
**ADDENDUM #1
CLARIFICATION**

June 23, 2023

**CIP - LAKEVIEW HEALTH CENTER
EXTERIOR UPGRADES
2849-61 NORTH CLARK ST.
CHICAGO, ILLINOIS 60657
PBC PROJECT NUMBER 04031**

**PARTNERING WITH
CITY OF CHICAGO DEPARTMENT OF ASSETS, INFORMATION &
SERVICES**

and

PUBLIC BUILDING COMMISSION OF CHICAGO

TO: All Bidders

**SUBJECT: CIP - LAKEVIEW HEALTH CENTER EXTERIOR UPGRADES
BID PACKAGE #1R – ADDENDUM #1**

**NOTICE OF CHANGES, MODIFICATION, OR CLARIFICATIONS
TO CONTRACT DOCUMENTS**

The following changes, modifications, or clarifications are hereby incorporated and made an integral part of the Contract Documents. Unless clearly expressed otherwise by this Addendum, all terms and conditions defined in the original Contract Documents shall continue in full force and effect and shall have the same meaning in this Addendum. Issued Addenda represent responses/clarifications to various inquiries. Contractors shall be responsible for including all associated labor/material costs in its bid. Drawings/specifications corresponding to inquiry responses will be issued with the Issue for Construction Documents, upon issuance of building permit.

Item No. 01: CHANGE TO KEY DATES

None.

Item No. 02: REVISIONS TO – INSTRUCTIONS TO BIDDERS

Copy of Pre Bid Meeting Agenda dated 06/15/23.

Copy of Pre Bid Sign-In-Sheet dated 06/15/23.

Item No. 03: REVISIONS TO – TECHNICAL SPECIFICATIONS

Roof Inspection report dated 10/20/21.

Item No. 04: REVISIONS TO DRAWINGS

Updated Set of drawings dated 06/07/23. (Title blocks updated only).

Item No. 05: REQUESTS FOR INFORMATION

1. Is Henry Bros providing the sidewalk canopy, scaffold with the concrete barrier, street permit, building permit, and covering the street lamp electric line per the logistics plan provided? **Yes to pedestrian canopy, street permit, building permit. Pages 7 & 11 from the Instructions to Bidders, describes what the Construction Manager and Owner are providing. No concrete barriers are being provided.**
2. Can pedestrian scaffold be used for Staging? **Yes, without overloading the system.**

3. Can the existing roofing report be forwarded so bidders can provide an accurate estimated time frame for the roof removal? **Roofing report is attached for reference.**
4. How is flashing done at existing metal behind parapet wall on Clark St? **Please see Detail 14 on updated Sheet A-105.**



Pre-Bid Meeting Agenda 06/15/2023

for

CIP - LAKEVIEW HEALTH CENTER – EXTERIOR UPGRADES
2849-61 NORTH CLARK ST.
CHICAGO, ILLINOIS 60657

CITY OF CHICAGO DEPARTMENT OF ASSETS, INFORMATION & SERVICES
and
PUBLIC BUILDING COMMISSION OF CHICAGO
PBC PROJECT NUMBER 04031

Introductions

Project Identification: CIP - LAKEVIEW HEALTH CENTER – EXTERIOR UPGRADES

Project Location: Lakeview Health Center
2849-61 North Clark St.
Chicago, Il., 60657

Owner's Representative: Mr. Desmond Truite, the Public Building Commission of Chicago, Senior Project Manager, 50 West Washington St., Room 200, Chicago, IL. 60602.

Architect: HOH ARCHITECTS – ENGINEERS, 623 Cooper Court, Schaumburg, IL 60173. 312/346-8131 Representative: Johnny Bueno Abdala.

Construction Manager: Henry Bros. Construction Company, 9821 South 78th Avenue, Hickory Hills, IL 60457. Phone: 708-430-5400. Representative: John Tondelli (jtondelli@henrybros.com).

Project Description and Scope Overview

Henry Bros. Construction Company will receive uploaded bids on the following bid package for:

CIP - LAKEVIEW HEALTH CENTER – EXTERIOR UPGRADES

Refer to "Construction Management Instructions to Bidders and Scopes of Work" package dated June 6, 2023 for additional information.

Bid Due Date/Forms and Instructions

Bid deadline and bid opening – Bids are due Thursday, June 29, 2023, by 10:00 a.m. and a Public Bid Opening will be livestreamed on YouTube. <https://www.youtube.com/channel/UCpGZK8ZaHIc11hmby0SI43A/>. Bids shall be submitted electronically directly through the BHFX Plan Room at www.BHFX.net. Bidders must be logged in to submit their bids. Once logged in, simply click the "Submit Bid" Tab to drag and drop ALL bid documents. Everything must be loaded into the Drag and Drop box before clicking on "Submit", including bid bonds. For questions regarding bid submission, please contact BHFX at 847-593-3161 x. 206. Please note the file should be labeled "Bid Package # XX - Description of Work".

Each Bid must be accompanied by a copy of the Bid Guarantee, which shall be not less than 10 percent of the amount of the Base Bid, and at the option of the Bidder may be a Certified Check, Bank Draft, or a Bid Bond on A.I.A. Form A-310, secured by a Guarantee or Surety Company. No Bid will be considered unless it is so guaranteed. Certified Check must be made payable to the order of Henry Brothers Construction Company. Cash deposits will not be accepted.

Performance and Labor and Material Payment Bond and Certificate of Insurance will be required from the successful bidder.

Each successful Bidder will have a direct contract with the Henry Brothers Construction Company. Bidders can bid more than one trade item, however, each bid must be submitted individually. If more than one item is being bid, one bid bond can be submitted covering the **total** amount of the various items.

Bidding documents (including addendums) are available at BHFX Imaging, 30 Butterfield Rd., Warrenville, IL 60555 (www.BHFX.net or call Sarah Jacobs at 847-593-3161, Option 2). Paper copies are available for purchase at the cost of the bidders.

Summary of Bid Documents

Drawings included in this bid package are identified/listed on HOH Architects and Engineers drawings, dated June 6, 2023.

Project Manual and Specifications included in this bid package are identified/listed on HOH Architects and Engineers, dated June 6, 2023.

Henry Bros. Construction Company Construction Management Instructions to Bidders and Scopes of Work manual dated June 6, 2023.

Bid Package Schedule Review

Bids are due on Thursday, June 29, 2023 until 10:00 am. Bidding contracts will be thoroughly scoped out by both the Henry Brothers Construction Company and the Public Building Commission of Chicago. The lowest and most responsible bidders will be recommended for approval.

The schedule goals for this project is to get submittals in and products released asap. Mobilization to the site in September to start roofing work upon availability of materials.

Project Specific Notes

1. Provide adequate full-time on site supervision for work being performed.
2. All contractors must submit a staffing plan with resumes of key supervisory personnel. Personnel may be required to be removed and replaced immediately with a competent person at any time at the sole discretion of the Construction Manager and/or Client.
3. The existing building is currently occupied. Please refer to the logistics plan (Exhibit L) for routing of traffic to and from the site.
4. All RFI's are to be submitted in writing. The last day to submit a RFI is Thursday, June 20, 2023, 10:00 am.
5. Provide all necessary appurtenances to comply with OSHA rules and regulations.
6. Shop drawings and submittals are required to be provided per the timelines established in the scopes of work. The submittals are to be complete and in strict accordance with the contract documents.
7. Each contractor to provide their own layout for bid and awarded portion of their own work from control points established by the Owner. The control points will consist of property corners and a bench mark on site.
8. Contractor is to clean and maintain streets and sidewalks free of all mud and debris caused by their own field operation or deliveries to the satisfaction of both the Construction Manager and governing authorities on a daily basis.
9. Any water needed for construction shall be provided by each contractor necessary to complete all project work.
10. Demolition is noted per the individual scopes of work.
11. Review participation and residency requirements outlined in the Instructions to Bidders.
12. The Bid Forms are included in the Instructions to Bidders. Please verify all forms noted on the bidders checklist are included. Only upload the bid forms when bidding. Please fill out all blank lines on bid forms.
13. The construction manager will set up a pedestrian scaffold along Clark St, with a stair tower.
14. Schedule is based on working east to west, starting with masonry demolition.
15. Roofers are to remove scuppers and reinstall. Temporary scupper downspouts are to be in place during renovation.
16. Prior to commencement of any on-site work all contractors will be required to attend a job site preconstruction meeting with the project manager and site superintendent. In addition, all contractors are required to submit the following:
 - Contractors certificate of insurance as required in the contract documents
 - Contractors project specific safety plan and manual
 - Contractors project specific material safety data sheets for all materials

Bid Packages:

Bid Package # 1R – Roofing



**CIP - LAKEVIEW HEALTH CENTER
EXTERIOR UPGRADES
June 15, 2023 - Pre-Bid Meeting**

Name	Company	Bid Package Bidding	Phone	Email
JUAN RIVERA	METALMASTER	ROOF	815-790-6147	ESTIMATING@METALMASTER.US
John Tondelli	Henry Bros.	CM	708/470-5400	jtondelli@henrybros.com
Patricia Montenegro	PBC	—	—	patricia.montenegro@cityofchicago.org
Brian Radcliffe	Taza Construction	ROOF	312-505-3854	Brian@tilesinstyle.com
MIKE RADJENOVIC	HOH GROUP	—	—	MRADJENOVIC@HOHGROUP.COM
Patrice Doyle	PBC		312 744 9277	Patrice.Doyle@gmail.com
Desmond Truite	PBC		773 313 9811 / 1105	@ desmond.truite@cityofchicago



Management Report



The HOH Group, Inc.
Lakeview Health Center
2849 North Clark Street, Chicago, IL

Prepared For
The HOH Group, Inc.



Powered By



Site Overview



Total Sections: 3
Total Sq Ft: 15,792

Map	Name	Sq Ft	Est Install	Grade
1	Main Roof	10,178	1999	D
2	Mansard Roof	477	1999	D
3	Barrel Roof	5,137		Not Included

Lakeview Health Center
2849 North Clark Street
Chicago, IL 60657

Composition

Section: Main Roof
Size: 10178
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



Test Cut 1
Wood Deck
Red Rosin
Base Sheet
2-Ply Asphalt Felt Vapor Retarder
Polyiso Insulation
Perlite Coverboard
Granulated Modified Bitumen Roof System
Total 3" Thickness

Observations

Section: Main Roof
Size: 10178
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



Deficiencies

Section: Main Roof
Size: 10178
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



Modified Bitumen - Flashing- The flashing lap open (Emergency)

Quantity: 1 EA

Deficiency:

An open flashing lap will result in a roof leak and possible insulation damage.

Corrective Action:

We will clean and seal the open lap to ensure water tightness.



Modified Bitumen - Flashing- Open flashing corner (Emergency)

Quantity: 1 EA

Deficiency:

The membrane flashing corner is open.

Corrective Action:

The corner will be repaired to make the flashing watertight.

Deficiencies (continued)

Section: Main Roof
Size: 10178
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



General - Masonry- Masonry defective (Emergency)

Quantity: 1 EA

Deficiency:

The masonry on the parapet walls are deteriorated and need to be repaired.

Corrective Action:

The masonry should be repaired.



Sheet Metal - Caulk- Caulking failure (Emergency)

Quantity: 1 LF

Deficiency:

The caulking has failed.

Corrective Action:

New caulking will be installed .

Deficiencies (continued)

Section: Main Roof
Size: 10178
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



Sheet Metal - Expansion Joint Open (Emergency)

Quantity: 1 LF

Deficiency:

Sheet metal cap was not properly designed as an expansion joint and is deformed.

Corrective Action:

Install a new sheet metal expansion joint cap.



Modified Bitumen - Penetration- Plumbing vent lead flashing base (Emergency)

Quantity: 1 EA

Deficiency:

The base of the lead flashing is open.

Corrective Action:

The base of the lead flashing will be sealed with roof cement.

Deficiencies (continued)

Section: Main Roof
Size: 10178
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



Modified Bitumen - Walk pads missing (Emergency)

Quantity: 1 LF

Deficiency:

Walkpad are needed to protect the roof membrane.

Corrective Action:

We will install new walkpads.



Modified Bitumen - Loose Debris (Emergency)

Quantity: 1 EA

Deficiency:

Loose debris has a high probability of blowing around on the roof and causing damage to the waterproofing membrane.

Corrective Action:

Remove loose debris from roof area.

Deficiencies (continued)

Section: Main Roof
Size: 10178
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



Modified Bitumen - Membrane- Puncture or Tear in Membrane (Emergency)

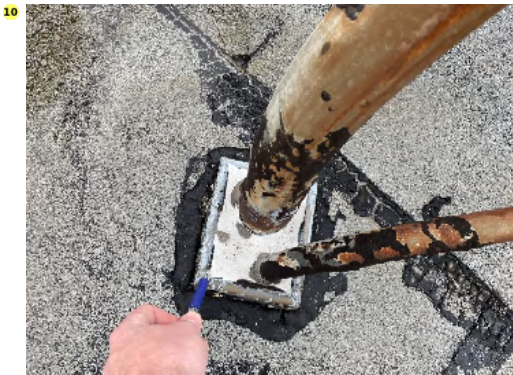
Quantity: 1 EA

Deficiency:

A puncture or tear has been discovered in the roof membrane.

Corrective Action:

The area surrounding the deficiency will be cleaned. A proper repair will be performed using compatible materials for the roof membrane type.



Modified Bitumen - Penetration- Pitch Pan (Emergency)

Quantity: 1 EA

Deficiency:

The pitch pan around the pipe penetration needs to be refilled.

Corrective Action:

The pitch pan will be refilled to prevent water leakage.

Deficiencies (continued)

Section: Main Roof
Size: 10178
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



Modified Bitumen - Membrane- Ponding (Emergency)

Quantity: 1 LF

Deficiency:

Ponding of water on the roof.

Corrective Action:

Ponding will lead to the premature failure of the roof membrane.



General - Leaking Area (Emergency)

Quantity: 1

Deficiency:

The roof is leaking in this area.

Corrective Action:

The roof will be inspected in this area and deficiencies repaired as needed.

Summary

Section: Main Roof
 Size: 10178
 Overall Grade: D

Inspection Date: 10/20/2021
 Inspector: David Marcinkowski



Condition Summary

Membrane: D
 Flashings: D
 Sheet Metal: C

Overall: D

Overall Grade

A = 10 Years or more of service life remaining
 B = 8-10 Years of service life remaining
 C = 5-7 Years of service life remaining
 D = 2-4 Years of service life remaining
 F = Less than 1 Year of service life remaining

Estimated Replacement: 2023

Recommendations

The existing roof is reaching the end of its serviceable life. The lack of tapered insulation has led to ponding and the premature deterioration of the roof membrane. Numerous leaks have been reported inside. Flashings are beginning to open, even those that have previously been repaired. Satellite imagery was unable to verify when the last roof was installed. A-1 recommends a complete tear-off and replacement.

Lakeview Health Center
2849 North Clark Street
Chicago, IL 60657

Composition

Section: Mansard Roof
Size: 477
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



No Test Cut Performed
Wood Deck (suspected)

Lakeview Health Center
2849 North Clark Street
Chicago, IL 60657

Observations

Section: Mansard Roof
Size: 477
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



Deficiencies

Section: Mansard Roof
Size: 477
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



Shingles - Shingles are damaged (Emergency)

Quantity: 1 LF

Deficiency:

Shingles showing signs of visible damage

Corrective Action:

Shingles will be removed and replaced with new,



Shingles - Shingles are worn (Emergency)

Quantity: 1 LF

Deficiency:

Shingles are showing signs of weathering and age.

Corrective Action:

Shingles will be removed and replaced with new.

Summary

Section: Mansard Roof
Size: 477
Overall Grade: D

Inspection Date: 10/20/2021
Inspector: David Marcinkowski



Condition Summary

Membrane: D
Flashings: C
Sheet Metal: C

Overall: D

Overall Grade

- A = 10 Years or more of service life remaining
- B = 8-10 Years of service life remaining
- C = 5-7 Years of service life remaining
- D = 2-4 Years of service life remaining
- F = Less than 1 Year of service life remaining

Estimated Replacement: 2023

Recommendations

The existing roof is reaching the end of its serviceable life. Shingles are becoming worn and beginning to cup. Significant shingle damage is apparent in one area. The roof could only be overserved from street level at the time of inspections. Satellite imagery was unable to verify when the last roof was installed. A-1 recommends a complete tear-off and replacement. Please note that the street lights may have to be moved for this work to take place.

CIP - LAKEVIEW HEALTH CENTER - EXTERIOR UPGRADES

2849-61 NORTH CLARK ST.
CHICAGO, ILLINOIS 60657
PBC PROJECT # 04031

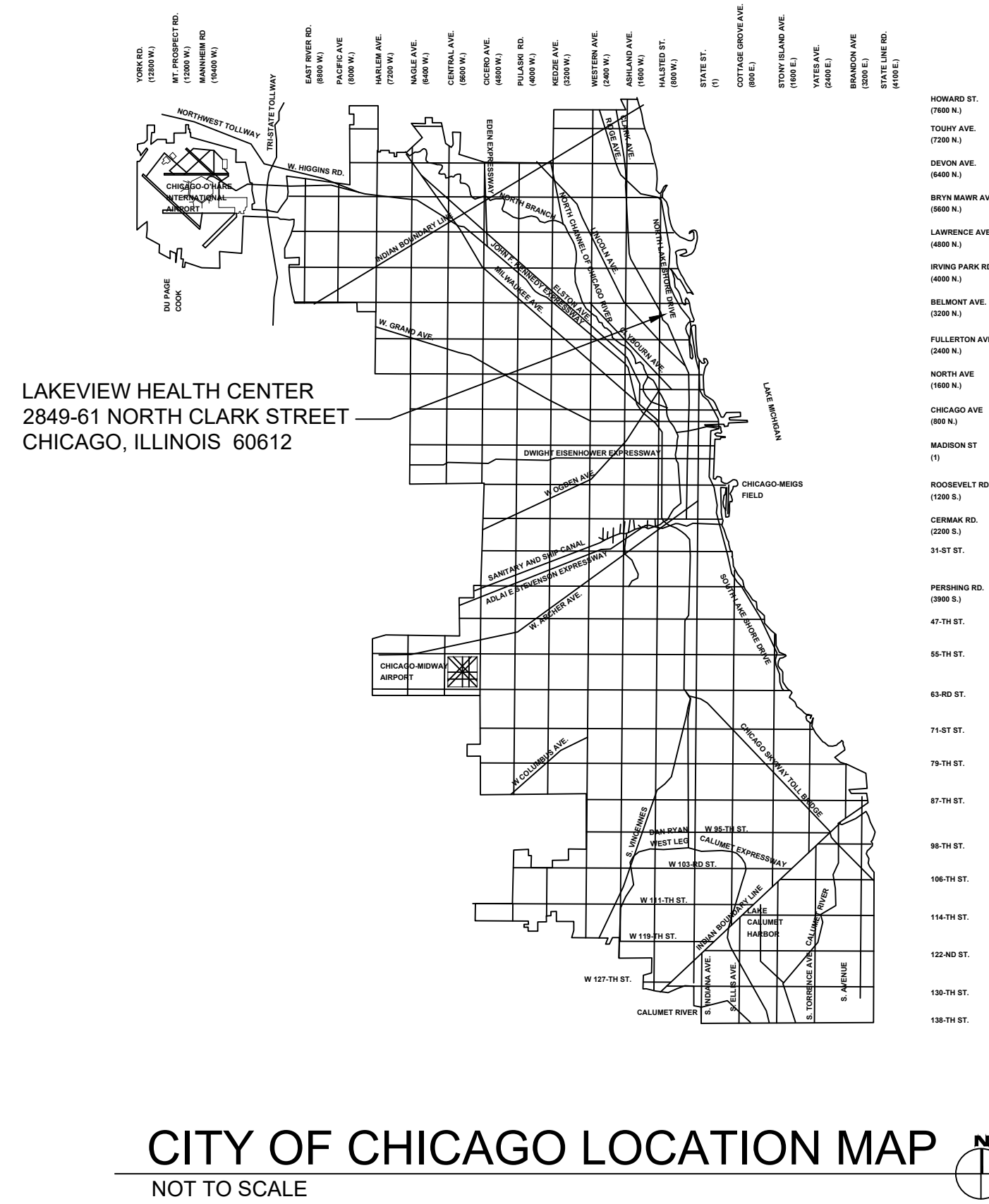
**ISSUE FOR BID
ADDENDUM #1
06.23.2023**



