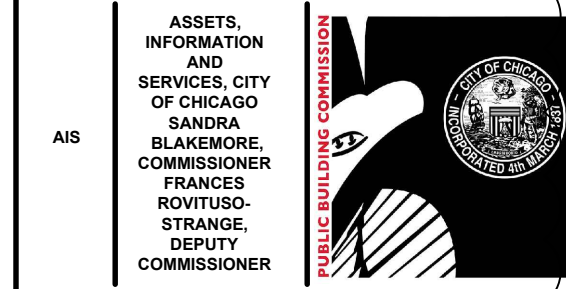
**SUBSTANTIAL COMPLETION:** ALL WORK, AS SPECIFIED ON THE CONTRACT DOCUMENTS, COMPLETION 12/31/2024.

- PROVIDE TEMPORARY HEATING/COOLING AS NEEDED THROUGH DECEMBER 31, 2024. THE CONTRACTOR TO PROVIDE A MINIMUM OF 2 MONTH NOTICE PRIOR TO ANY MEP SHUTDOWN TO PERFORM THE WORK.
- WORK TO INCLUDE, BUT NOT NECESSARILY LIMITED TO: 1. HVAC SYSTEM UPGRADE. 2. FIRE ESCAPE REMEDIATION WORK TO MEET CODE. 3. ELEVATOR RENOVATIONS TO MEET CODE. 4. ROOF REPLACEMENT 5. BAS REPLACEMENT

**GENERAL NOTES:**

1. THE PROPOSED LOGISTICS, PHASING, AND SITE UTILIZATION PLAN ("PLAN") IS INTENDED TO ADVISE BIDDERS REGARDING PROJECT PRIORITIES, ANY CONSTRAINTS, MOBILIZATIONS, OVERALL DURATIONS, DELIVERY, ETC. BIDDERS SHALL BE RESPONSIBLE FOR PROPERLY COORDINATING AND EXECUTING ALL WORK, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. UPON CONTRACT AWARD, CONTRACTOR SHALL PREPARE AND SUBMIT ITS PROPOSED PLAN AND NARRATIVE WITHIN TWO (2) WEEKS OF NOTICE OF AWARD, FOR REVIEW AND APPROVAL.
2. BUILDING PERMIT APPROVAL IS ANTICIPATED ON MARCH 29, 2024 (BUILDING PERMIT #101038941).
3. THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.
4. CONTRACTOR SHALL NOT IMPACT THE FACILITY'S OPERATIONS AT ANY TIME.
5. CONTRACTOR SHALL SUBMIT PROJECT SPECIFIC QUALITY AND SAFETY PLANS WITHIN THIRTY (30) DAYS OF CONTRACT AWARD (NOA), FOR REVIEW AND RECORD.
6. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, AND SEQUENCES FOR IMPLEMENTATION OF THE WORK WITHIN AREAS DESIGNATED. THIS INCLUDES BUT NOT LIMITED TO, THE DETERMINATION OF THE NEED FOR (AND DESIGN OF) ANY AND ALL SHORING AND BRACING, UNDERPINNING, DEWATERING, SOIL STABILIZATION, SETTLEMENT MONITORING, TEMPORARY FACILITIES, PERMITS, ETC.
7. WHERE PROPERTY, STRUCTURES, OR PUBLIC WAY ARE DISTURBED AND/OR DAMAGED AS A RESULT OF THE CONTRACTOR'S MEANS AND METHODS, TECHNIQUES, OR TEMPORARY FACILITIES, THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL ASPECTS OF THE BUILDING, SITE, AND PUBLIC WAY TO ORIGINAL CONDITION TO THE SATISFACTION OF THE AUTHORIZED COMMISSION REPRESENTATIVE AND USER AGENCY (AIS).
8. CONTRACTOR SHALL COORDINATE AND MAINTAIN UTILITY SERVICES INCLUDING, BUT NOT LIMITED TO, HEAT, ELECTRIC POWER, AND WATER SERVICES DURING ALL PHASES OF CONSTRUCTION THROUGHOUT THE ENTIRE BUILDING.
9. EXISTING COOLING AND HEATING SYSTEM: MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL NEW SYSTEM IS COMPLETE AND READY FOR SERVICE. DRAIN SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. OBTAIN PERMISSION FROM THE OWNER AT LEAST 2 MONTHS BEFORE PARTIALLY OR COMPLETELY DRAINING SYSTEM. MINIMIZE OUTAGE DURATION. OUTAGE TO COOLING OR HEATING SYSTEMS SHALL BE LIMITED TO OFF HOURS, DURING TIMES WHEN THE SYSTEM IS ACTIVE. WITH PROPER SCHEDULING, COOLING CAN BE TAKEN OUT OF SERVICE WHEN OUTSIDE AIR TEMPERATURES ARE BELOW 55°F AND HEATING CAN BE TAKE OUT OF SERVICE WHEN OUTSIDE AIR TEMPERATURES ARE ABOVE 50°F. REFER TO SPECIFICATION 23 05 05 HVAC DEMOLITION FOR REMODELING FOR ADDITIONAL INFORMATION.
10. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY FACILITIES, SITE FENCING, GATES, ETC. NECESSARY FOR EXECUTION OF THE WORK.
11. ALL EXITS SERVING THE EXISTING BUILDING AND SAFE PASSAGE TO THE PUBLIC WAY SHALL REMAIN CLEAR AND UNOBSTRUCTED.
12. CONTRACTOR TO PROVIDE PROTECTED ACCESS AND TEMPORARY FENCING AS REQUIRED.
13. CONTRACTOR SHALL COMPLY WITH THE CITY'S SITE CLEANLINESS ORDER.
14. TEMPORARY POWER IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE THEIR OWN FOR CONSTRUCTION.
15. TELECOMMUNICATION SERVICES WILL NOT BE PROVIDED, CONTRACTOR SHALL PROVIDE SERVICE FOR THEMSELVES AND PBC.
16. A FIELD OFFICE FOR THE CONTRACTOR, COMMISSION REPRESENTATIVE, AND ARCHITECT OF RECORD ARE AVAILABLE AT THE CENTRAL BUILDING FACILITY (BASEMENT). THE DESIGNED OFFICE WILL BE AVAILABLE THROUGHOUT THE PROJECT DURATION. CONTRACTORS SHALL BE RESPONSIBLE FOR PROPER MAINTENANCE AND ANY REQUIRED OFFICE EQUIPMENT, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
17. CONTRACTOR SHALL MAINTAIN THE COMMISSION REPRESENTATIVE'S AND ARCHITECT OF RECORD FIELD OFFICE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ITS ON SITE FIELD OFFICES, AS NOTED ON THE PHASE AND LOGISTIC PLAN 3.
18. ALL WORKERS MUST ENTER AND EXIT THROUGH THE 740 N. SEDGWICK ENTRY. THE BUILDING ENGINEER WILL PROVIDE ACCESS.
19. DAILY SIGN-IN IS REQUIRED. CONTRACTOR TO PROVIDE A COPY OF THE SIGN-IN SHEET TO SECURITY.
20. ALL WORKERS TO WEAR PERSONAL, PROTECTIVE EQUIPMENT AT ALL TIMES.
21. TRUCK CRANES AND SIMILAR DEVICES ARE CONSIDERED "TOOLS AND EQUIPMENT" NOT TEMPORARY FACILITIES, AND NOT PROVIDED BY AIS OR TRANSWESTERN.
22. THROUGHOUT CONSTRUCTION, MAINTAIN EXISTING EGRESS ROUTES FOR BUILDING OCCUPANTS AT 740 N. SEDGWICK AVE. AND 400 W. SUPERIOR ST.
23. CONTRACTOR SHALL ENSURE EMERGENCY ROUTES ARE IDENTIFIED AND MAINTAINED.
24. ACCESS SHALL BE GRANTED TO BUILDING'S GARBAGE REMOVAL THROUGHOUT CONSTRUCTION.
25. SMALL TO MEDIUM SIZE EQUIPMENT SHALL BE BROUGHT IN THROUGH THE LOADING DOCK. BIG SIZE EQUIPMENT FOR THE ROOF TO BE BROUGHT UP VIA A CRANE.
26. PARKING WILL NOT BE PROVIDED. PUBLIC PAY PARKING IS AVAILABLE ON SUPERIOR STREET, HUDSON AVENUE, SEDGWICK AVENUE, AND ADJACENT STREETS.

27. ALL WORKERS MAY USE THE STAIR OR THE FREIGHT ELEVATOR FOR ACCESS TO THE BASEMENT, 1ST AND 2ND FLOORS. WORKERS TO USE THE STAIRS AND PASSENGER ELEVATORS ALLOWED FOR ACCESS TO THE 3RD-6TH FLOORS (CONSTRUCTION MATERIAL AND EQUIPMENT WILL NOT BE PERMITTED IN PASSENGER ELEVATOR). WORKERS WILL NOT BE ALLOWED TO USE THE PASSENGER ELEVATORS DURING THE MORNING RUSH HOURS (8AM-9:30 AM) AND AFTERNOON RUSH HOURS (4PM-4:30 PM).
28. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMP FACILITIES INCLUDING AND NOT LIMITED TO RESTROOMS, HAND WASHING STATIONS, ETC.
29. PRIOR WRITTEN APPROVAL IS REQUIRED FOR ACCESS TO THE INSPECTOR GENERAL'S OFFICE (IG).
30. CONTRACTOR SHALL SUBMIT IDENTIFICATION OF ALL TRADES THAT MAY REQUIRE ACCESS TO THE OIG OFFICE TWO (2) WEEKS IN ADVANCE OF ANY PLANNED WORK, FOR APPROVAL.
31. PROJECT TO BE SUBSTANTIALLY COMPLETED ON 12/31/2024.