CITY OF CHICAGO
BRANDON JOHNSON, MAYOR

PUBLIC BUILDING COMMISSION OF CHICAGO
CARINA E. SÁNCHEZ, EXECUTIVE DIRECTOR

ASSETS, INFORMATION & SERVICES, CITY OF CHICAGO
SANDRA BLAKEMORE, COMMISSIONER



ARCHITECT OF RECORD

Name : C3D ARCHITECTS LLC.
Address : 1578 Maple ST.
Des Plaines, IL 60018
P: 847.797.8422 Office
cnicolaie@c3darchitects.com

MEP/FP ENGINEER

Name : HOH
Address : 623 Cooper CT
Schaumburg, IL 60173
P: 312.346.8131
F: 000.000.0000

ROOFING CONSULTANTS

ASSESSMENT:
Name : A-1 Roofing Company/T. Pritchard
Address : 1425 Chase Ave.
Elk Grove, IL 60007
P: 847.204.9113 / 847.952.3600
F: 000.000.0000

DESIGN REVIEW & SITE VISITS:

Name : IRCA
Address : 4302 G Crystal Lake Road
McHenry, IL 60050
P: 815.385.6560 x18
F: 815.385.3581

ENVIRONMENTAL ENGINEER

Name : Environmental Design International Inc.
Address : 33 W. Monroe St. Suite 1825
Chicago, IL 60603
P: 312.345.1400
F: 000.000.0000

DOOR / SECURITY CONSULTANT

Name : ASSA ABLOY / Dewain Peterson
Address : 354 Eagles Landing DR
Manteno, IL 60950
P: 630.338.5610
F: 000.000.0000



SITE LOCATION PLAN
SCALE: 1" = 20'-0"

ISSUE FOR BID



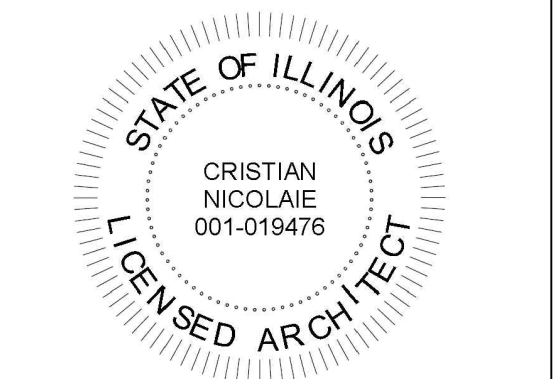
**CIP
- LAKEVIEW HEALTH CENTER -
EXTERIOR UPGRADES**
2849-61 NORTH CLARK ST.
CHICAGO, IL 60657
ASSETS, INFORMATION AND SERVICES
CITY OF CHICAGO, COMMISSIONER SANDRA BLAKEMORE

Architect / Engineer of Record:
THE HOH GROUP INC.



623 COOPER COURT
SHAUMBURG, ILLINOIS 60173
WWW.HOHHGROUP.COM

HOH Project No.: 5422
DRAWN BY: WU, VS, WS, JC
CHECKED BY: JBA, MF
QA/QC: PL, NK, AS



Mark	Description	Date
SD	SCHEMATIC DESIGN	11-30-21
DD	DESIGN DEVELOPMENT	01-06-22
CD	80% CONST. DOCUMENTS	01-26-22
CD	UPDATED 60% CD	02-28-22
CD	80% UPDATED	03-10-22
CD	90% CONST. DOCUMENTS	04-08-22
CD	90% CD PERMIT SET	05-06-22
CD	90% CD FINAL PERMIT SET	05-20-22
CD	90% CD FINAL BID SET	08-22-22
CD	90% CD BID SET REV1	10-10-22
CD	ENVIRONMENTAL REVIEW	10-20-22
CD	90% CD BID SET REV2	01-16-23
IFB	ISSUE FOR BID	06-07-23
IFB	ADDENDUM 1	06-23-23

THIS IS TO CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE ARE IN COMPLIANCE WITH THE CODES & ORDINANCES OF THE CITY OF CHICAGO, IL.

DATE: 06.23.2023

LICENSE EXPIRES:



PBC Project Name: LAKEVIEW HEALTH CENTER
PBC Contract No.: 04031
AIS Project No.: 2021-F326-REN

Title

COVER SHEET

Sheet
A-000

CIP - LAKEVIEW HEALTH CENTER - EXTERIOR UPGRADES

GENERAL NOTES

1. WORK, MATERIALS AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.
2. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ITEMS, MATERIALS AND INSTALLATION OF SAME ARE PART OF THE CONTRACT AS DEFINED BY THE CONTRACT DOCUMENTS. THE CONTRACTORS SHALL PROVIDE AND INSTALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK DEPICTED OR SPECIFIED.
3. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE DESIGNER PRIOR TO PROCEEDING WITH AFFECTED WORK.
4. FIRE-RATED ASSEMBLIES SHALL BE INSTALLED, LABELED, AND INSPECTED IN ACCORDANCE WITH THE APPLICABLE CODES WHERE APPLICABLE. THIS INCLUDES FIRE DAMPERS OR FIRE DOORS PROVIDED WHERE AIR DUCTS OR OPENINGS PENETRATE FIRE-RATED SURFACES. PENETRATIONS OF RATED FIRE-RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES.
5. PENETRATIONS THROUGH SURFACES SHALL BE SEALED FOR PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS WHERE APPLICABLE.
6. CONTRACTOR SOLELY RESPONSIBLE FOR COORDINATION AMONG VARIOUS SUBCONTRACTORS.
7. IN THE EVENT OF DISCREPANCIES BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE MORE COSTLY OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT UNLESS OTHERWISE STATED IN WRITING.
8. PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS, WHERE REQUIRED.
9. KEEP PIPING AS CLOSE TO WALLS AS POSSIBLE UNLESS NOTED OTHERWISE.
10. NO CONTRACTORS SHALL CLOSE OR OBSTRUCT STREETS, DOCKS, ALLEYS OR WALKS. DEBRIS TO BE PLACED OR STORED IN STREETS, ALLEYS, OR WALKS. DEBRIS TO BE REMOVED COMPLETELY FROM PREMISES.
11. CONTRACTORS SHALL PROVIDE AND ARE SOLELY RESPONSIBLE AND LIABLE FOR PUBLIC AND EMPLOYEE PROTECTIONS AS NECESSARY AND IS REQUIRED BY THE CODES, INCLUDING EXTERIOR, INTERIOR PEDESTRIAN AND TRAFFIC BARRIERS, EXISTING EXIT CORRIDORS, PATHS OF EXITS, STAIRWAYS, OR EXIT SIGNAGE, MUST HAVE CLEAR MEANS OF EGRESS DURING PHASES OF CONSTRUCTION.
12. CONTRACTORS WISHING TO WORK IN THE BUILDING OR ON THE BUILDING PROPERTY SHALL BE REQUIRED TO PRESENT THE PROPER CERTIFICATES OF INSURANCE TO THE OFFICE OF THE CONTRACTOR. CONTRACTORS ARE REQUIRED TO BE LICENSED WITH THE LOCAL JURISDICTION. LICENSES AND BONDING ARE TO BE INCLUDED IN THE BID PER THE REQUIREMENTS IN THE SPECIFICATIONS.
13. DIMENSIONS NOTED ON THE ARCHITECTURAL FLOOR PLAN REGARDING DETAILS AND PARTITION THICKNESSES ARE NOMINAL DIMENSIONS. DETAILS AND SECTIONS SHOULD BE REFERRED TO FOR THE EXACT DIMENSION.
14. FOR DOOR & SECURITY SCOPE OF WORK, SEE DOOR & HARDWARE SCHEDULE, SHEET A-600. WHEN 75% OF CONSTRUCTION IS COMPLETED AND BEFORE ANY DRYWALL AND/OR FINISH SURFACES ARE APPLIED, CONTRACTOR SHALL SCHEDULE AN ADA INSPECTION WITH THE BUILDING INSPECTOR FOR A WALK-THROUGH OF THIS FACILITY, TYP. CONTRACTOR TO CONFIRM ALL ACCESSIBILITY REQUIREMENTS PRIOR & DURING CONSTRUCTION.
15. FOR ELECTRICAL WORK, SEE ELECTRICAL DWGS. & SPECS, TYP.
16. CONNECT ROOF DRAIN PIPES TO STORM DRAINAGE, TYP.
17. ALL WORK TO COMPLY WITH ADA, 28 CFR PART 36, SUBPART C.

ARCHITECTURAL NOTES

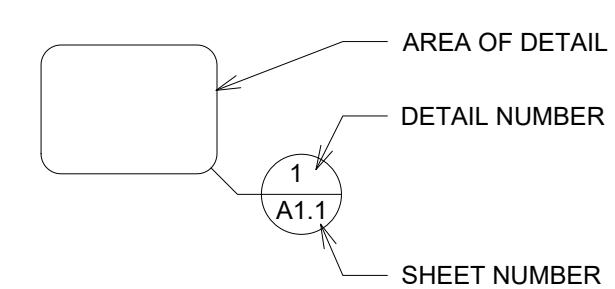
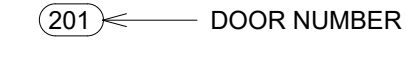
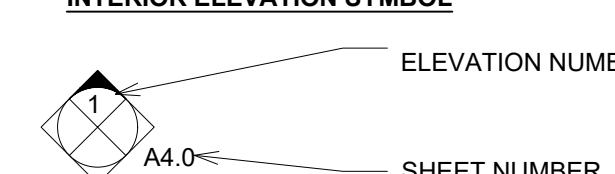
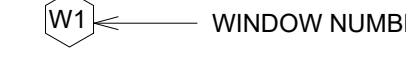
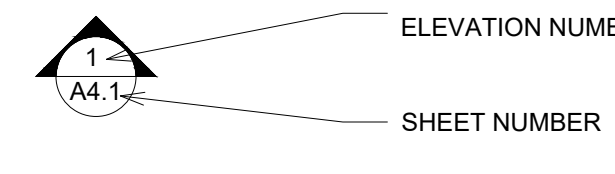
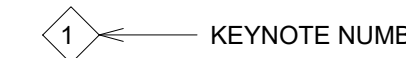
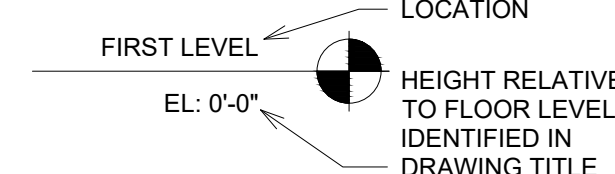
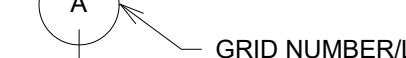
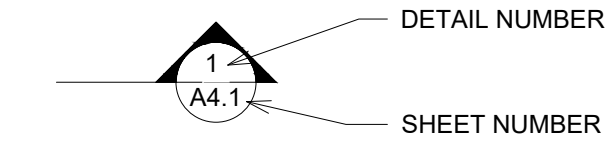

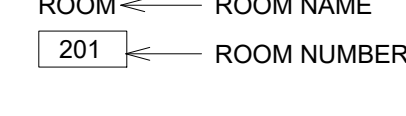
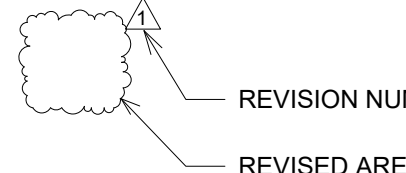

1. WORK, MATERIALS AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.
2. ALL AREAS AFFECTED BY DEMOLITION TO BE PATCHED, REPAIRED, AND LEVELED TO MATCH EXISTING ADJACENT SURFACE (MATCH EXISTING CONDITION AT DOOR JAMBS) VERIFY IN FIELD.
3. THE CONSTRUCTION DOCUMENTS INDICATE THE OVERALL AREAS OF WORK. INCIDENTAL WORK ASSOCIATED BUT NOT SHOWN ON THE CONSTRUCTION DOCUMENTS MAY BE REQUIRED OUTSIDE OF THE PROJECT AREAS. THIS WORK IS PART OF THE CONSTRUCTION CONTRACT AND IS TO BE COMPLETED IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
4. ALL ITEMS INDICATED TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DAMAGED ITEMS ARE TO BE PATCHED AND REPAIRED OR REPLACED AS REQUIRED TO MATCH ADJACENT SURFACE, AT NO ADDITIONAL COST TO THE OWNER.
5. WHEN THE REMOVAL OF EXISTING SURFACE MATERIAL IS REQUIRED TO COMPLETE CONTRACT WORK AND A NEW FINISH IS NOT SCHEDULED, PATCH/REPAIR AND PRIME THE AFFECTED SURFACE TO RECEIVE NEW FINISH.
6. NEW SLEEVES AND OPENINGS IN THE EXISTING FLOOR, WALL & CEILING CONSTRUCTION ARE TO BE SEALED WITH FIRE SAFETY MATERIAL.
7. ALL MISCELLANEOUS ITEMS (CHALKBOARDS, PENCIL SHARPENERS, ETC.) THAT INTERFERE WITH THE COMPLETION OF THE CONTRACT WORK BUT ARE NOT SHOWN TO BE REMOVED ARE TO BE REMOVED, STORED, AND REINSTALLED, AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THAT ITEMS CANNOT BE REINSTALLED IN ITS ORIGINAL LOCATION COORDINATE NEW LOCATION WITH ARCHITECT/OWNER.
8. UNLESS NOTED OTHERWISE, CONTRACTOR TO REMOVE EXISTING FLOORING AND BASE AS REQUIRED TO ACCOMMODATE DOOR ASSEMBLIES. PATCH/REPAIR AS NECESSARY TO MATCH ADJACENT SURFACES.
9. REFER TO MEPF DRAWINGS FOR DEMOLITION / REMOVAL / RELOCATION AND INSTALLATION OF FIXTURES AND DEVICES.
10. REFER TO SHEET A-003 FOR TYPICAL FIXTURE MOUNTING HEIGHTS AND ADA COMPLIANT PLANS, ELEVATIONS AND DETAILS.
11. UPON REMOVAL OF DOORS, SHORE OPENINGS AS REQUIRED. SECURE ALL NEW FRAMES PER MANUFACTURER RECOMMENDATIONS. PROVIDE LINTELS AS REQUIRED PER CONSTRUCTION DOCUMENTS.
12. ON DOORS & FRAMES THAT ARE TO BE REMOVED, RETURN ALL DOOR HARDWARE TO OWNER PRIOR TO DISPOSAL OF DOORS & FRAMES.
13. ALL ELECTRICAL DEVICES AND ASSEMBLIES BEING AFFECTED BY DEMOLITION OF DOORS SHALL BE REINSTALLED AND RECONNECTED AT NO ADDITIONAL COST TO THE OWNER.
14. COORDINATE WITH ABATEMENT CONTRACTOR FOR AREAS CALLED FOR DEMOLITION CONTAINING OR SUSPECTED TO CONTAIN ASBESTOS AND/OR OTHER HAZARDOUS MATERIALS.

ENVIRONMENTAL NOTE:		
REFER TO ENVIRONMENTAL REPORTS LISTED BELOW (PREPARED BY ENVIRONMENTAL DESIGN INTERNATIONAL INC.) BEFORE STARTING WORK. CONFIRM ALL ENVIRONMENTAL REPORT RECOMMENDATIONS ARE COMPLIED WITH IN THE EXECUTION OF THIS PROJECT.		
1. ASBESTOS CONTAINING MATERIAL SURVEY:	5-10-22	
2. LEAD BASED PAINT SURVEY:	5-16-22	
3. HAZARDOUS MATERIAL SURVEY:	5-4-22	

ABBREVIATIONS

ACCESS.	ACCESSIBLE	MSDFP	MEDIUM DENSITY SPRAYED FIREPROOFING
ACI	AMERICAN CONCRETE INSTITUTE	MDF	MEDIUM DENSITY FIBERBOARD
ACQUST.	ACOUSTICAL	MIL	MILLIMETERS
ADA	AMERICANS WITH DISABILITIES ACT	MIN.	MINIMUM
A.F.F.	ABOVE FINISHED FLOOR	MISC.	MISCELLANEOUS
ALT.	ALTERNATE	MHO	MAGNETIC HOLD OPEN
ALUM./AL.	ALUMINUM	M.O.	MASONRY OPENING
APPROX.	APPROXIMATE	NEC.	NECESSARY
ARCH.	ARCHITECTURAL	N.I.C.	NOT IN CONTRACT
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	NO.	NUMBER
@	AT	NTS	NOT TO SCALE
AV	AUDIO VISUAL	O.C.	ON CENTER
BD.	BOARD	OD.	OUTSIDE DIAMETER
BLDG.	BUILDING	OFCl	OWNER FURNISHED CONTRACTOR INSTALLED
BM	BEAM	OFOW	OWNER FURNISHED OWNER INSTALLED
B/O	BOTTOM OF	ORD	OVERFLOW ROOF DRAIN
BRK	BREAK	P.B.	PIPE BOLLARD
CAB.	CABINET	PERS.	PERSON
C.C.	CENTER TO CENTER	PL	PLATE
CL	CENTERLINE	PL	PLASTIC LAMINATE
CJ	CONTROL JOINT	P.LAM.	PLYWOOD
CMU	CONCRETE MASONRY UNIT	PP.	DOOR ACTUATOR PUSH PLATE
COL	COLUMN	PSF	POUNDS PER SQUARE FEET
CLG.	CEILING	PSI	POUNDS PER SQUARE INCH
CLR.	CLEAR	PT/PTD	PAINT/PAINTED
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONT.	CONTINUOUS	RAD.	RADIUS
CONTR.	CONTRACTOR	REFL.	REFLECTED CEILING PLAN
CORR.	CORRIDOR	REFL.	REFLECTING/REFLECTED
CPT	CARPET	RESTRM.	RESTROOM
CR.	ACCESS CARD READER	R.O.	ROUGH OPENING
CT.	CERAMIC TILE	RTU	ROOF TOP UNIT
DEMO	DEMOLITION	SAFB	SOUND ATTENUATION FIBER BATT INSULATION
DIA	DIAMETER	SC	SEALED CONCRETE
DIMS.	DIMENSIONS	SCHD./	SCHEDULE
DN.	DOWN	SCHED.	SCHEDULE
DR	DOOR	SD	SCHEMATIC DESIGN
DS	DOWN SPOUT	SF	SQUARE FEET
DWGS.	DRAWINGS	SGFT.	STRUCTURAL GLAZED FACING TILE
EA.	EACH	SHT.	SHEET
EIBS	EXTERIOR INSULATED FINISH SYSTEM	SIM.	SIMILAR
EL.	ELEVATION	S.J.	STEEL JOINT INSTITUTE
ELEC.	ELECTRICAL	S.M.	SHEET METAL
ELEV.	ELEVATION/ELEVATOR	SPA.	SPACES
EJ	EXPANSION JOINT	SPEC.	SPECIFICATIONS
EQ.	EQUAL	ST	STONE TILE
EQUIP.	EQUIPMENT	STC	SOUND CLASS TRANSMISSION
EWV	ELECTRIC WATER COOLER	STB	STONE TILE BASE
EXP	EXPANSION	STL	STEEL
EXT	EXTERIOR	STL	STEEL ANGLE
EXIST.	EXISTING	STL/SS	STAINLESS STEEL
FD	FLOOR DRAIN	STOR.	STORAGE
FEC	FIRE EXTINGUISHER CABINET	STRUCT.	STRUCTURAL
FIN.	FINISHED	SV	SHEET VINYL
FL/FLR.	FLOOR	SYN.	SYNTHETIC
FOUND.	FOUNDATION	T/	TOP OF
FT.	FOOT/FEET	T/FTG.	TOP OF FOOTING
FTG.	FOOTING	T/PNT	TEXTURED PAINT
GA.	GAUZE	TYP.	TYPICAL
GALV.	GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
GWB/	GYPNUM WALL BOARD	U.S.R.D.	UNDERSIDE OF ROOF DECK
OYP. BD.		USGS	UNITED STATES GEOLOGICAL SURVEY
HD	HEAVY DUTY	VB	VINYL BASE
MSDFP	HIGH DENSITY SPRAYED FIREPROOFING	VCT.	VINYL COMPOSITION TILE
HM	HOLLOW METAL	VERT.	VERTICAL
HP	HIGH POINT	V.I.F.	VERIFY IN FIELD
HT/HT.	HEIGHT	VWC	VINYL WALL COVERING
HVAC	HEATING, VENTILATION & AIR CONDITIONING	WC	WATER CLOSET
IN.	INCH/INCHES	WD	WOOD
INSUL.	INSULATION	W	WOMENS
INT	INTERIOR	W/	WITH
JT.	JOINT	W/O	WITHOUT
LAV	LAVATORY	WWF.	WELDED WIRE FABRIC
LINO.	LINOLEUM		
LB/LBS	POUNDS		
LP	LOW POINT		
LVL.	LEVEL		
M	MENS		
MAT.	MATERIAL		
MAX.	MAXIMUM		
MAS.	MASONRY		
MFR./	MANUFACTURER		
MANUF.			