**CIP - Central Hearing Facility  
 Roof and MEP Upgrades**  
 400 W. SUPERIOR  
 CHICAGO, IL 60654  
 PUBLIC BUILDING COMMISSION  
 CITY OF CHICAGO, MAYOR BRANDON JOHNSON

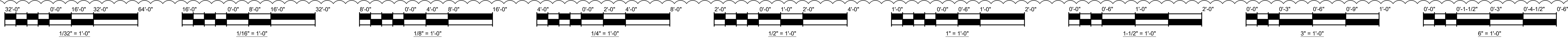
Architect of Record:  
 RADA ARCHITECTS LTD.  
**RADA ARCHITECTS**  
 LINCOLN CENTER | 233 N Michigan Avenue  
 Ste. 1900 | Chicago, IL 60601 | 312.856.1970  
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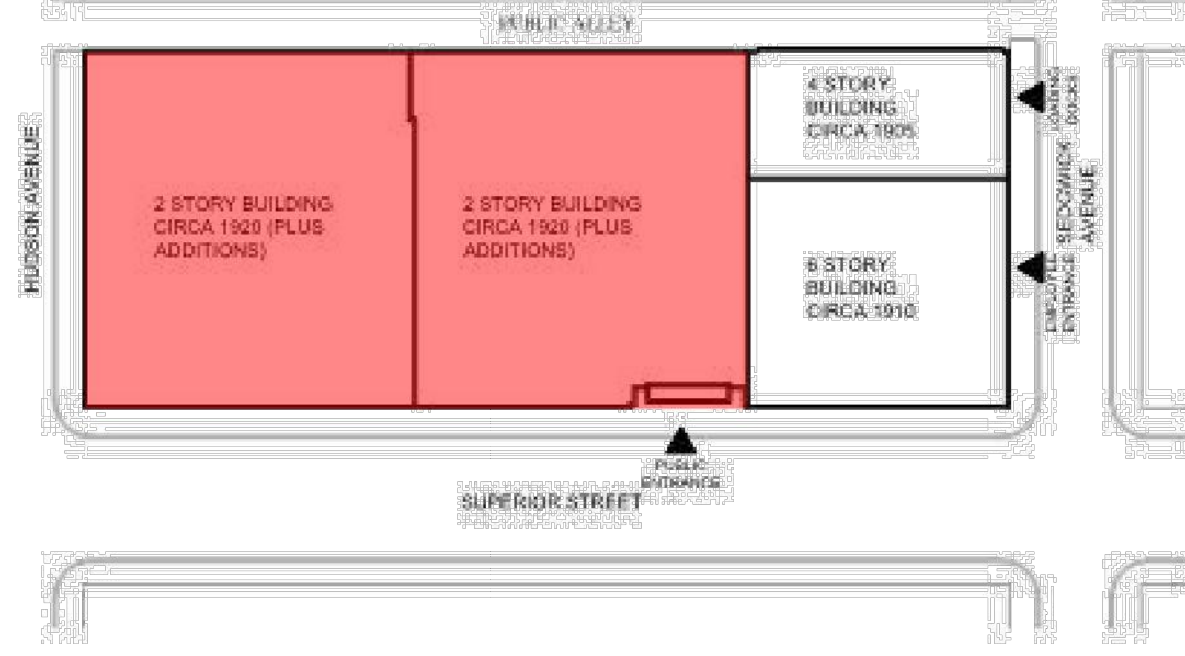
Mark	Description	Date
▲	ADDENDUM NO. 1	12.21.23

PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
 PBC Contract No: C1606  
 Project No.: 04044  
 Title  
**PHASING & LOGISTICS PLAN 1**

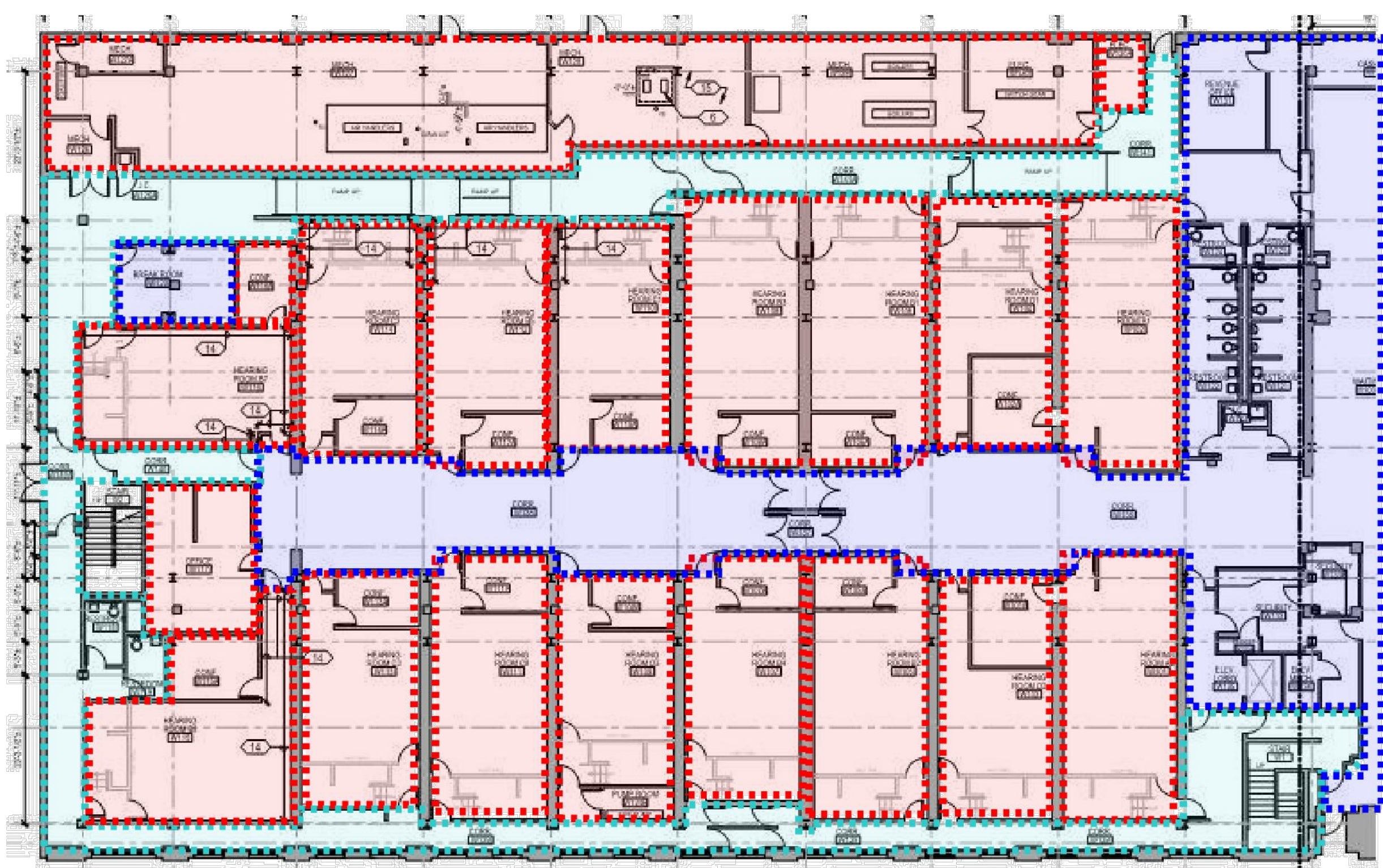




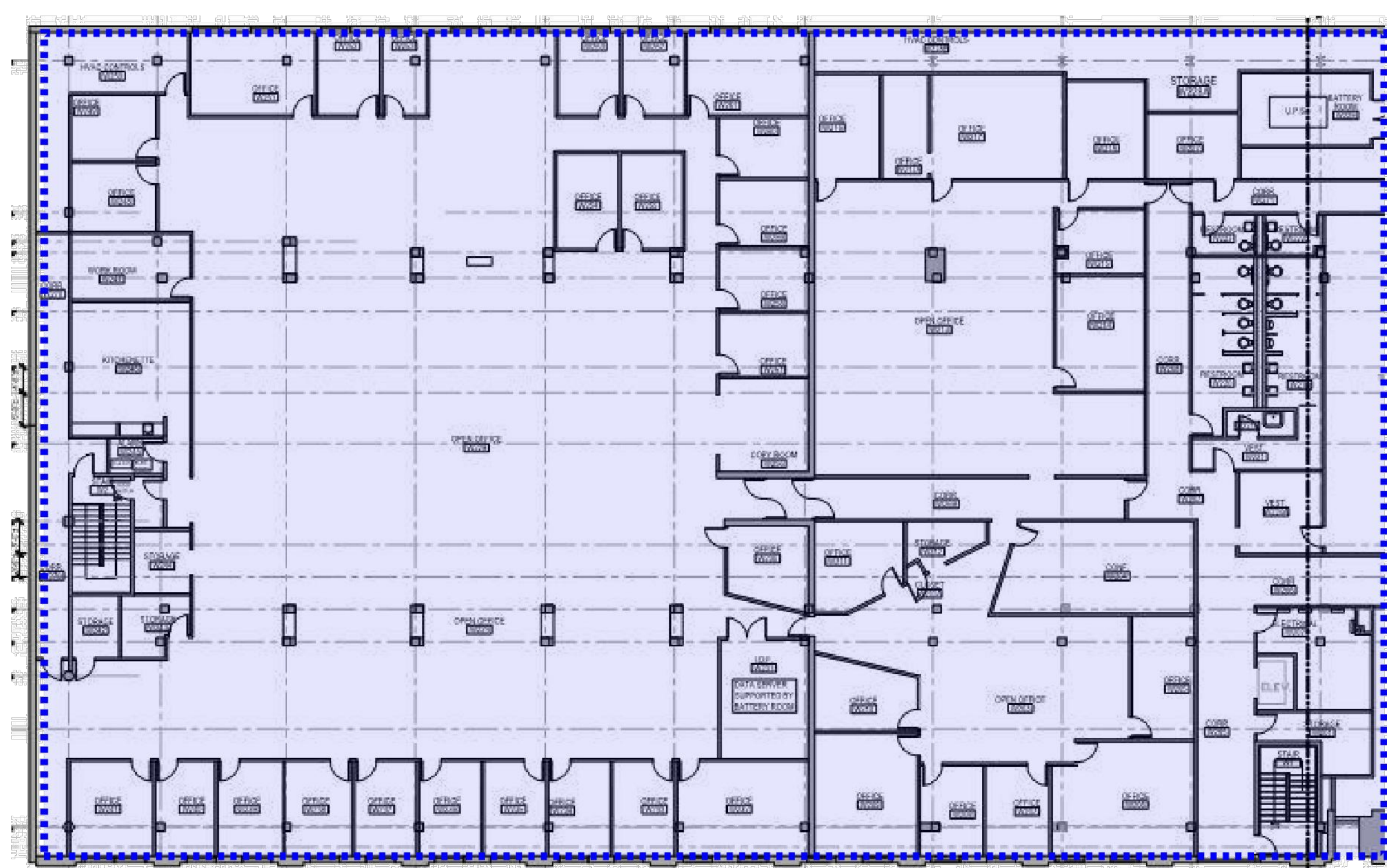
**KEY SITE PLAN**



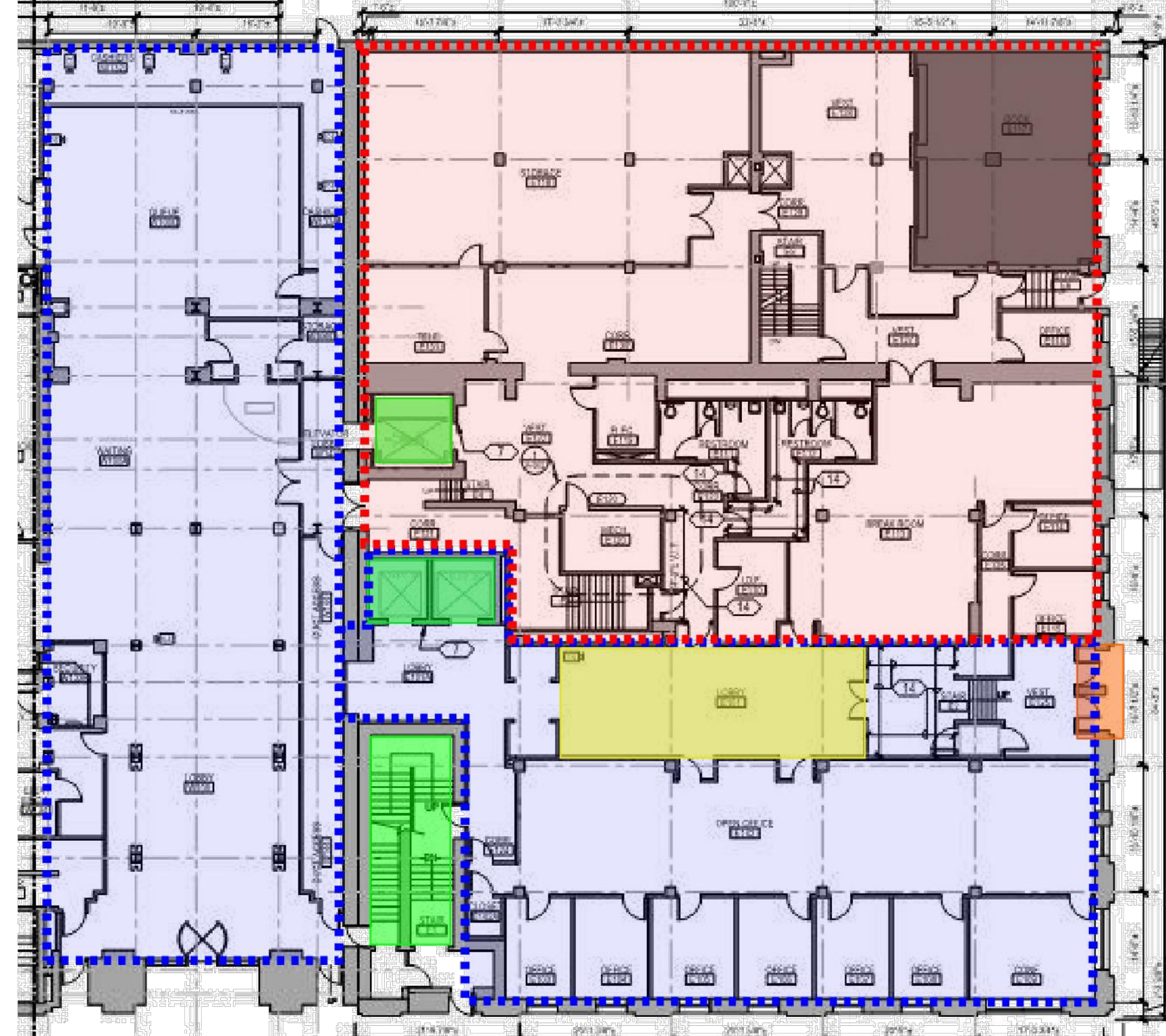
**FIRST FLOOR WEST**



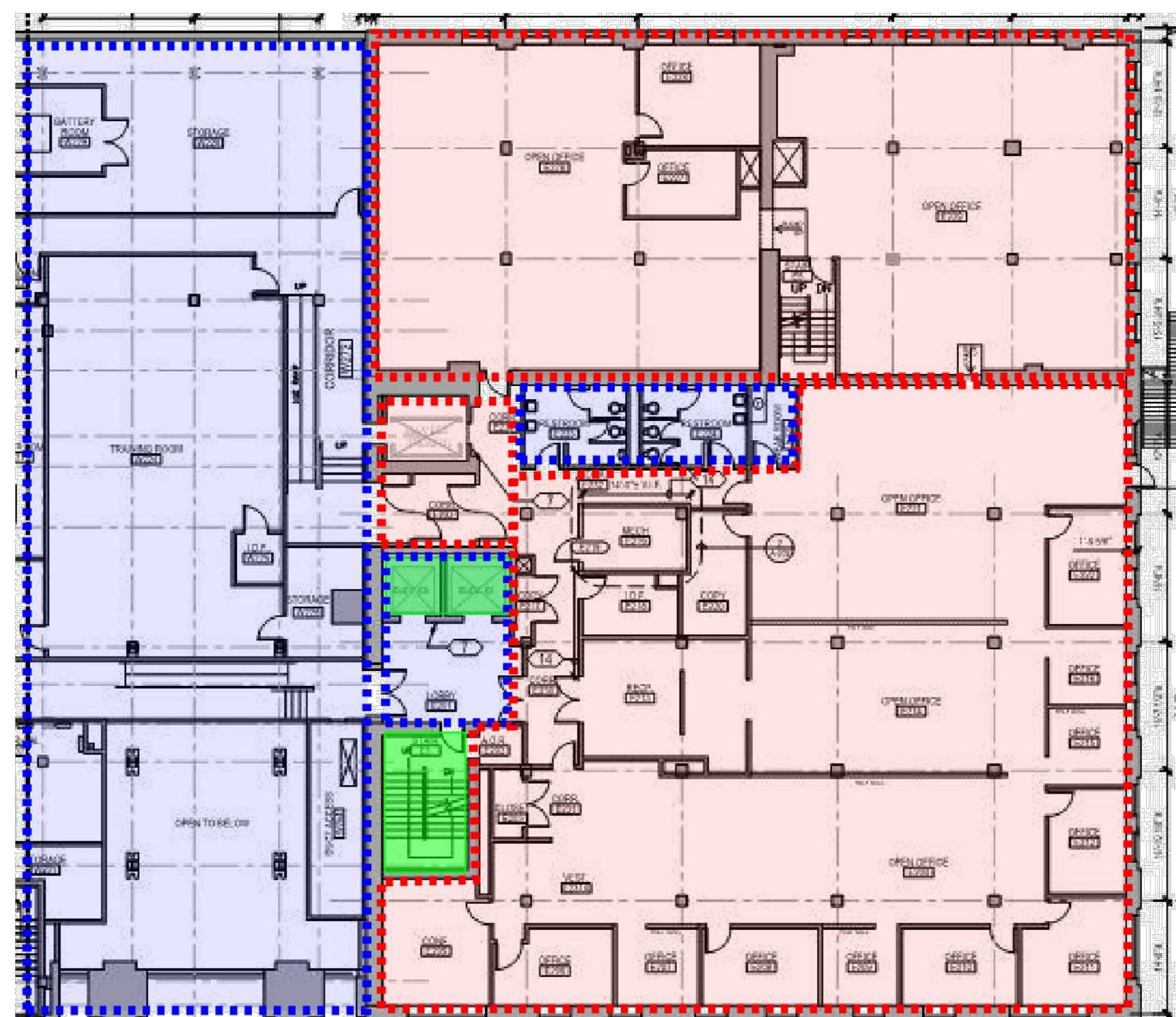
**SECOND FLOOR WEST**



**FIRST FLOOR EAST**



**SECOND FLOOR EAST**



**CENTRAL HEARING FACILITY DIRECTORY AND HOURS OF OPERATION:**  
 1. BASEMENT - USED BY AIS AND TRANSWESTERN ONLY. HOURS OF OPERATION: 7AM-6PM.  
 2. 1ST FLOOR EAST - 740 N. SEDGWICK LOBBY, DOCK, ENTRY/EXIT FOR STAFF, BREAKROOM, CONFERENCE ROOMS. HOURS OF OPERATION: 7AM-6PM.  
 3. 1ST FLOOR WEST - COURTROOMS AND REVENUE. HOURS OF OPERATION: M-F 8:30AM-4:30PM AND SAT 8AM-3PM.  
 4. 2ND FLOOR WEST - OFFICE OF INSPECTOR GENERAL (OIG). HOURS OF OPERATION: 7AM-6PM.  