GRAPHIC SYMBOLS

ENLARGED PLAN SYMBOL 	DOOR TAG SYMBOL 
INTERIOR ELEVATION SYMBOL 	WINDOW TAG SYMBOL 
EXTERIOR ELEVATION SYMBOL 	KEYNOTE TAG SYMBOL 
EXTERIOR MARK SYMBOL 	COLUMN GRID SYMBOL 
BUILDING WALL SECTION SYMBOL 	PARTITION TAG SYMBOL 
	ROOM TAG SYMBOL 
	REVISION SYMBOL 
	NORTH ARROW 

CHICAGO BUILDING CODES

Chicago Building Code 2019
Chicago Building Rehabilitation Code
Chicago Municipal Code
Chicago Electrical Code 2019
Chicago Building Code and
Interim Chicago Fire Prevention Code
2003 International Fuel Gas Code
Interim Mechanical Code
Chicago Energy Conservation Code
Interim Plumbing Code
Chicago Accessibility Code

INDEX OF DRAWINGS

SHEET NO.	SHEET NAME
GENERAL	
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A-001	TITLE SHEET
A-002	CODE MATRIX SHEET
ARCHITECTURAL	
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A-102R	2ND. FLOOR PLAN - RENOVATION
A-104R	ROOF PLAN - RENOVATION
A-105	ROOFING DETAILS TYPICAL CONDITIONS
A-405	EXTERIOR ELEVATIONS - DEMOLITION & RENOVATION

ISSUE FOR BID



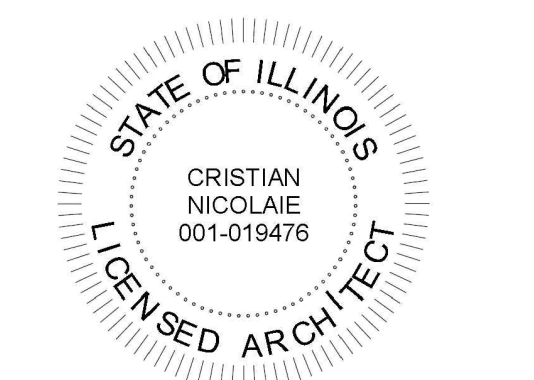
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Architect / Engineer of Record:
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CHECKED BY: JBA, MF
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Issuance	Mark	Description	Date
SD		SCHEMATIC DESIGN	11-30-21
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IFB		ADDENDUM 1	06-23-23
PBC Project Name: LAKEVIEW HEALTH CENTER			
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Title			

TITLE SHEET

Sheet
A-001

GENERAL DEMOLITION NOTES

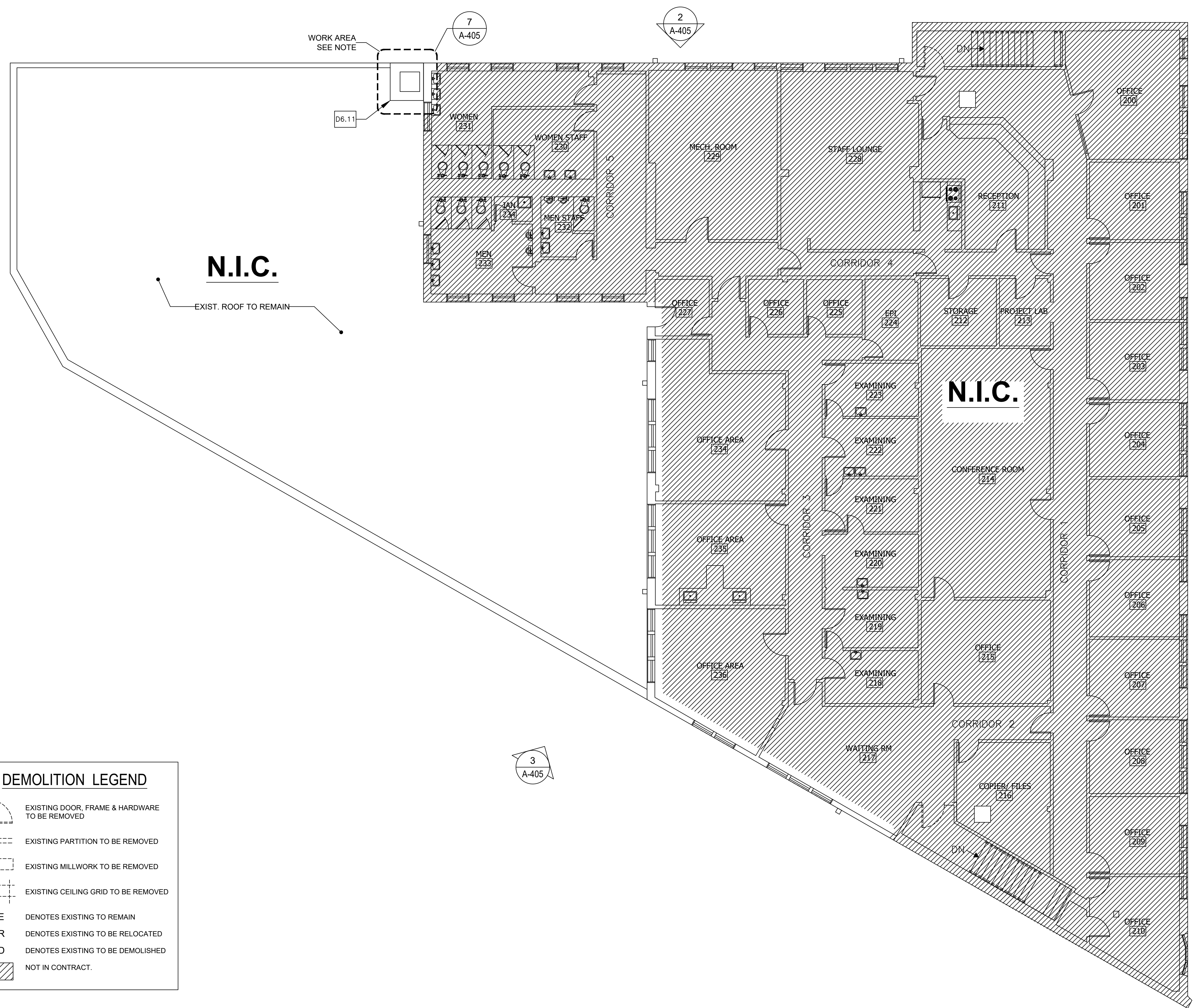
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- THIS CONTRACT SHALL INCLUDE ALL SELECTIVE DEMOLITION ACTIVITIES THAT MAY BE REQUIRED FOR A FULL AND COMPLETE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION WORK. CONTRACTOR SHALL REPORT DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO ARCHITECT PRIOR TO BEGINNING DEMOLITION WORK.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AT ALL TIMES. DAMAGE TO EXISTING CONSTRUCTION TO REMAIN RESULTING FROM DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REMEDIATED AT CONTRACTOR'S EXPENSE.
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- CONTRACTOR SHALL PROVIDE PROTECTION TO OCCUPANTS OF THE BUILDING AND PEDESTRIANS FROM THE CONSTRUCTION AREA AT ALL TIMES THROUGHOUT PROJECT.
- CONTRACTOR TO REMOVE ALL DEBRIS IN AN ORDERLY AND TIMELY MANNER. ALL DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
- DEMOLITION CONTRACTOR TO REMOVE ALL ABANDONED MECHANICAL EQUIPMENT, PIPING, DUCTWORK, AND ALL ASSOCIATED COMPONENTS. VERIFY PRIOR TO BIDDING SCOPE OF WORK REQUIRED WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR TO COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS FOR TEMPORARY SUPPORT OF EXISTING PIPING TO REMAIN.

GENERAL DEMOLITION NOTES

- ROOFING CONTRACTOR TO SAVE DOWNSPOUTS FOR REINSTALLATION.
- EXISTING SCUPPERS TO BE REMOVED AND PROPERLY DISPOSED.
- DURING CONSTRUCTION PROVIDE TEMPORARY DOWNSPOUTS TO MATCH SIZE OF UNITS REMOVED.

DEMOLITION KEY NOTES

- EXTERIOR ENVELOPE**
- D5 NOT USED.
 - D5.1 MANSARD ROOF: REMOVE EXISTING ASPHALT SHINGLES ROOFING SYSTEM & DISPOSE OF PROPERLY 2,400 SF (V.I.F.).
 - D5.2 MANSARD ROOF DECK: REMOVE & DISPOSE APPROXIMATELY 15% (360 SF) OF DAMAGED ROOF DECK. PROVIDE SQUARE FOOT COST FOR ROOF DECK REPLACEMENT.
 - D6 NOT USED.
 - D6.1 2-STORY STRUCTURE MODIFIED BITUMEN ROOF SYSTEM: REMOVE & DISPOSE OF AREA OF NEW BITUMEN ROOFING SYSTEM IS APPROX. 10,168 SF.
 - D6.2 1X6XL WOOD ROOF DECKING: REMOVE & DISPOSE OF APPROX. 15% (1600 SF) OF ROOF TOTAL. PROVIDE SF. COST FOR REPLACEMENT.
 - D6.3 COPING: REMOVE & DISPOSE OF PROPERLY ALL COPING & PREPARE FOR REPLACEMENT. SEE SHEET A-104D.
 - D6.4 SCONCE FLUORESCENT LIGHTING FIXTURES & BULBS: REMOVE EXISTING & DISPOSE OF PROPERLY.
 - D6.5 MASONRY PARAPET WALL REPAIR AT ALL 6 SCUPPERS: REMOVE EXISTING MASONRY PARAPET WALL AT SCUPPER SIDES & BELOW 15' AT ALL SIDES OF 30" WIDE SCUPPERS. REMOVE EXISTING DAMAGED, CRACKED, WORN-OUT MATERIALS (BRICK, MORTAR, WOOD DECK, ETC.) & DISPOSE OF PROPERLY. APPROX. (5'X5' = 25 SF AT EACH SCUPPER), SEE SHEETS A-104D & A-405D.
 - D6.6 MASONRY PARAPET WALL REPAIR AT OPEN CORNERS & OTHER DAMAGED LOCATIONS (4 TOTAL): REMOVE EXISTING MASONRY PARAPET WALL AT DAMAGED CORNERS & BELOW APPROX. 2.5 FEET WIDE EACH WAY FROM CORNER. REMOVE EXISTING DAMAGED, CRACKED, WORN-OUT MATERIALS (BRICK, MORTAR, WOOD DECK, ETC.) & DISPOSE OF PROPERLY. APPROX. (5'X5' = 25 SF. AT EACH CORNER), SEE SHEETS A-104D & A-405D.
 - D6.7 NOT USED
 - D6.8 NOT USED
 - D6.9 ROOFING METAL ACCESSORIES: REMOVE & DISPOSE OF PROPERLY ALL GUTTERS, SCUPPERS, DOWNSPOUTS & PREPARE FOR REPLACEMENT. SEE SHEET A-104D.
 - D6.10 NOT USED
 - D6.11 CHIMNEY SCOPE: REMOVE EXISTING MASONRY CHIMNEY DOWN TO 6'-0" ABOVE EXISTING PARAPET COPING. PROTECT ALL EXISTING ADJACENT STRUCTURES AND EQUIPMENT AS NEEDED. DISPOSE OF ALL DEMOLISHED MATERIALS PROPERLY.
- DOORS & INTERIOR WORK**
- D7 EXTERIOR FRAMES, DOORS, & HDW. @ 1ST FL FACING CLARK ST.: 2 EXIT DOORS (#004, & #020), THE NORTH EXIT (#020) IS A PAIR OF DOORS, & THE SOUTH EXIT IS 1 SINGLE DOOR (#004), ALL OF WHICH ARE IN VERY POOR CONDITION. REMOVE & DISPOSE OF PROPERLY. SEE SHEET A-101D.
 - D7.1 EXTERIOR FRAME, DOOR, & HDW. @ 1ST FLOOR SOUTH SIDE / REAR EXIT DOOR (#019): REMOVE & DISPOSE OF PROPERLY. SEE SHEET A-101D.



DEMOLITION LEGEND

- EXISTING DOOR, FRAME & HARDWARE TO BE REMOVED
- EXISTING PARTITION TO BE REMOVED
- EXISTING MILLWORK TO BE REMOVED
- EXISTING CEILING GRID TO BE REMOVED
- E DENOTES EXISTING TO REMAIN
- R DENOTES EXISTING TO BE RELOCATED
- D DENOTES EXISTING TO BE DEMOLISHED
- NOT IN CONTRACT.

1 SECOND FLOOR PLAN DEMOLITION
SCALE: 1/4" = 1'-0"

ISSUE FOR BID



**CIP
- LAKEVIEW HEALTH CENTER -
EXTERIOR UPGRADES**
2849-61 NORTH CLARK ST.
CHICAGO, IL 60657
ASSETS, INFORMATION AND SERVICES
CITY OF CHICAGO, COMMISSIONER SANDRA BLAKEMORE

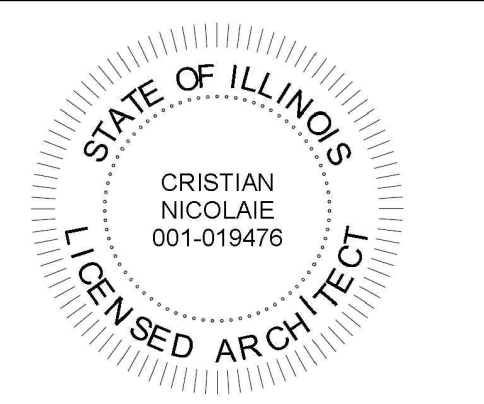
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623 COOPER COURT
SHAUMBURG, ILLINOIS 60173
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HOH Project No.: 5422

DRAWN BY:	WU, VS, WS, JC
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PBC Project Name: LAKEVIEW HEALTH CENTER
PBC Contract No.: 04031
AIS Project No.: 2021-F326-REN

**SECOND FLOOR
PLAN DEMOLITION**

RENOVATION NOTES

- 1 ALL DIMENSIONS AND AREAS SHOWN ON PLANS ARE APPROXIMATE DIMENSIONS AND ARE TO BE FIELD MEASURED PRIOR TO ORDERING MATERIALS.
- 2 SEAL AND GROUT AS EARLY AS POSSIBLE FOLLOWING INSTALLATION.
- 3 FINISH GROUT LEVEL TO BRICK SURFACE AND TOOL ACCORDINGLY TO MATCH EXISTING.
- 4 WORK TO BE LEVEL, PLUMB AND SQUARE TO BE ALIGNED TO EXISTING.
- 5 PAINTING CONTRACTOR TO PAINT REQUIRED SURFACES TO MATCH EXISTING AND ADJACENT SURFACES.
- 6 CONTRACTOR TO PROVIDE LEVELING AND TRANSITION TRIMS TO ALL WORK AVOIDING ABRUPT CHANGES.
- 7 CONTRACTOR TO SUBMIT SAMPLES TO OWNER & ARCHITECT FOR APPROVAL.

ISSUE FOR BID



**CIP
- LAKEVIEW HEALTH CENTER -
EXTERIOR UPGRADES**
2849-61 NORTH CLARK ST.
CHICAGO, IL 60657
ASSETS, INFORMATION AND SERVICES
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**SECOND FLOOR PLAN
RENOVATION**

Sheet
A-102R



1 SECOND FLOOR PLAN RENOVATION
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

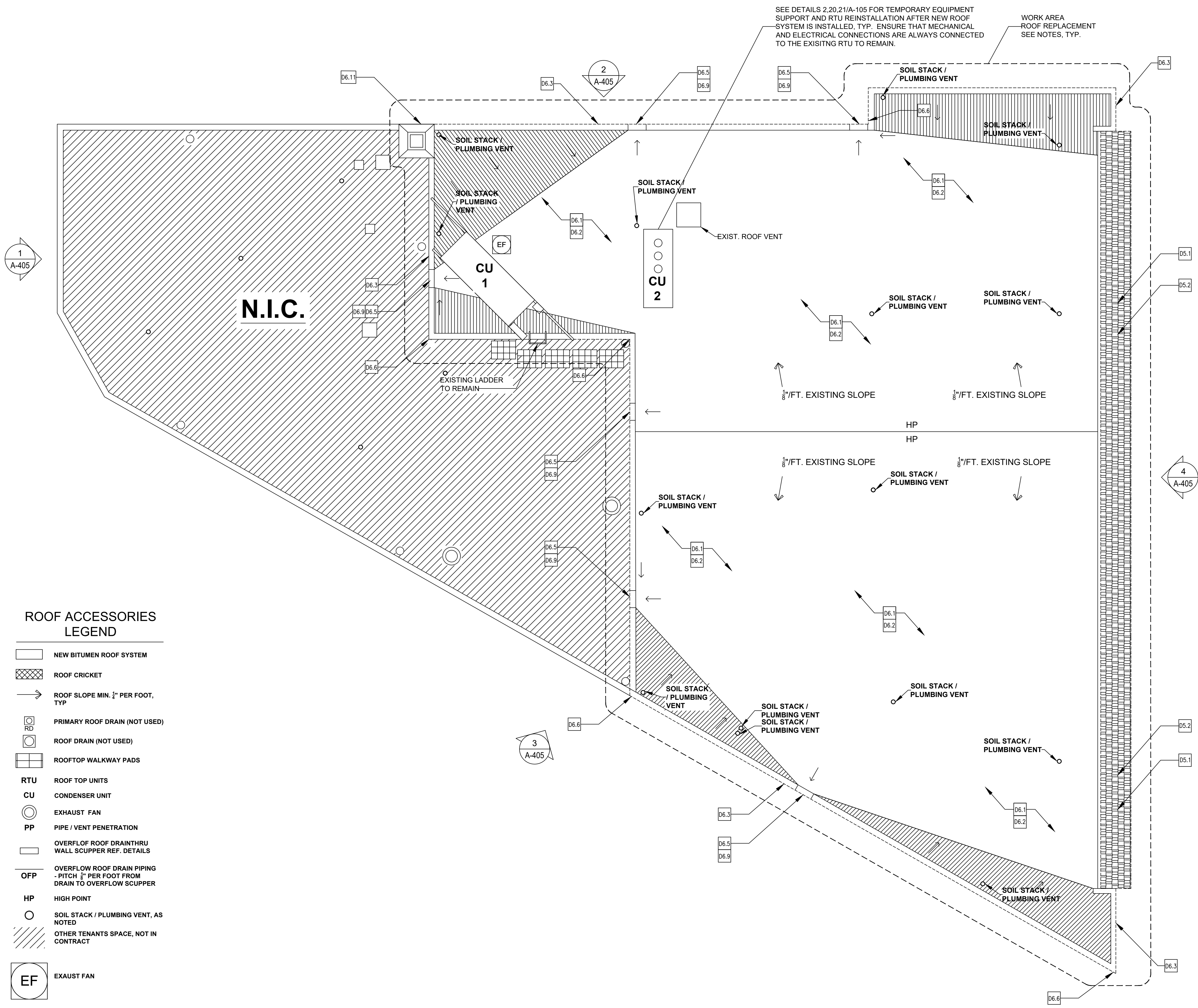
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- FOR ROOF COMPOSITION, PLEASE REFER TO ROOF SPECIFICATIONS.

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- EXISTING SCUPPERS TO BE REMOVED AND PROPERLY DISPOSED.
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DEMOLITION KEY NOTES

- EXTERIOR ENVELOPE**
- D5 NOT USED
 - D6.1 MANSARD ROOF: REMOVE EXISTING ASPHALT SHINGLES ROOFING SYSTEM & DISPOSE OF PROPERLY 2,400 SF (V.I.F.)
 - D6.2 MANSARD ROOF DECK: REMOVE & DISPOSE APPROXIMATELY 15% (360 SF) OF DAMAGED ROOF DECK. PROVIDE SQUARE FOOT COST FOR ROOF DECK REPLACEMENT.
 - D6 NOT USED
 - D6.1 2-STORY STRUCTURE MODIFIED BITUMEN ROOF SYSTEM. REMOVE & DISPOSE OF AREA OF NEW BITUMEN ROOFING SYSTEM IS APPROX. 10,168 SF.
 - D6.2 1X6XL WOOD ROOF DECKING: REMOVE & DISPOSE OF APPROX. 15% (1600 SF) OF ROOF TOTAL. PROVIDE SF. COST FOR REPLACEMENT.
 - D6.3 COPING: REMOVE & DISPOSE OF PROPERLY ALL COPING & PREPARE FOR REPLACEMENT. SEE SHEET A-104D.
 - D6.4 SCONCE FLUORESCENT LIGHTING FIXTURES & BULBS: REMOVE EXISTING & DISPOSE OF PROPERLY.
 - D6.5 MASONRY PARAPET WALL REPAIR AT ALL 6 SCUPPERS: REMOVE EXISTING MASONRY PARAPET WALL AT SCUPPER SIDES & BELOW 15" AT ALL SIDES OF 30" WIDE SCUPPERS. REMOVE EXISTING DAMAGED, CRACKED, WORN-OUT MATERIALS (BRICK, MORTAR, WOOD DECK, ETC.) & DISPOSE OF PROPERLY. APPROX. 5'X5' = 25 SF AT EACH SCUPPER. SEE SHEETS A-104D & A-405D.
 - D6.6 MASONRY PARAPET WALL REPAIR AT OPEN CORNERS & OTHER DAMAGED LOCATIONS (4 TOTAL): REMOVE EXISTING MASONRY PARAPET WALL AT DAMAGED CORNERS & BELOW. APPROX. 2.5 FEET WIDE EACH WAY FROM CORNER. REMOVE EXISTING DAMAGED, CRACKED, WORN-OUT MATERIALS: (BRICK, MORTAR, WOOD DECK, ETC.) & DISPOSE OF PROPERLY. APPROX. 5'X5' = 25 SF. AT EACH CORNER. SEE SHEETS A-104D & A-405D.
 - D6.7 NOT USED
 - D6.8 NOT USED
 - D6.9 ROOFING METAL ACCESSORIES: REMOVE & DISPOSE OF PROPERLY ALL GUTTERS, SCUPPERS, DOWNSPOUTS & PREPARE FOR REPLACEMENT. SEE SHEET A-104D.
 - D6.10 NOT USED
 - D6.11 CHIMNEY SCOPE: REMOVE EXISTING MASONRY CHIMNEY DOWN TO 6'-0" ABOVE EXISTING PARAPET COPING. PROTECT ALL EXISTING ADJACENT STRUCTURES AND EQUIPMENT AS NEEDED. DISPOSE OF ALL DEMOLISHED MATERIALS PROPERLY.



ROOF ACCESSORIES LEGEND

- NEW BITUMEN ROOF SYSTEM
- ROOF CRICKET
- ROOF SLOPE MIN. 1/4" PER FOOT, TYP.
- PRIMARY ROOF DRAIN (NOT USED)
- ROOF DRAIN (NOT USED)
- ROOFTOP WALKWAY PADS
- RTU** ROOF TOP UNITS
- CU** CONDENSER UNIT
- EXHAUST FAN
- PP** PIPE / VENT PENETRATION
- OVERFLOW ROOF DRAIN THRU WALL, SCUPPER REF. DETAILS
- OFFP** OVERFLOW ROOF DRAIN PIPING - FITCH 1" PER FOOT FROM DRAIN TO OVERFLOW SCUPPER
- HP** HIGH POINT
- SOIL STACK / PLUMBING VENT, AS NOTED
- OTHER TENANTS SPACE, NOT IN CONTRACT
- EF** EXHAUST FAN

1 ROOF PLAN, DEMOLITION
SCALE: 1/8" = 1'-0"

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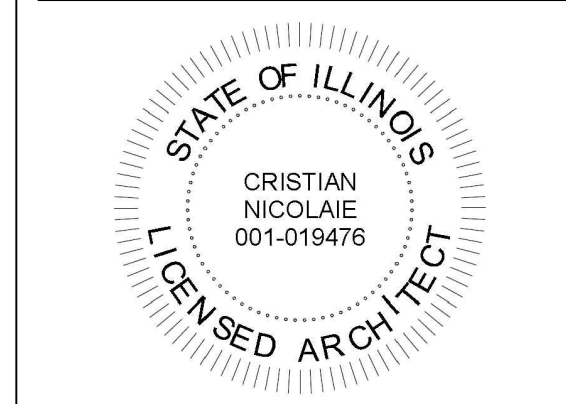
CIP
- LAKEVIEW HEALTH CENTER -
EXTERIOR UPGRADES
2849-61 NORTH CLARK ST.
CHICAGO, IL 60657
ASSETS, INFORMATION AND SERVICES
CITY OF CHICAGO, COMMISSIONER SANDRA BLAKEMORE

Architect / Engineer of Record:
THE HOH GROUP INC.

HOH
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623 COOPER COURT
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DRAWN BY:	WU, VS, WS, JC
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QA / QC:	PL, NK, AS



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Issuance	Mark	Description	Date
SD		SCHEMATIC DESIGN	11-30-21
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IFB		ISSUE FOR BID	06-07-23
IFB		ADDENDUM 1	06-23-23

PBC Project Name: LAKEVIEW HEALTH CENTER
PBC Contract No.: 04031
AIS Project No.: 2021-F326-REN
Title:

ROOF PLAN DEMOLITION
Sheet
A-104D

ROOF CONSTRUCTION GENERAL NOTES

1. WORK, MATERIALS & METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES & REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.
2. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ITEMS, MATERIALS & INSTALLATION OF SAME ARE PART OF THE CONTRACT AS DEFINED BY THE CONTRACT DOCUMENTS. THE CONTRACTORS SHALL PROVIDE & INSTALL ACCESSORIES, COMPONENTS & ASSEMBLIES REQUIRED FOR THE WORK DEPICTED OR SPECIFIED.
3. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS & EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT ANY DISCREPANCIES &/OR POTENTIAL PROBLEMS TO THE DESIGN BUILDER PRIOR TO PROCEEDING WITH AFFECTED WORK.
4. FIRE-RATED ASSEMBLIES SHALL BE INSTALLED, LABELED, & INSPECTED IN ACCORDANCE WITH THE APPLICABLE CODES WHERE APPLICABLE. THIS INCLUDES FIRE DAMPERS OR FIRE DOORS PROVIDED WHERE AIR DUCTS OR OPENINGS PENETRATE FIRE-RATED SURFACES. PENETRATIONS OF RATED FIRE-RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES.
5. PENETRATIONS THROUGH SURFACES SHALL BE SEALED WITH SEALANT MATERIAL PER SPECIFICATIONS FOR PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS WHERE APPLICABLE.
6. DESIGN BUILDER SOLELY RESPONSIBLE FOR COORDINATION AMONG VARIOUS SUBCONTRACTORS.
7. IN THE EVENT OF ANY DISCREPANCIES BETWEEN DRAWINGS &/OR SPECIFICATIONS, THE MORE COSTLY OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT UNLESS OTHERWISE STATED IN WRITING FROM THE DESIGN BUILDER.

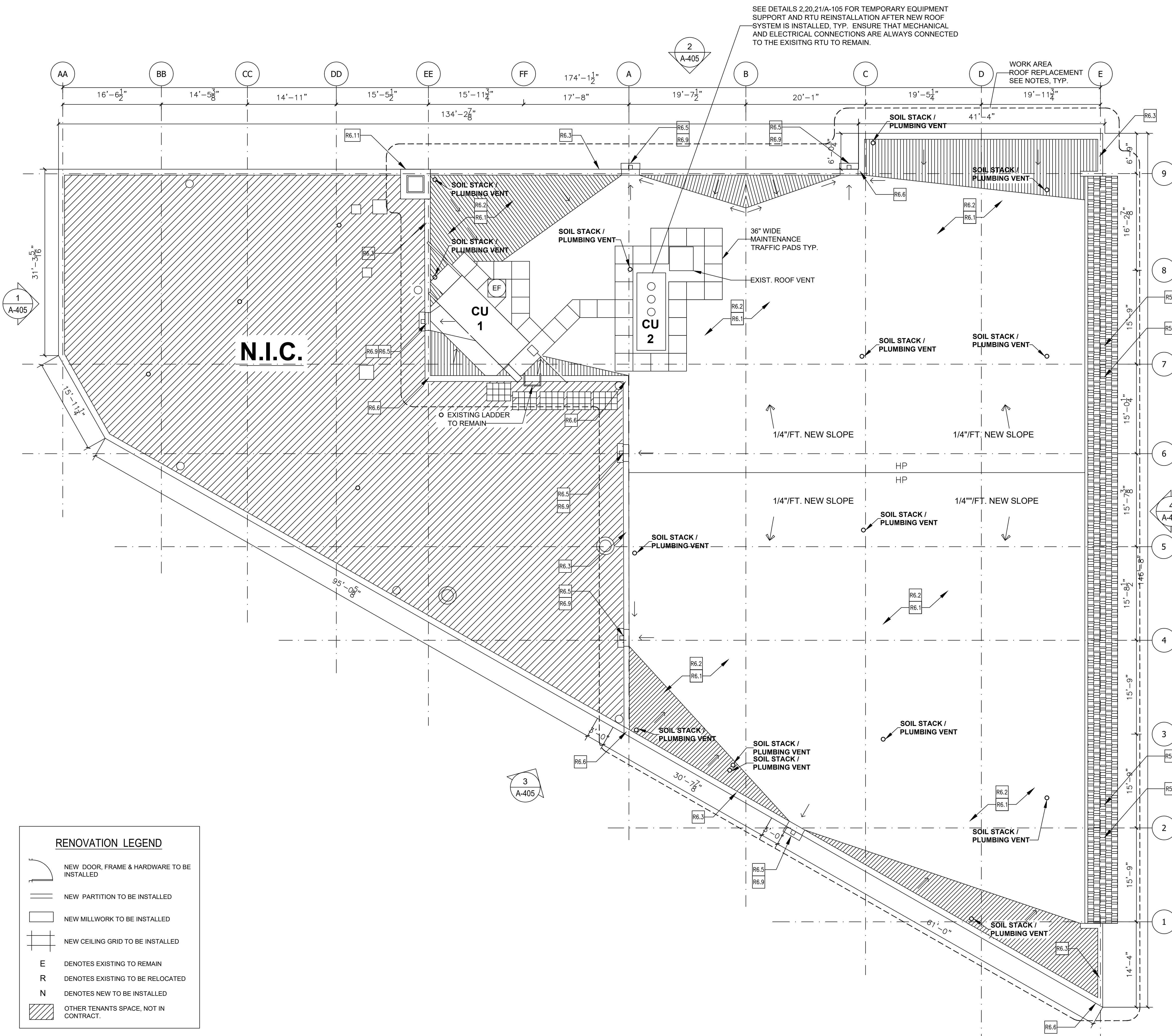
RENOVATION NOTES

1. ALL DIMENSIONS AND AREAS SHOWN ON PLANS ARE APPROXIMATE DIMENSIONS AND ARE TO BE FIELD MEASURED PRIOR TO ORDERING MATERIALS.
2. SEAL AND GROUT AS EARLY AS POSSIBLE FOLLOWING INSTALLATION.
3. FINISH GROUT LEVEL TO BRICK SURFACE AND TOOL ACCORDINGLY TO MATCH EXISTING.
4. WORK TO BE LEVEL, PLUMB AND SQUARE TO BE ALIGNED TO EXISTING.
5. PAINTING CONTRACTOR TO PAINT REQUIRED SURFACES TO MATCH EXISTING AND ADJACENT SURFACES.
6. CONTRACTOR TO PROVIDE LEVELING AND TRANSITION TRIMS TO ALL WORK AVOIDING ABRUPT CHANGES.
7. CONTRACTOR TO SUBMIT SAMPLES TO OWNER & ARCHITECT FOR APPROVAL.

RENOVATION KEY NOTES

EXTERIOR ENVELOPE

- R5 NOT USED
- R5.1 MANSARD ROOF: PROVIDE NEW SHINGLE ROOFING SYSTEM. AREA OF NEW ROOFING SYSTEM IS APPROXIMATELY 2400 SF (V.I.F.)
- R5.2 MANSARD ROOF DECK: REMOVE AND REPLACE 15% AREA OF DAMAGED WOOD DECK AREA WITH NEW 3/4" PLYWOOD DECK AND/OR MATCH EXISTING IN KIND. PROVIDE INSTALLED UNIT SQUARE FOOT COST.
- R6 NOT USED
- R6.1 2-STORY STRUCTURE BITUMEN ROOF SYSTEM: PROVIDE NEW MODIFIED BITUMEN ROOF SYSTEM. AREA OF NEW BITUMEN ROOFING SYSTEM IS APPROX. 10,168 SF. PROVIDE WALK PADS PER ROOFING MANUFACTURER SPECIFICATIONS. COORDINATE LAYOUT WITH CONFIGURATION OF MECHANICAL UNITS
- R6.2 1X6L WOOD ROOF DECKING STRUCTURE: PROVIDE NEW DECKING. APPROX. 15% (1600 SF) OF ROOF TOTAL. PROVIDE INSTALLED SF COST FOR RENOVATION.
- R6.3 INSTALL NEW COPING & FLASHING TO MATCH EXISTING IN-KIND. SEE SHEET A-105.
- R6.4 NOT USED
- R6.5 MASONRY PARAPET WALL REPAIR AT ALL (6) SCUPPERS. PROVIDE NEW MASONRY & MATERIALS. REBUILD PARAPET WALL AT SCUPPER SIDES & BELOW: 15" AT ALL SIDES OF 30" WIDE SCUPPERS. PROVIDE ICE & WATER SHIELD ALL AROUND 3 FEET OF SCUPPER LOCATIONS. APPROX. (5'x5' = 25 SF @ EACH SCUPPER). SEE DETAILS 54-A405.
- R6.6 PARAPET WALL REPAIR AT OPEN CORNERS & OTHER DAMAGED LOCATIONS (4 TOTAL). PROVIDE NEW MASONRY & MATERIALS. REBUILD PARAPET WALLS AT ALL OPEN CORNERS & DAMAGED AREAS: 2.5 FEET WIDE EACH WAY FROM CORNER. PROVIDE ICE & WATER SHIELD ALL AROUND 3 FEET OF OPEN CORNERS & DAMAGED AREAS. APPROX. (5' x 5' = 25 SF AT EACH CORNER). SEE SHEET A-104R.
- R6.7 NOT USED
- R6.8 NOT USED
- R6.9 ROOFING METAL ACCESSORIES: PROVIDE & INSTALL NEW GUTTERS, SCUPPERS, & DOWNSPOUTS. MATCH EXISTING IN-KIND. SEE SHEET A-105.
- R6.10 NOT USED
- R6.11 CHIMNEY SCOPE: AFTER DEMOLITION IS COMPLETE. CLEAN & WASH THOROUGHLY WITH POTABLE WATER. TUCK-POINT EXISTING MASONRY CHIMNEY AS REQUIRED. INSTALL NEW 6" REINFORCED CONCRETE CHIMNEY CAP. PROTECT ALL EXISTING ADJACENT STRUCTURES AND EQUIPMENT AS NEEDED. DISPOSE OF ALL DEBRIS PROPERLY. REFER TO SHEET A-405 DETAILS 7, 9 AND 10.



RENOVATION LEGEND

- NEW DOOR, FRAME & HARDWARE TO BE INSTALLED
- NEW PARTITION TO BE INSTALLED
- NEW MILLWORK TO BE INSTALLED
- NEW CEILING GRID TO BE INSTALLED
- E** DENOTES EXISTING TO REMAIN
- R** DENOTES EXISTING TO BE RELOCATED
- N** DENOTES NEW TO BE INSTALLED
- OTHER TENANTS SPACE, NOT IN CONTRACT.

1 ROOF PLAN, RENOVATION
SCALE: 1/4" = 1'-0"

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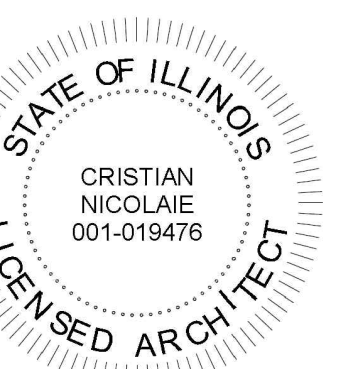
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Architect / Engineer of Record:
THE HOH GROUP INC.