 5. 3RD FLOOR - LAW OFFICES FOR OIG CITY COLLEGES OF CHICAGO, OIG CHICAGO PARK DISTRICT, AND DEPT. OF BUILDINGS. HOURS OF OPERATION: M-F 7AM-6PM.  
 6. 4TH FLOOR - COMMISSION ON HUMAN RELATIONS. HOURS OF OPERATION: M-F 7AM-6PM.  
 7. 5TH FLOOR - BOARD OF ETHICS. HOURS OF OPERATION: M-F 7AM-6PM.  
 8. 6TH FLOOR - DEPT. OF ADMINISTRATIVE HEARINGS (ADMINISTRATIVE OFFICES). HOURS OF OPERATION: M-F 7AM-6PM.

**WORK RESTRICTIONS:**

1. WORK PERFORMED DURING REGULAR BUSINESS HOURS WILL BE PERMITTED WITH NOISE RESTRICTIONS.  
 2. ALL WALL DEMOLITION FOR THE MECHANICAL ROOMS E120, E219, E323, E420, E516, E617 IS TO BE PERFORMED AFTER REGULAR BUSINESS HOURS, WEEKENDS, OR HOLIDAYS.  
 3. WORK IN OFFICE AREAS PERMITTED DURING REGULAR BUSINESS HOURS ON THE 2ND FLOOR WEST AND 6TH FLOOR IS TO BE PERFORMED IN TWO PHASES: PHASE 1 - OPEN OFFICE AREAS, PHASE 2 - PRIVATE OFFICES. AREAS WILL BE OCCUPIED DURING THIS WORK. CONTRACTOR TO NOT IMPACT THE FACILITY'S DAILY OPERATIONS.  
 4. CONTRACTOR TO PROTECT FURNITURE AND FILES IN OFFICE AREAS FROM ANY DEBRIS.  
 5. DURING THE TIME THAT THE AHU UNIT ON THE 1ST FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR, 5TH FLOOR, AND 6TH FLOOR IS OUT OF SERVICE, CONTRACTOR SHALL PROVIDE TEMPORARY HVAC EQUIPMENT, DUCTING, POWER AS REQUIRED TO DELIVER MINIMUM OF 0.6 CFM/SF TO OCCUPIED OFFICE SPACE WITH 0.2 CFM/SF OUTDOOR AIR. SPACE TEMPERATURE TO BE MAINTAINED BETWEEN 68 DEGREES FAHRENHEIT (PER SECTION 1203 OF THE CBC) AND 80 DEGREES FAHRENHEIT.

**AREAS OF WORK LISTED BELOW DO NOT HAVE ANY WORKING DAYS/HOURS RESTRICTIONS. CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**  
 - FIRST FLOOR WEST - MECHANICAL ROOM  
 - FIRST FLOOR WEST - HEARING ROOMS AND INTERNAL CONFERENCE ROOMS.  
 - FIRST FLOOR WEST - OFFICE W117  
 - FIRST FLOOR EAST - STORAGE E118  
 - FIRST FLOOR EAST - VESTIBULES E122, E127, E128  
 - FIRST FLOOR EAST - CORRIDORS E121, E123, E126, E129, E130.  
 - FIRST FLOOR EAST - TELE. E131  
 - FIRST FLOOR EAST - FREIGHT ELEVATOR  
 - FIRST FLOOR EAST - OFFICES E114, E115, E116  
 - FIRST FLOOR EAST - BREAK ROOM E113  
 - FIRST FLOOR EAST - RESTROOMS E111, E112  
 - FIRST FLOOR EAST - IDF E110  
 - FIRST FLOOR EAST - MECHANICAL ROOM E120  
 - FIRST FLOOR EAST - ELECTRICAL ROOM E119