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HOH Project No.: 5422
DRAWN BY: WU, VS, WS, JC
CHECKED BY: JBA, MF
QA / QC: PL, NK, AS

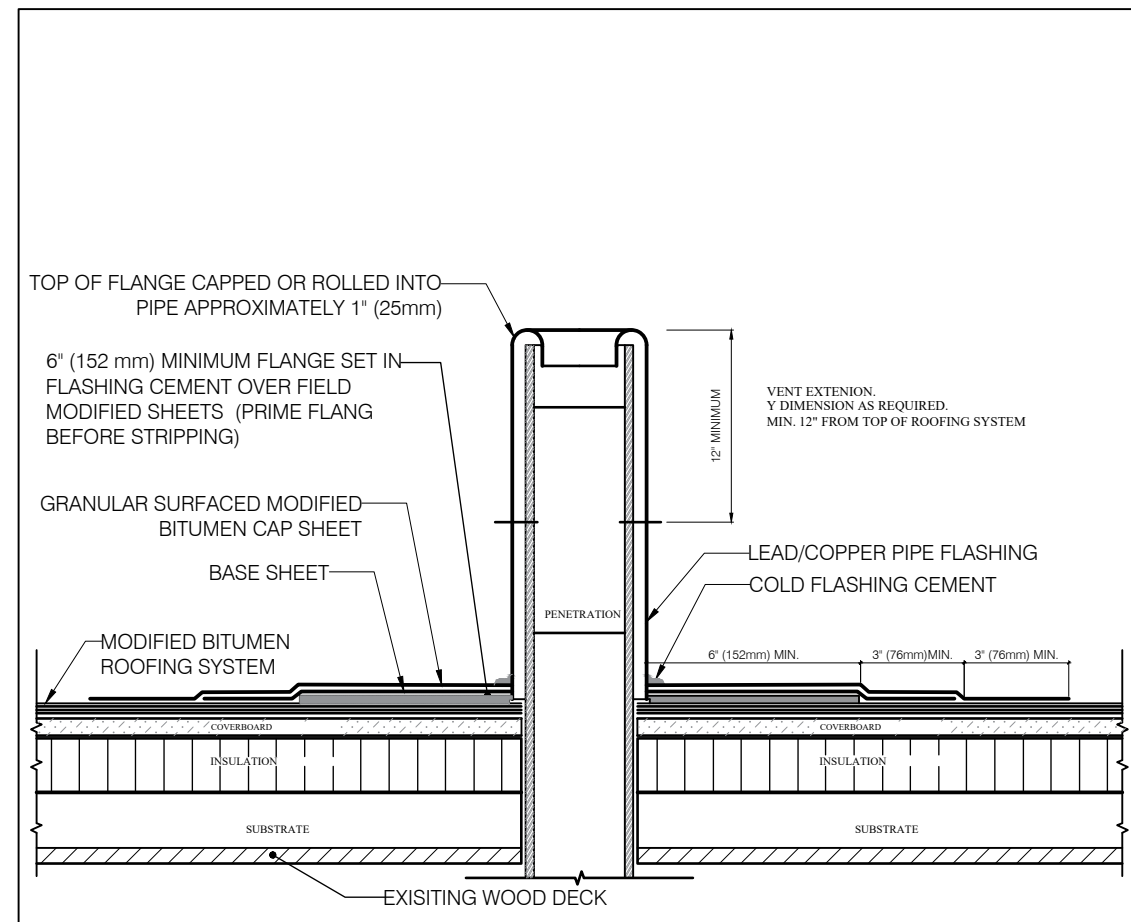


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PBC Contract No.: 04031
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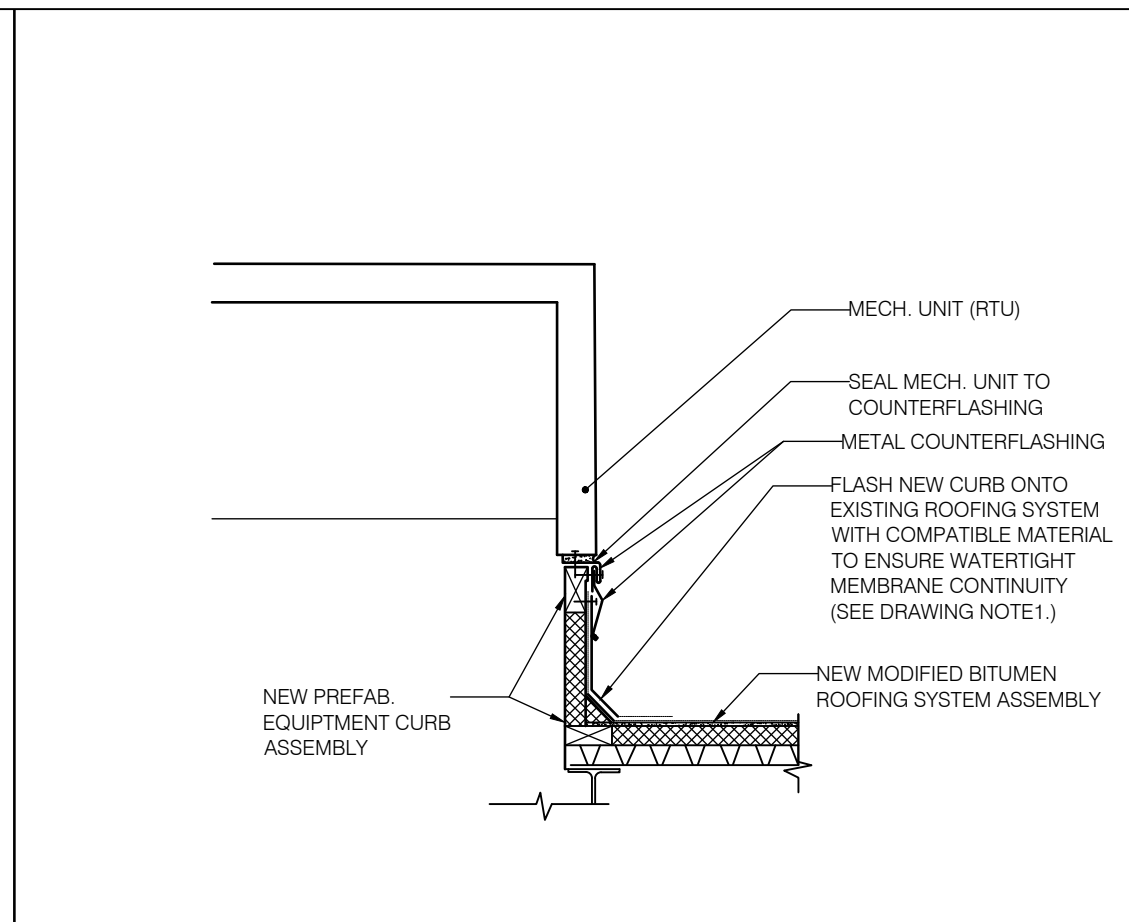
ROOF PLAN RENOVATION

Sheet
A-104R



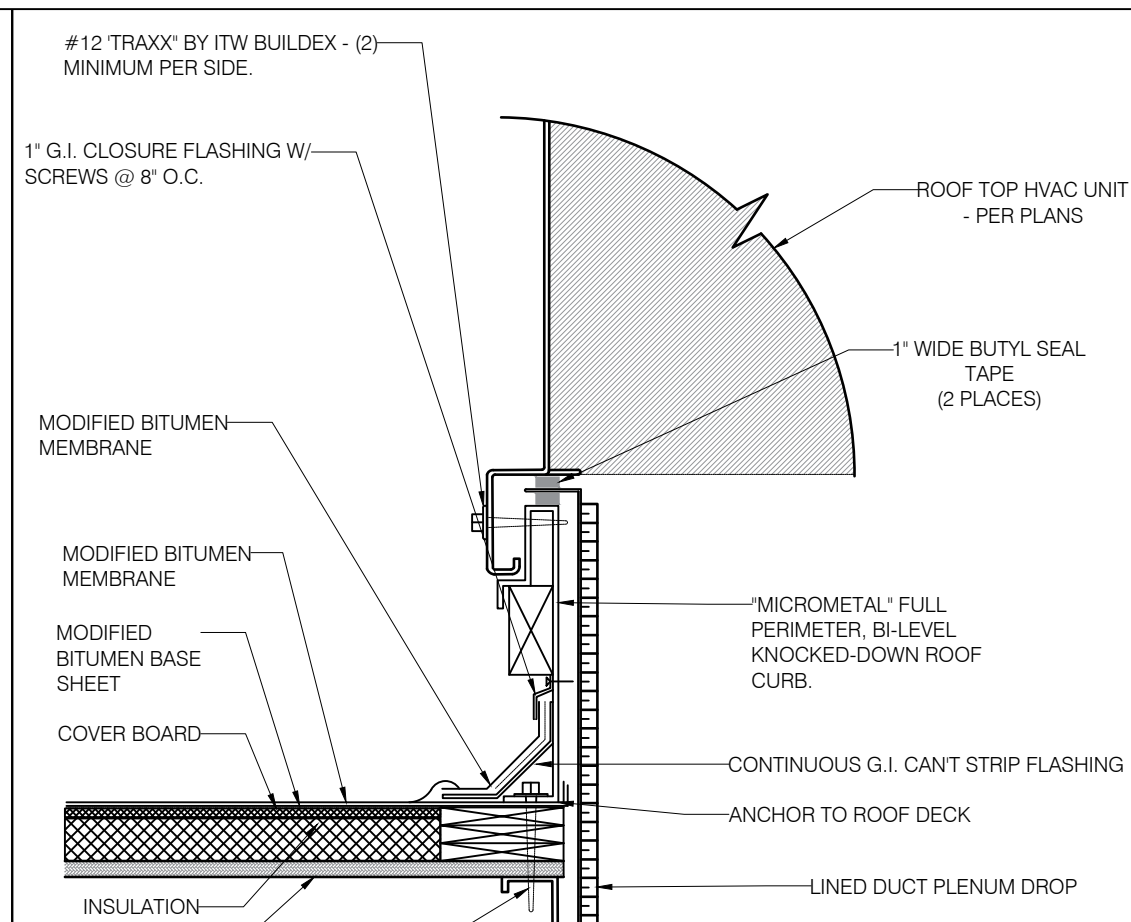
NOTE:
PROVIDE MODIFIED BITUMEN ROOFING SYSTEM

19 ROOF PLUMBING VENT DETAIL TYP
N.T.S.



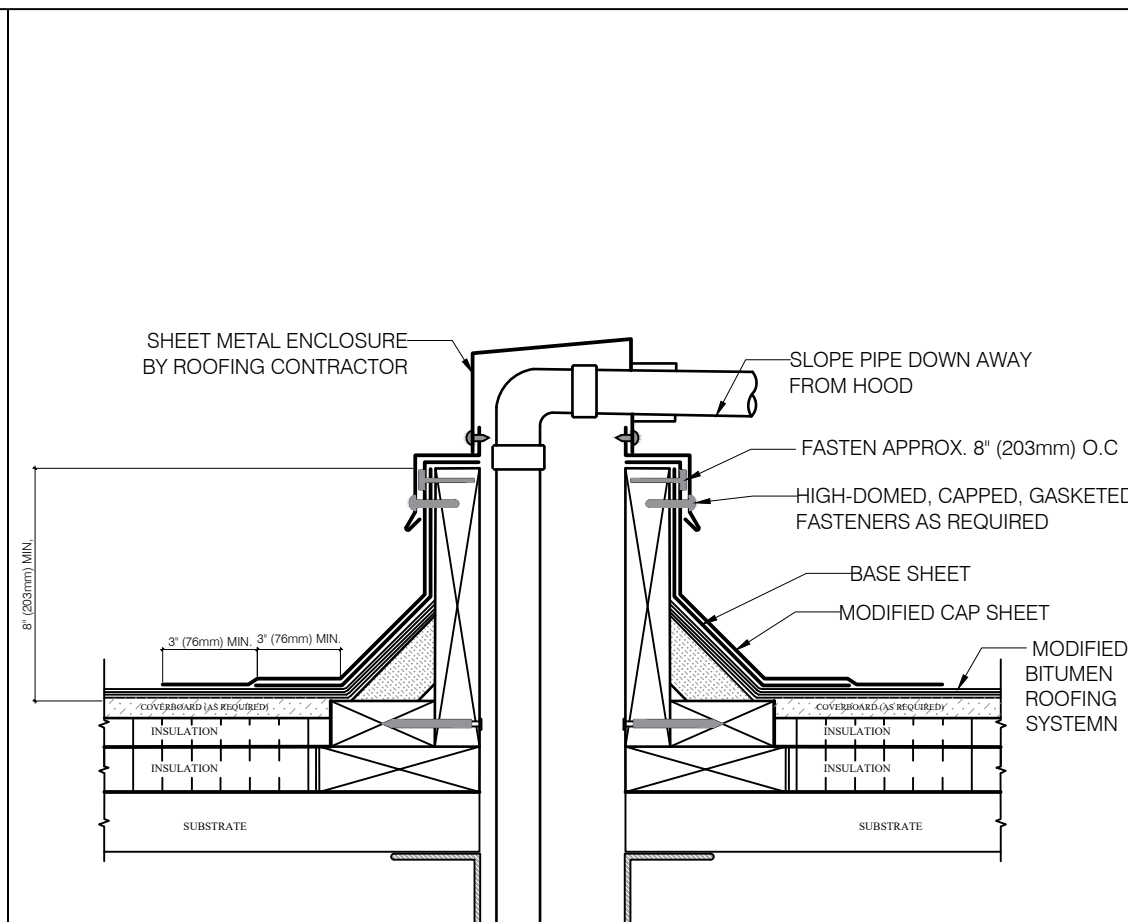
NOTE:
PROVIDE MODIFIED BITUMEN ROOFING SYSTEM

20 ROOF CURB DETAIL
N.T.S. (FOR REFERENCE AND FOR REINSTALLATION ONLY)



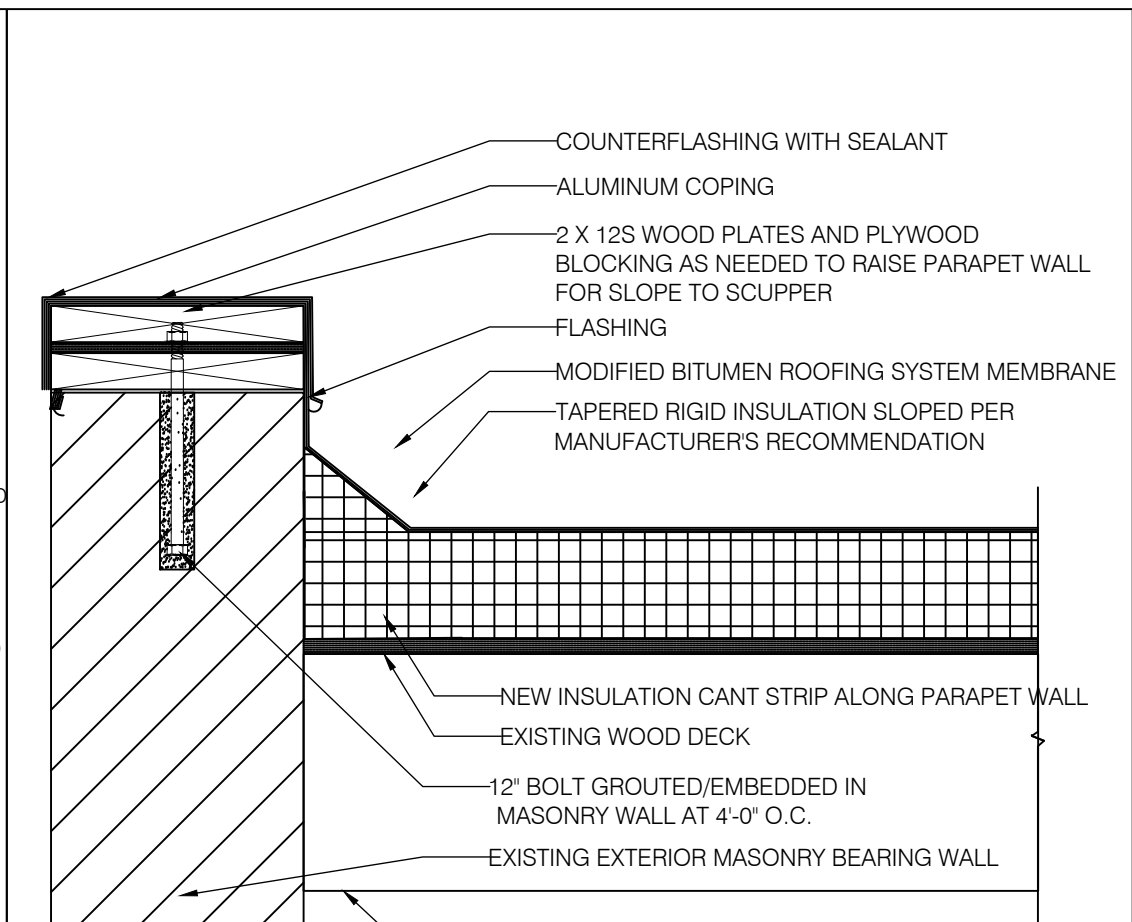
NOTE:
PROVIDE MODIFIED BITUMEN ROOFING SYSTEM

21 ROOF NTU CURB DETAIL TYP
N.T.S. (FOR REFERENCE AND FOR REINSTALLATION ONLY)



NOTE:
PROVIDE MODIFIED BITUMEN ROOFING SYSTEM

22 ROOF SHEET METAL ENCLOSED DETAIL TYP
N.T.S.



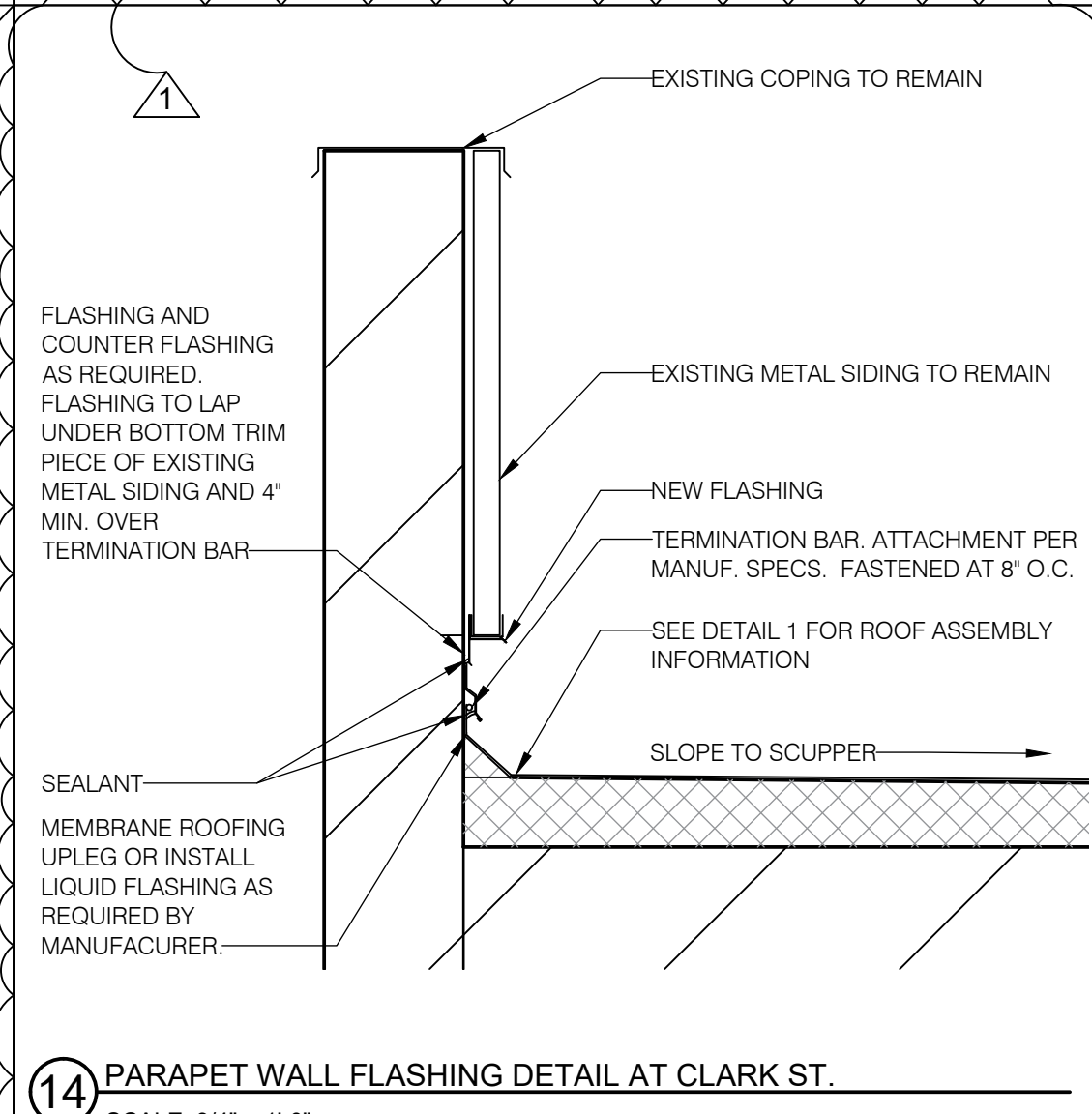
NOTE:
PROVIDE MODIFIED BITUMEN ROOFING SYSTEM

23 HIGHER PARAPET WALL DETAIL, TYP.
N.T.S.

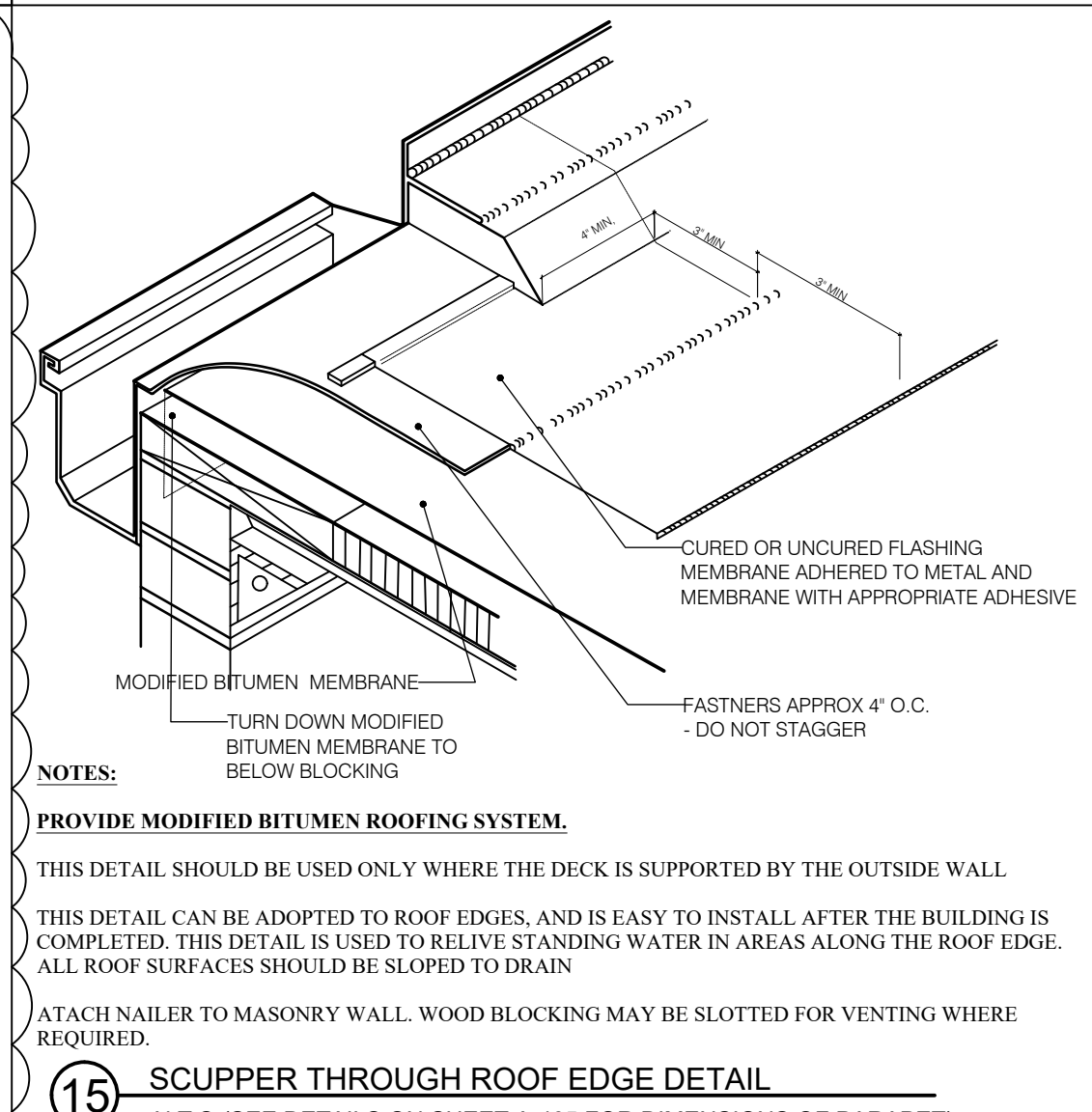
GENERAL NEW MODIFIED BITUMEN ROOFING SYSTEM NOTES:

- EXISTING WOOD DECK TO REMAIN (SELECTIVELY REMOVE & REPLACE 15% DAMAGED WITH NEW WOOD DECK)
- NEW RED ROSIN PAPER
- NEW MECHANICALLY FASTENED FIBERGLASS BASE SHEET
- NEW MODIFIED BITUMEN VAPOR BARRIER
- NEW 1/8" TAPERED POLYISOCYANURATE AVERAGE R-30
- NEW 1/2" DENS DECK COVER BOARD
- NEW MODIFIED BITUMEN BASE SHEET
- NEW CODE COMPLIANT MODIFIED CAP SHEET
- NEW COLD ADHESIVES MUST BE USED DUE TO WOOD DECK
- THE EXISTING CONDITIONS INSULATION SADDLES WOULD BE IN THE LOCATION, TO CONFIRM WITH CONTRACTOR AND MANUFACTURER, FOR THE NEW SYSTEM

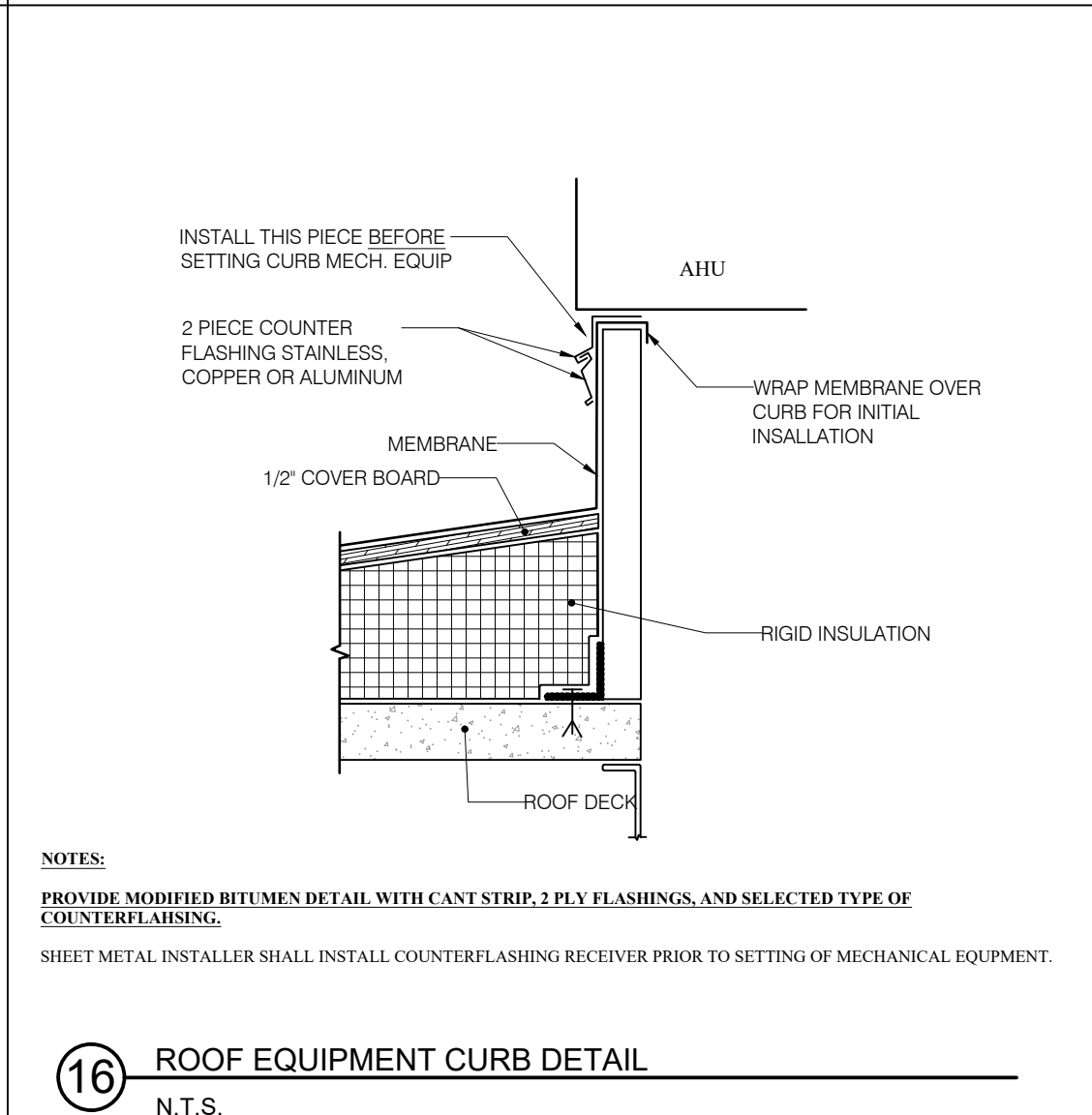
NOT USED



14 PARAPET WALL FLASHING DETAIL AT CLARK ST.
SCALE: 3/4" = 1'-0"



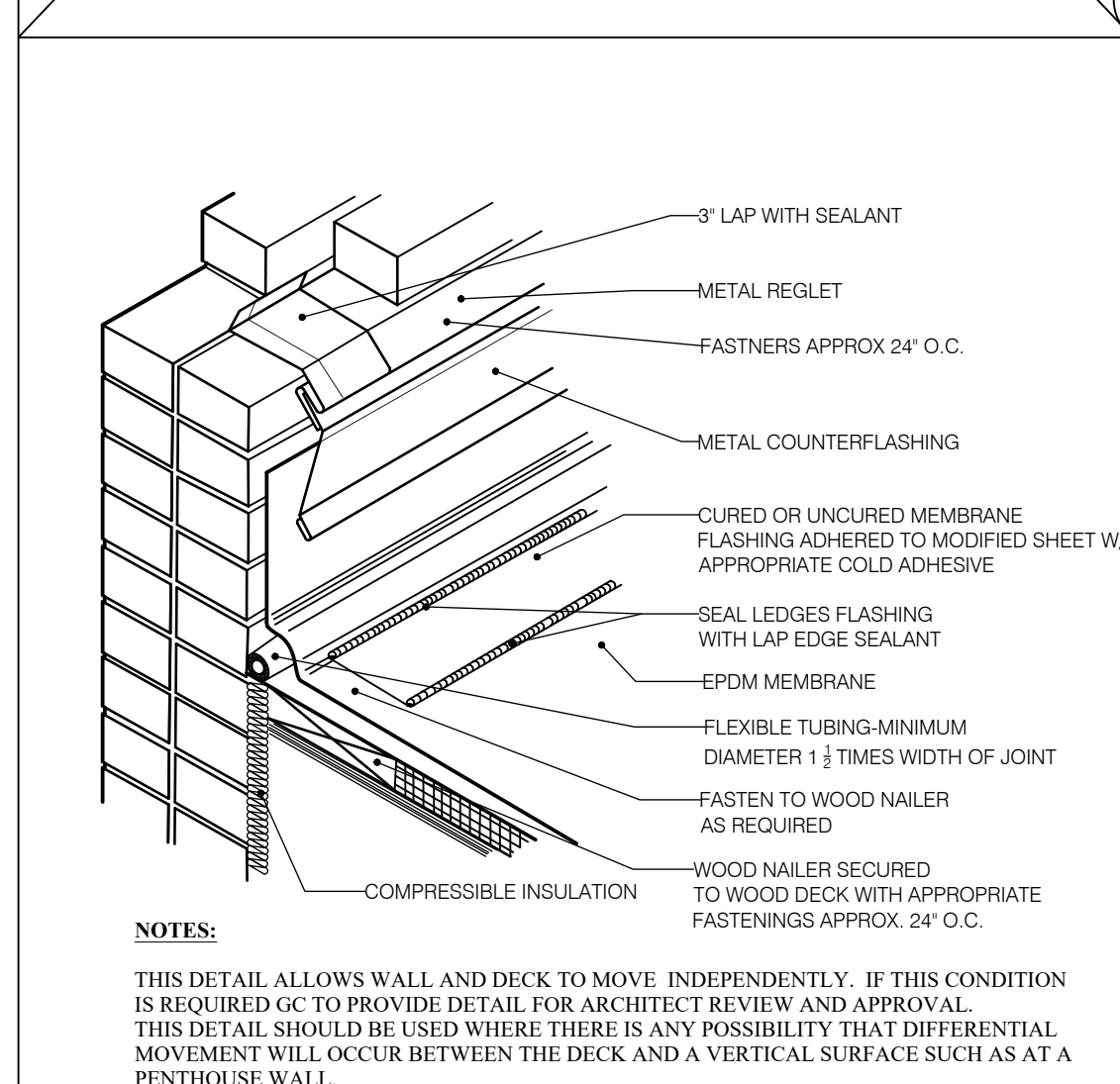
15 SCUPPER THROUGH ROOF EDGE DETAIL
N.T.S. (SEE DETAILS ON SHEET A-405 FOR DIMENSIONS OF PARAPET)



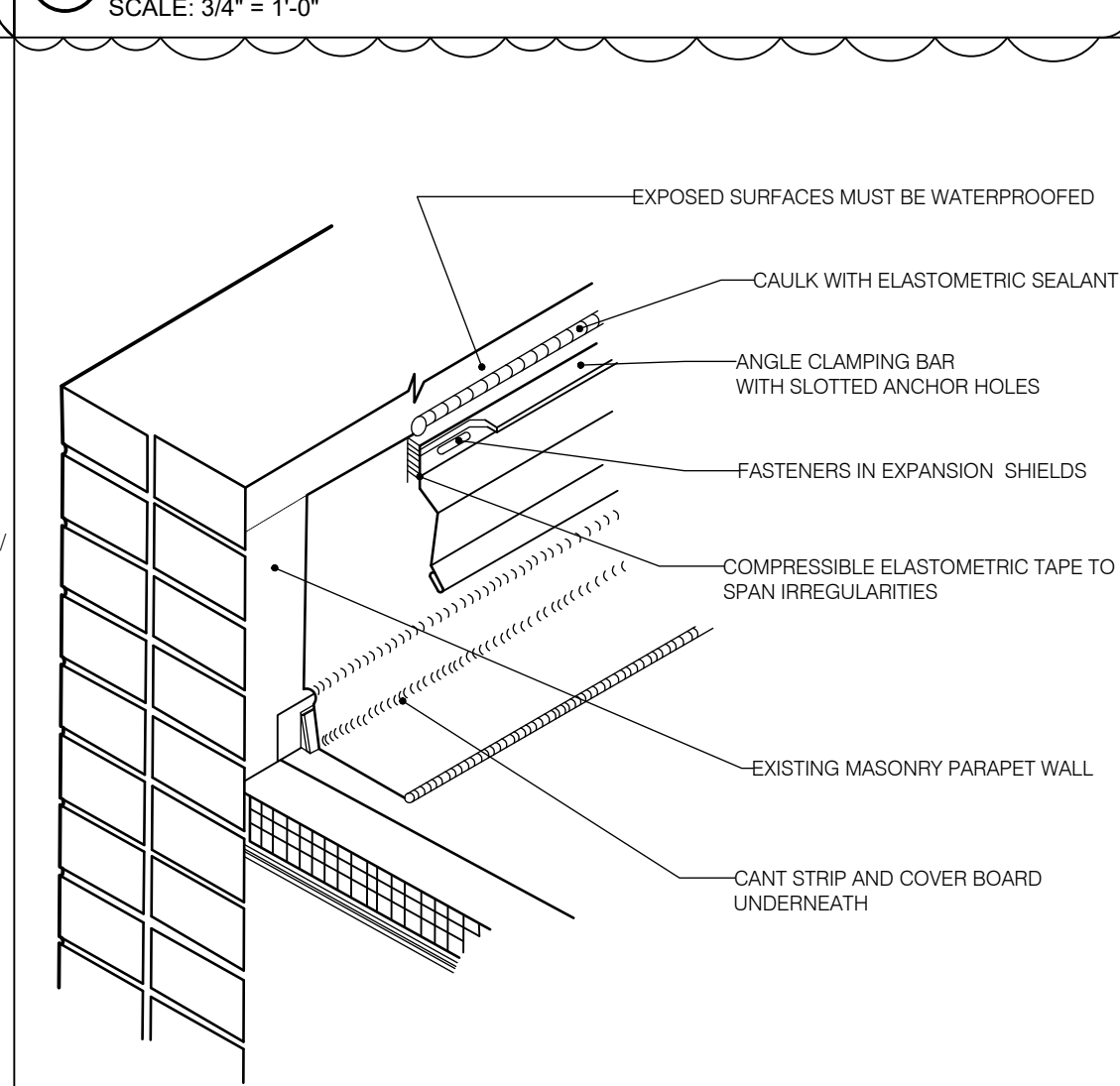
16 ROOF EQUIPMENT CURB DETAIL
N.T.S.