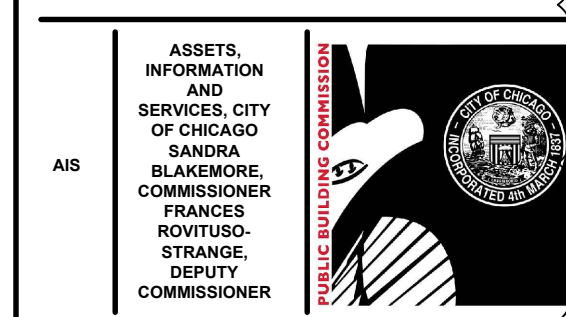
**AREAS OF WORK LISTED BELOW TO BE PERFORMED AFTER REGULAR BUSINESS HOURS (M-F 6PM-6AM, SAT 4PM-6AM, SUN HAS NO RESTRICTIONS). CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**  
 - FIRST FLOOR WEST - CORRIDORS W136, W137, W138.  
 - FIRST FLOOR WEST - SECURITY W138B  
 - FIRST FLOOR WEST - RESTROOM OFFICE W131  
 - FIRST FLOOR WEST - JANITOR'S CLOSET W123  
 - FIRST FLOOR WEST - BREAK ROOM W120  
 - FIRST FLOOR EAST - OPEN OFFICE E102  
 - FIRST FLOOR EAST - OFFICES E103, E104, E105, E106, E107, E108  
 - FIRST FLOOR EAST - CONFERENCE ROOM E109  
 - FIRST FLOOR EAST - CLOSET E102A  
 - FIRST FLOOR EAST - CORRIDOR E124  
 - FIRST FLOOR EAST - LOBBY E101 AND E101A  
 - FIRST FLOOR EAST - VESTIBULE E125

**AREAS OF WORK LISTED BELOW TO BE PERFORMED DURING REGULAR BUSINESS HOURS (M-F 6AM-8AM) AND ALSO AFTER REGULAR BUSINESS HOURS (SAT-SUN HAVE NO RESTRICTIONS). CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**  
 - FIRST FLOOR WEST - CORRIDORS W139, W140, W140A, W141, W141A.

**AREAS OF WORK LISTED BELOW DO NOT HAVE ANY WORKING DAYS/HOURS RESTRICTIONS. CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**  
 - SECOND FLOOR EAST - OPEN OFFICES E204, E214, E221, E226, E229  
 - SECOND FLOOR EAST - OFFICES E206, E207, E208, E209, E210, E211, E212, E215, E216, E222, E227, E228  
 - SECOND FLOOR EAST - CONFERENCE ROOM E205  
 - SECOND FLOOR EAST - VESTIBULE E231A  
 - SECOND FLOOR EAST - CLOSET E203  
 - SECOND FLOOR EAST - A.O.R. E202  
 - SECOND FLOOR EAST - RECEPTION E213  
 - SECOND FLOOR EAST - CORRIDOR E230, E231, E232, E233, E234  
 - SECOND FLOOR EAST - COPY ROOMS E217, E220  
 - SECOND FLOOR EAST - I.D.F. E218  
 - SECOND FLOOR EAST - MECHANICAL E219

**AREAS OF WORK LISTED BELOW TO BE PERFORMED AFTER REGULAR BUSINESS HOURS (M-F 6PM-6AM, SAT-SUN HAVE NO RESTRICTIONS). CONTRACTOR SHALL PROVIDE ITS EXECUTION PLAN FOR REVIEW AND COORDINATION PRIOR TO ANY COMMENCEMENT OF THE WORK:**  
 - SECOND FLOOR WEST - EVERY AREA SHOWN ON SECOND FLOOR WEST PLAN  
 - SECOND FLOOR EAST - DUCT ACCESS W264  
 - SECOND FLOOR EAST - STORAGE W228, W266  
 - SECOND FLOOR EAST - ELECTRICAL W202  
 - SECOND FLOOR EAST - CORRIDOR W266, W271, W272  
 - SECOND FLOOR EAST - I.D.F. W225  
 - SECOND FLOOR EAST - TRAINING ROOM W224  
 - SECOND FLOOR EAST - BATTERY ROOM W229  
 - SECOND FLOOR EAST - RESTROOMS E223, E224  
 - SECOND FLOOR EAST - BREAKROOM E225  
 - SECOND FLOOR EAST - LOBBY E201

- WORKERS ENTRY/EXIT
- 740 N. SEDGWICK LOBBY
- DOCK
- FREIGHT ELEVATOR AND STAIRCASE FOR CONTRACTOR'S USE.
- AREAS OF WORK (DURING REGULAR BUSINESS HOURS)
- AREAS OF WORK (AFTER REGULAR BUSINESS HOURS)
- AREAS OF WORK (ONLY PERMITTED M-F 6AM-8AM)



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Issue	Mark	Description	Date

ADDENDUM NO. 1 12.21.23  
 PBC Project Name: CIP - Central Hearing Facility Roof and MEP Upgrades  
 PBC Contract No: C1606  
 Project No: 04044  
 Title  
**PHASING & LOGISTICS PLAN 2**  
 Sheet