NOT USED

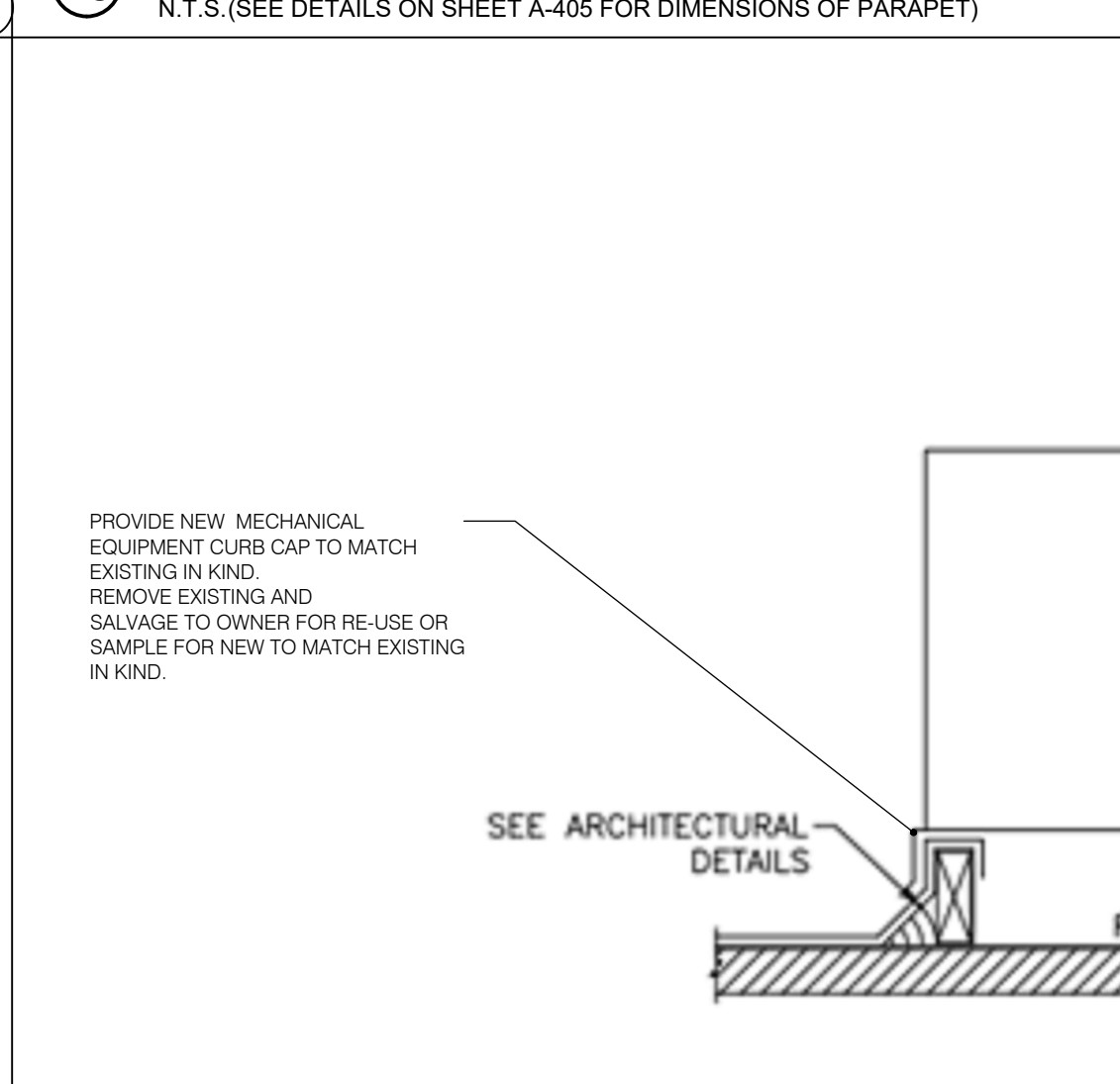
NOT USED



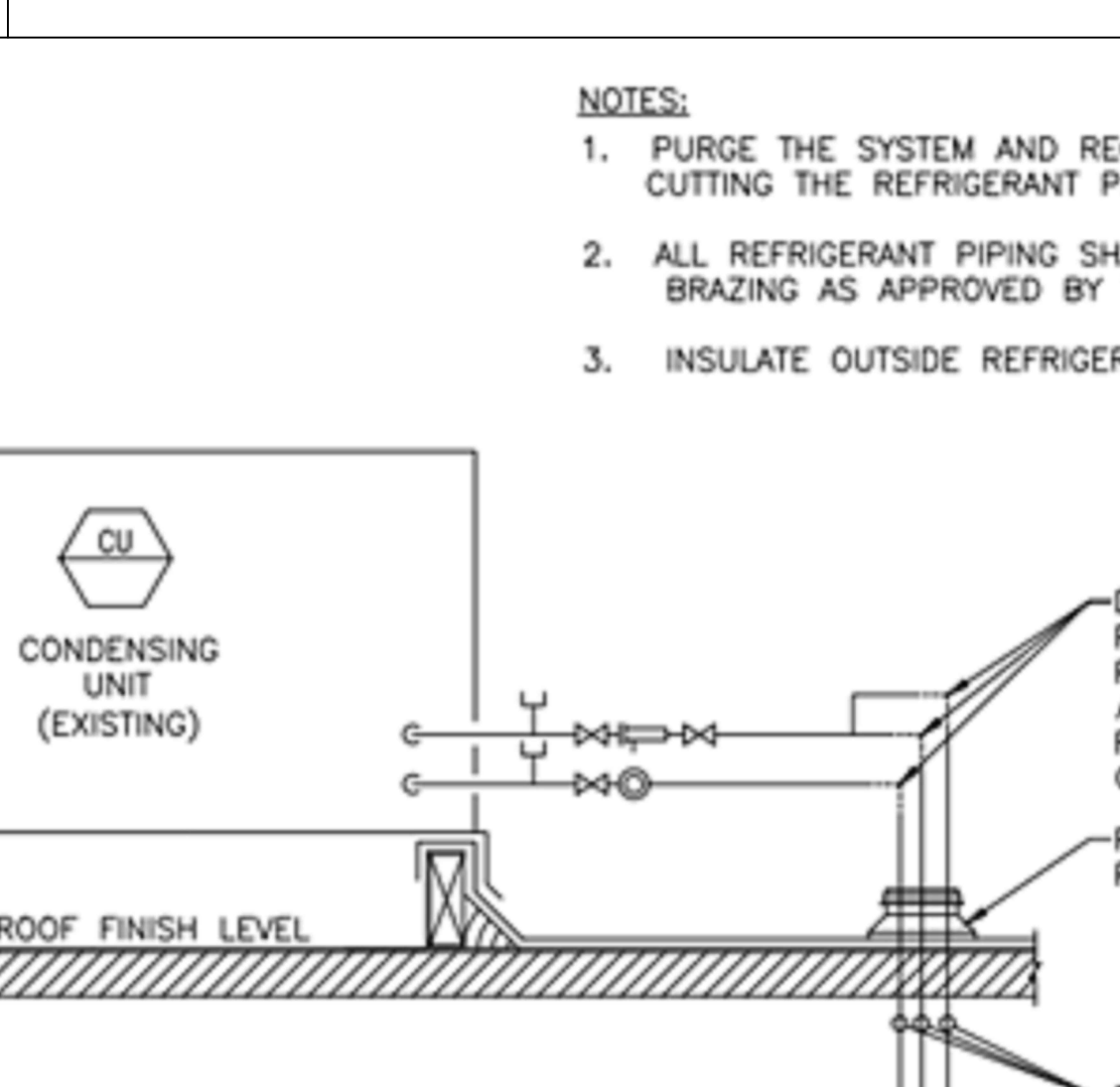
7 BASE FLASHING FOR NON-WALL-SUPPORTED DTL. TYP.
N.T.S. (DETAIL FOR REFERENCE ONLY, NOT FOR MODIFIED BITUMEN SYSTEM)



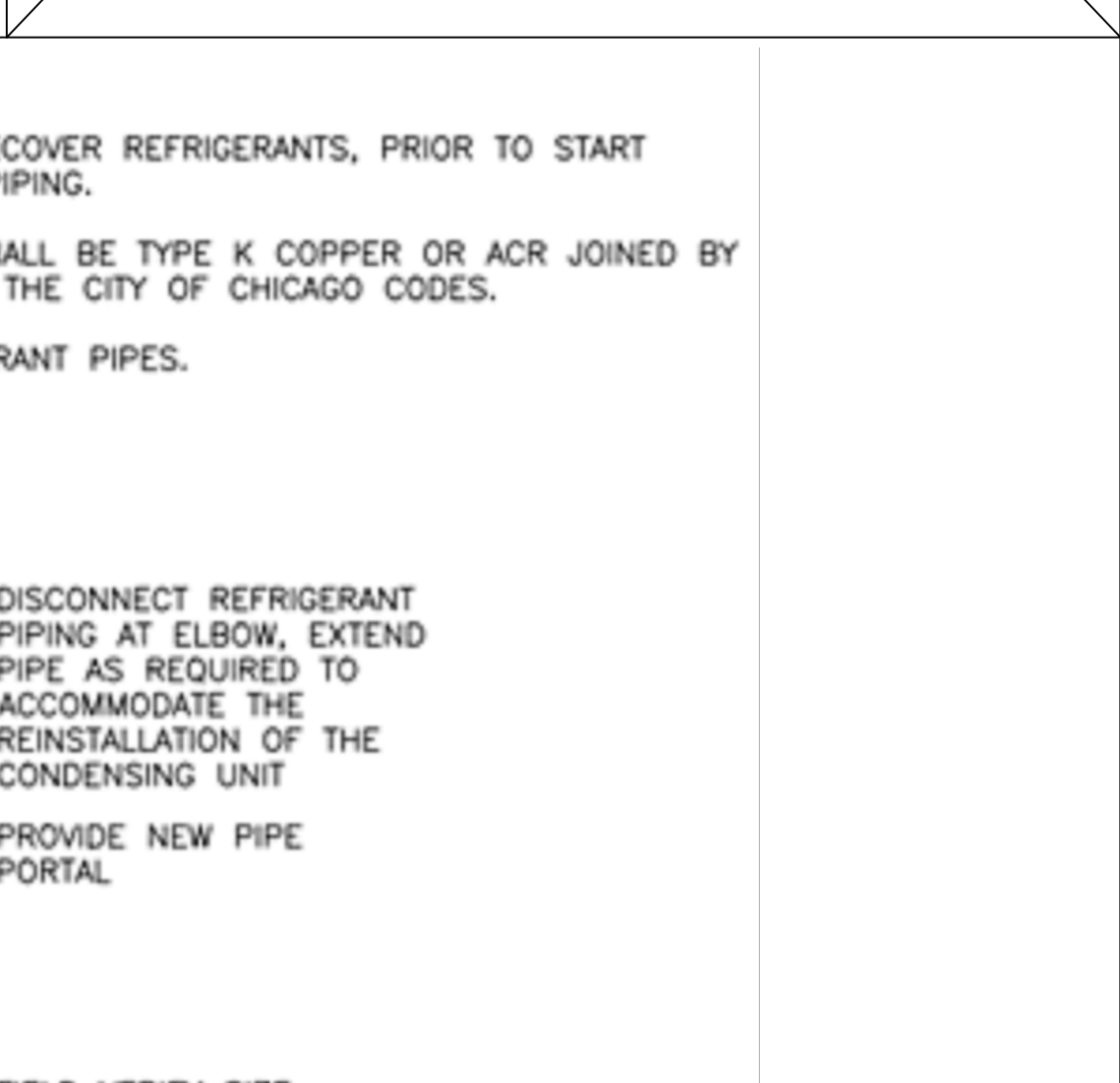
8 COUNTERFLASHING FOR MASONRY PARAPET WALL DTL. TYP.
N.T.S.



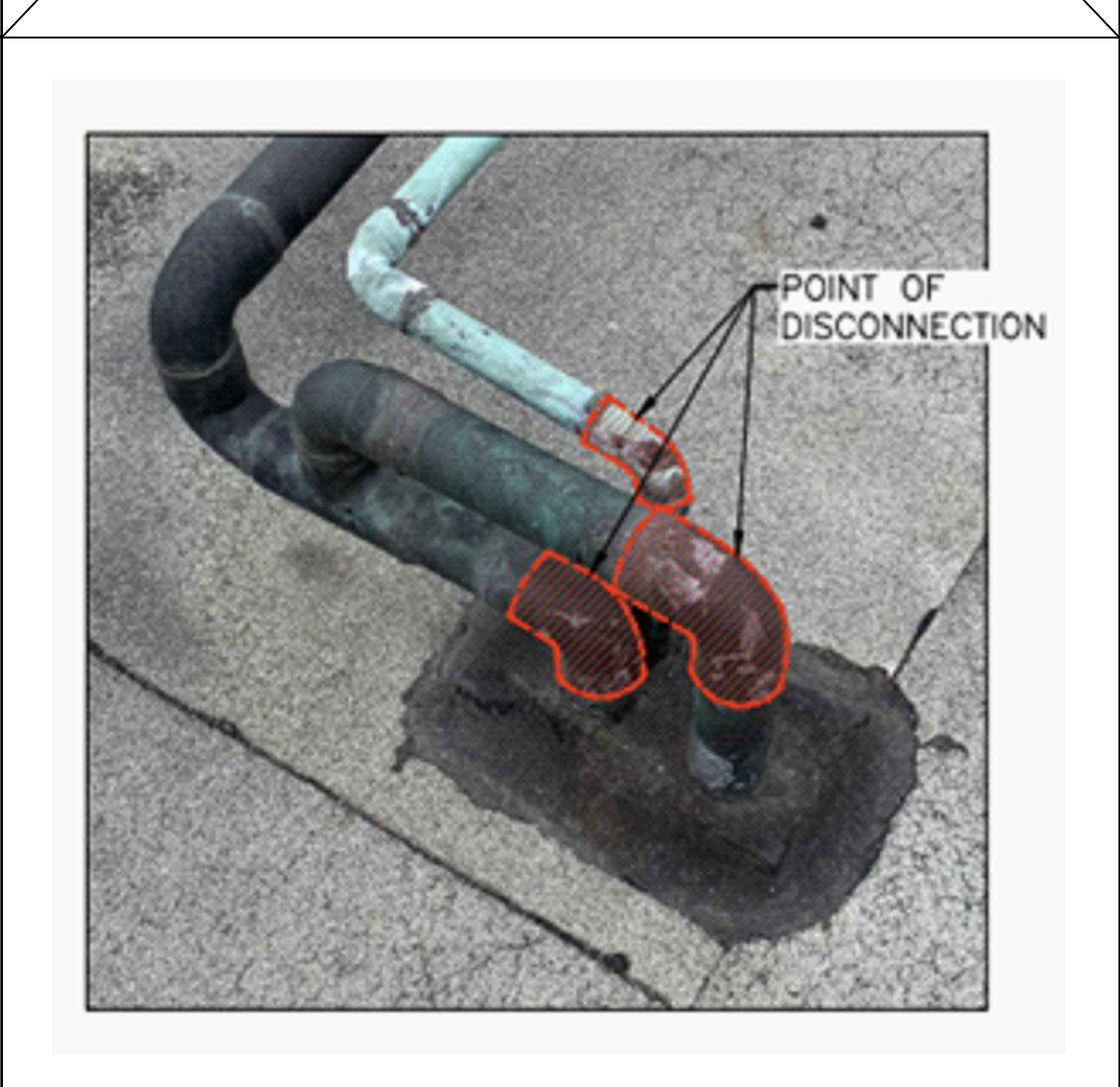
9 NEW CURB AT CONDENSING UNIT CONNECTION DETAIL TYP.
N.T.S.



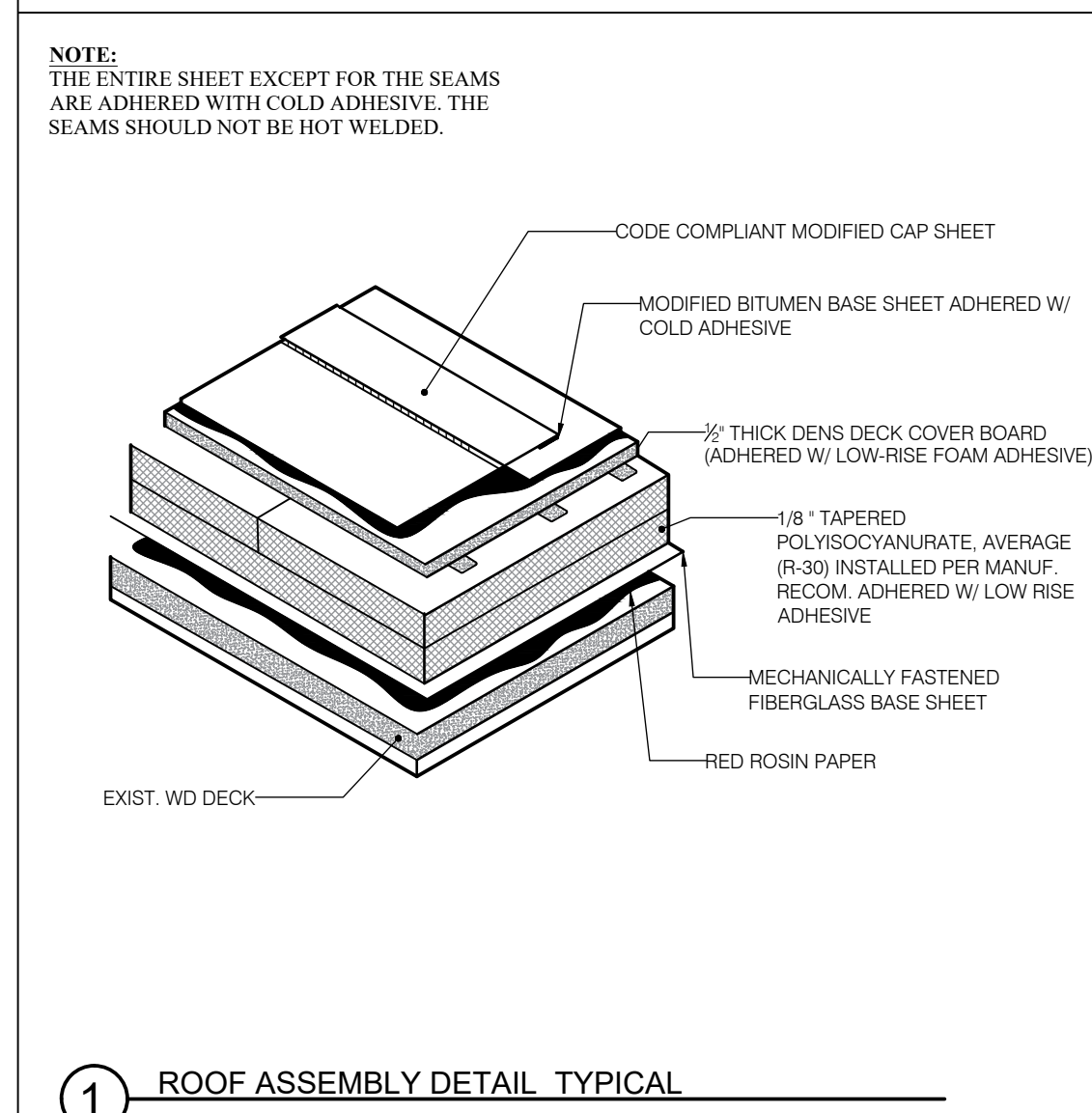
12 CONDENSING UNIT CONNECTION DETAIL TYP.
N.T.S.



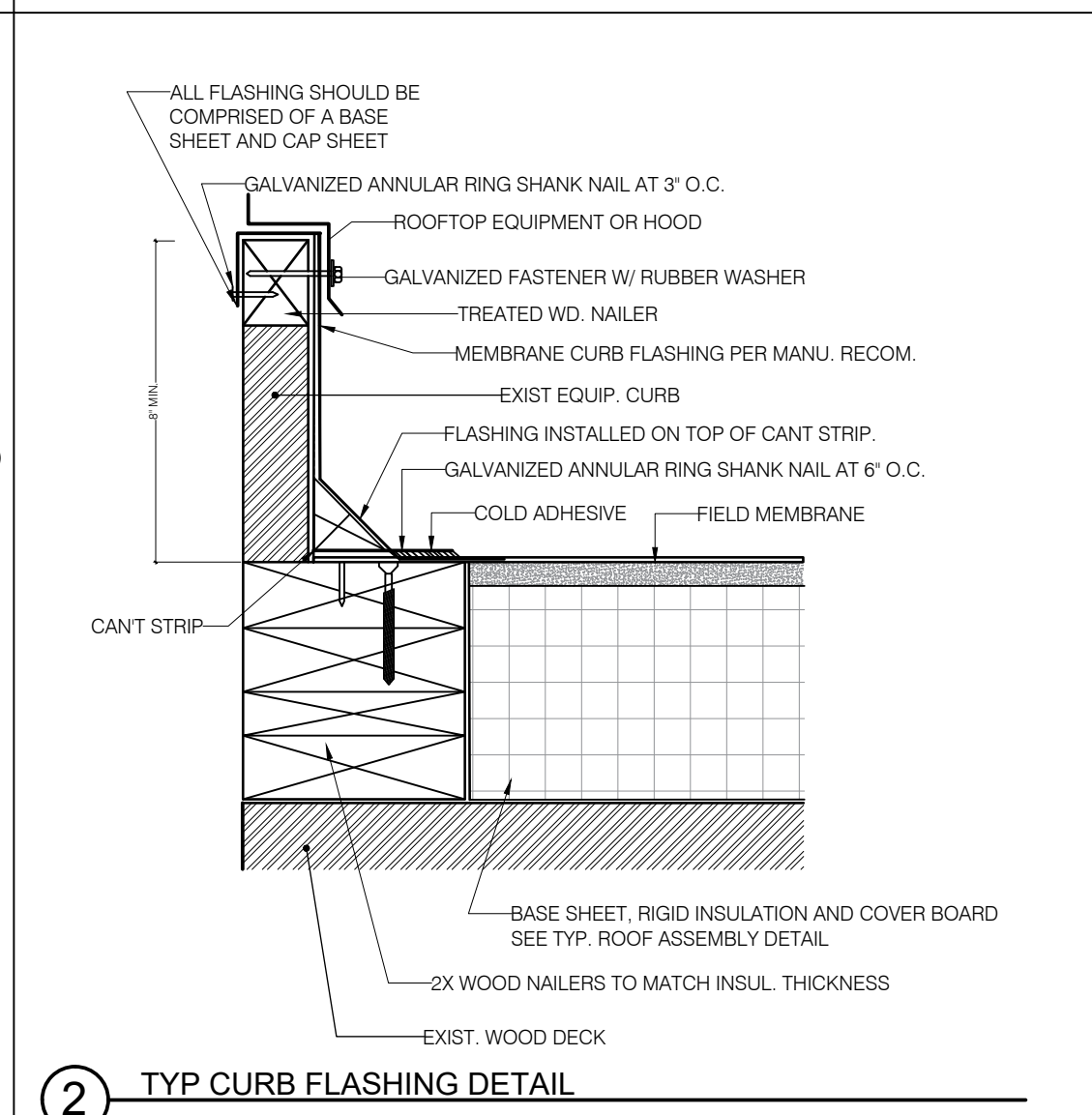
1 ROOF ASSEMBLY DETAIL TYPICAL
N.T.S.



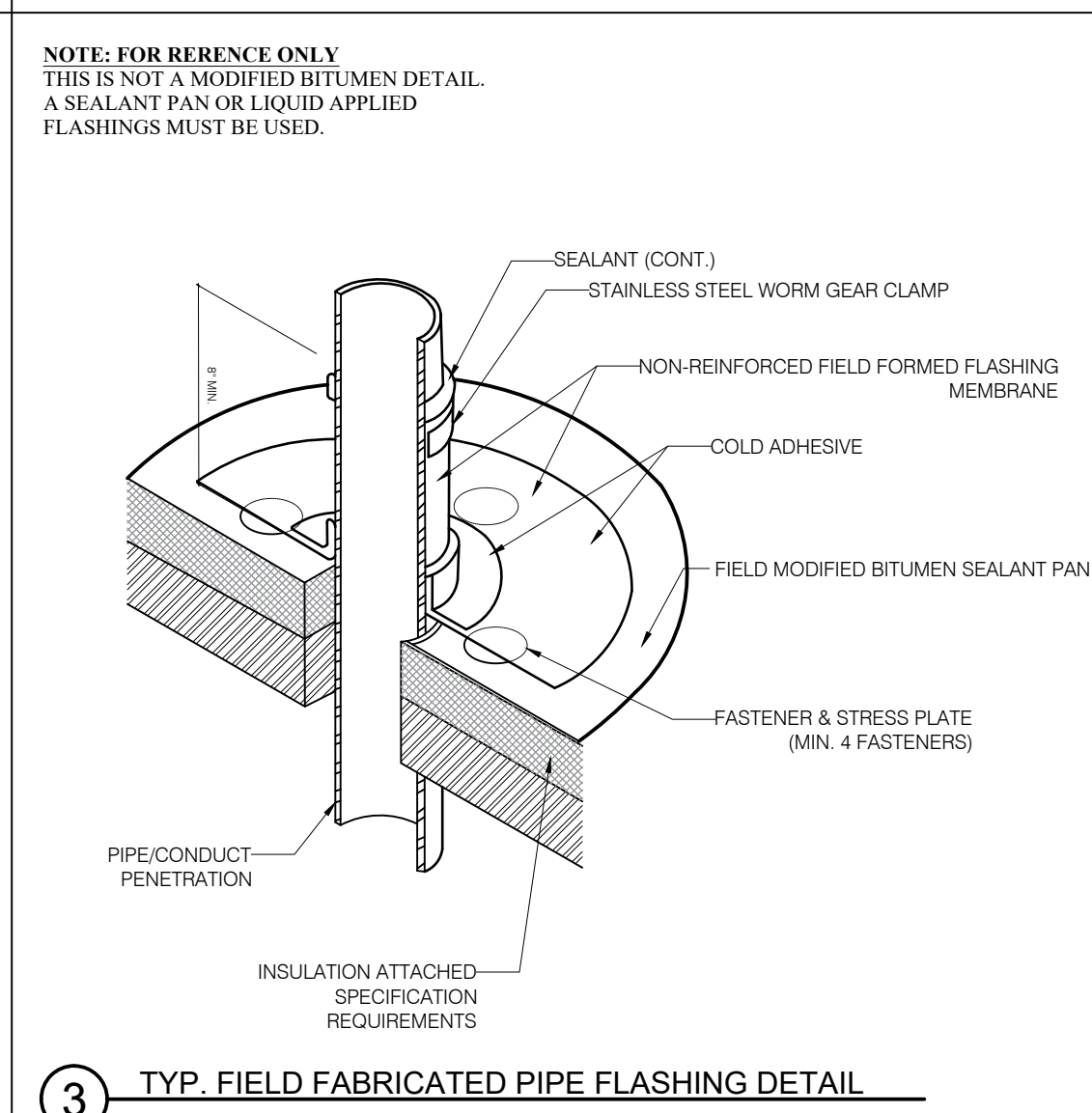
12 CONDENSING UNIT CONNECTION DETAIL TYP.
N.T.S.



2 TYP CURB FLASHING DETAIL
N.T.S. (FOR REFERENCE ONLY)



3 TYP. FIELD FABRICATED PIPE FLASHING DETAIL
N.T.S.



3 TYP. FIELD FABRICATED PIPE FLASHING DETAIL
N.T.S.

NOT USED

NOT USED

NOT USED

ISSUE FOR BID

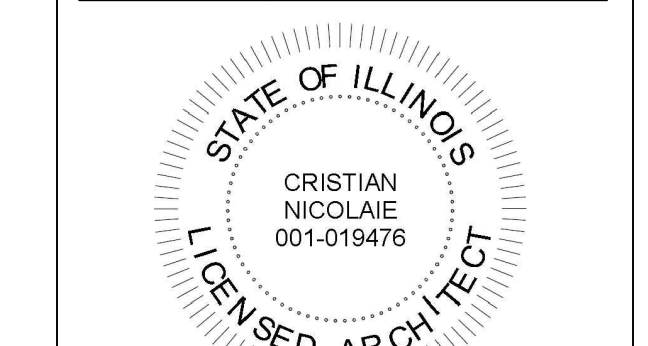


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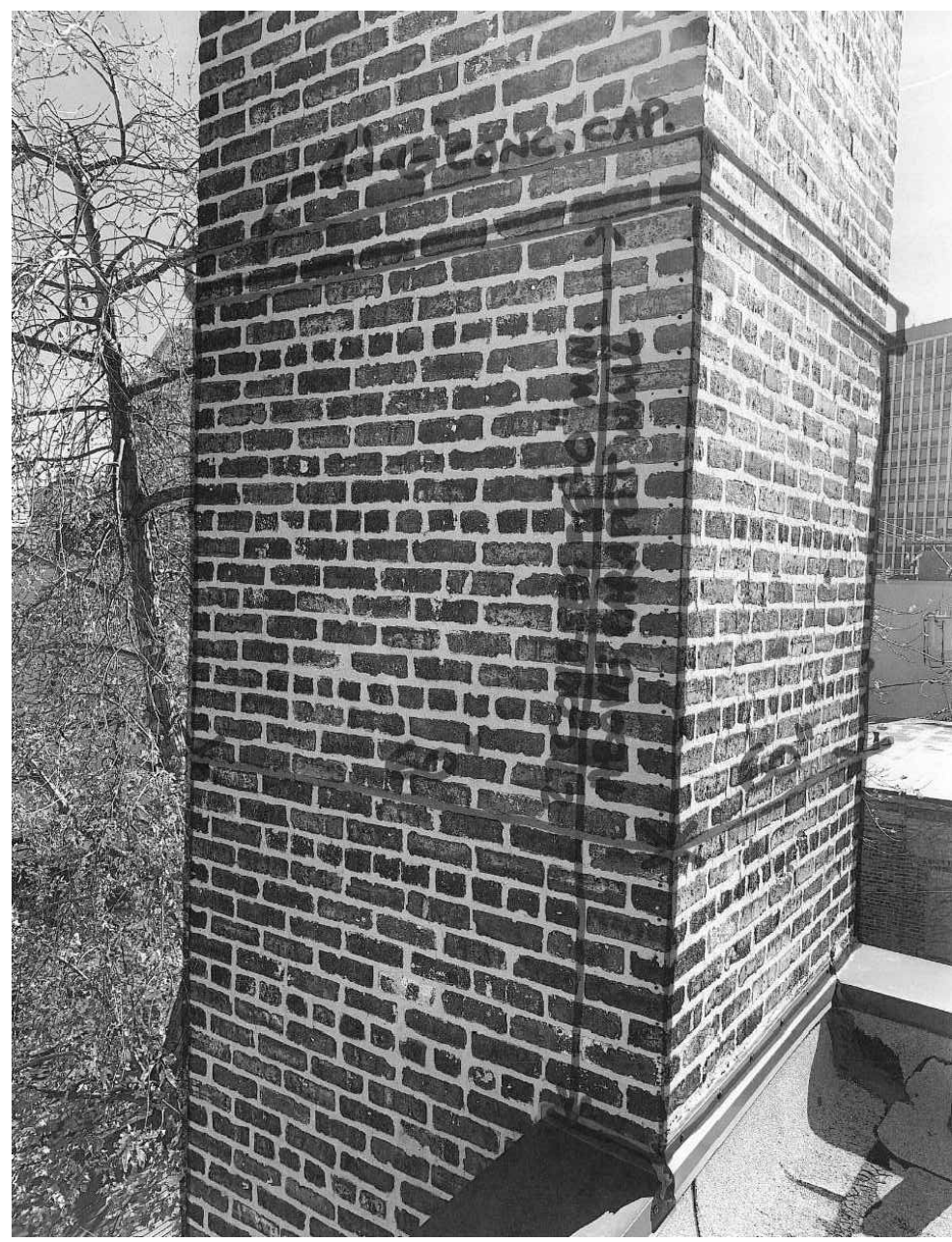
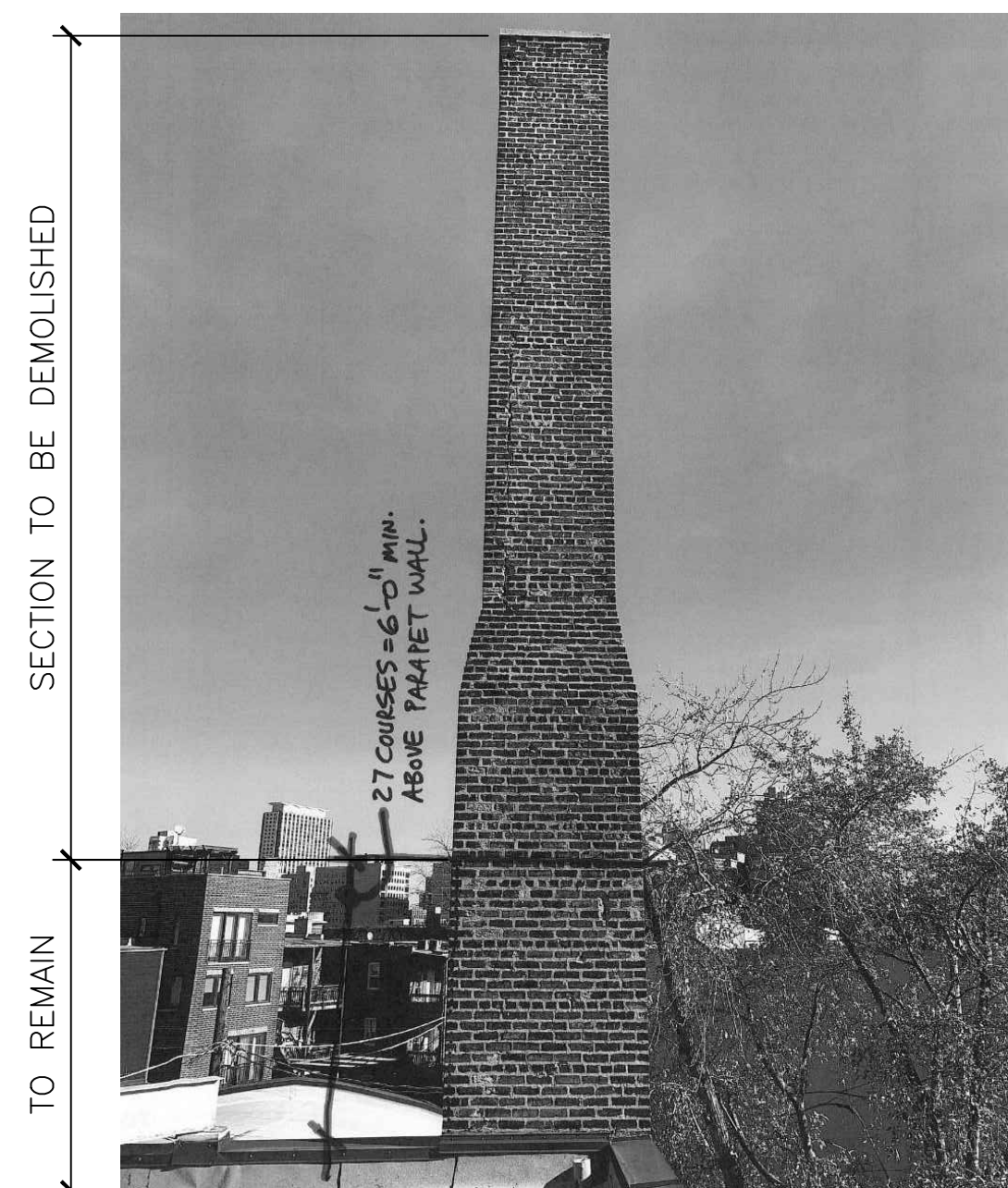
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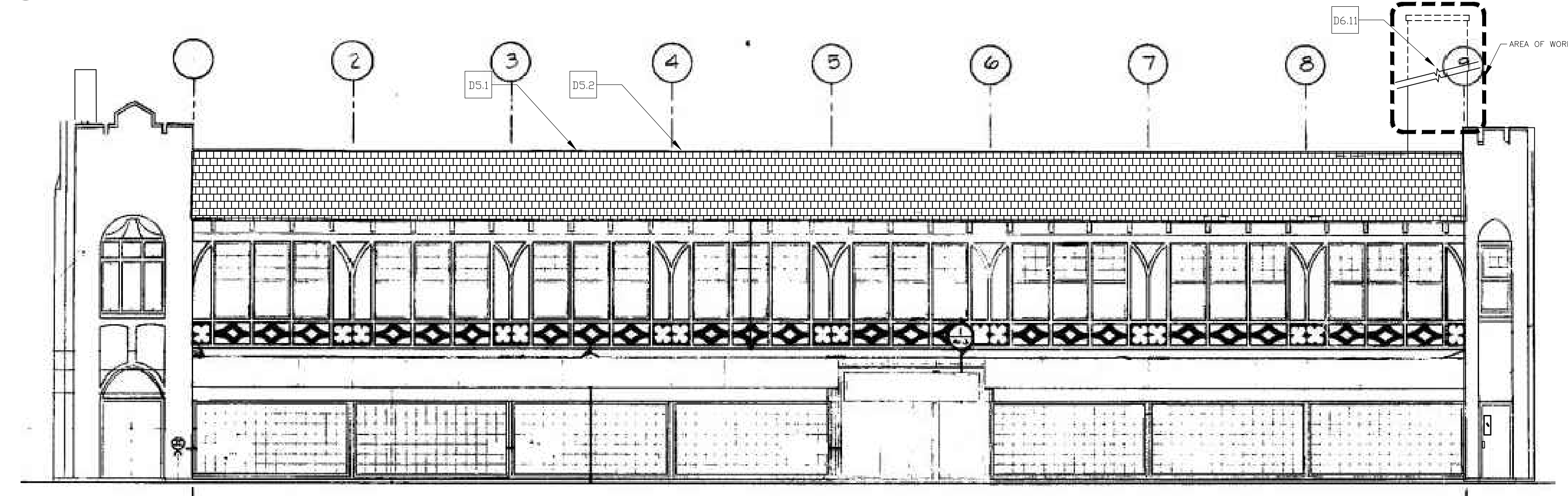
C3D
ARCHITECTS
C3D Architects LLC
1578 Maple St.
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cnicolae@c3darchitects.com

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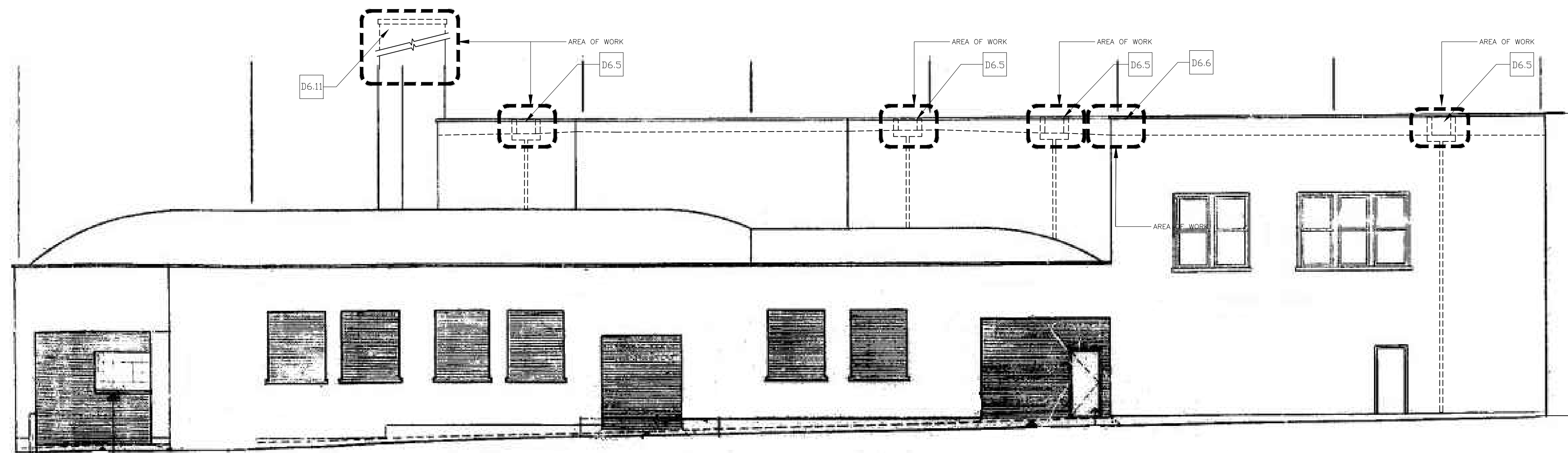
PBC Contract No.: 04031
AIS Project No.: 2021-F326-REN
Title:
ROOFING DETAILS
TYPICAL
CONDITION
Sheet
A-105



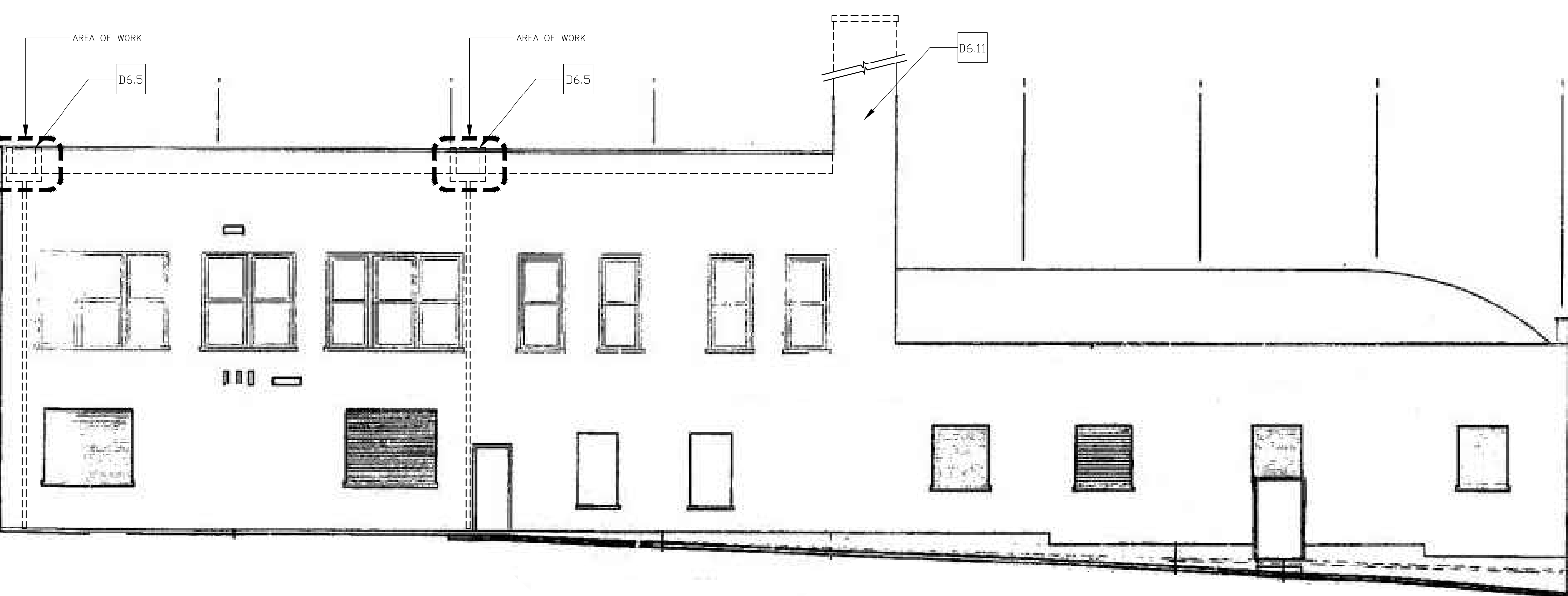
7 MASONRY CHIMNEY CAP DETAIL - ELEVATIONS DEMOLITION & RENOVATION
SCALE: NTS



4 FRONT ELEVATION (NORTH CLARK STREET)
SCALE: NTS



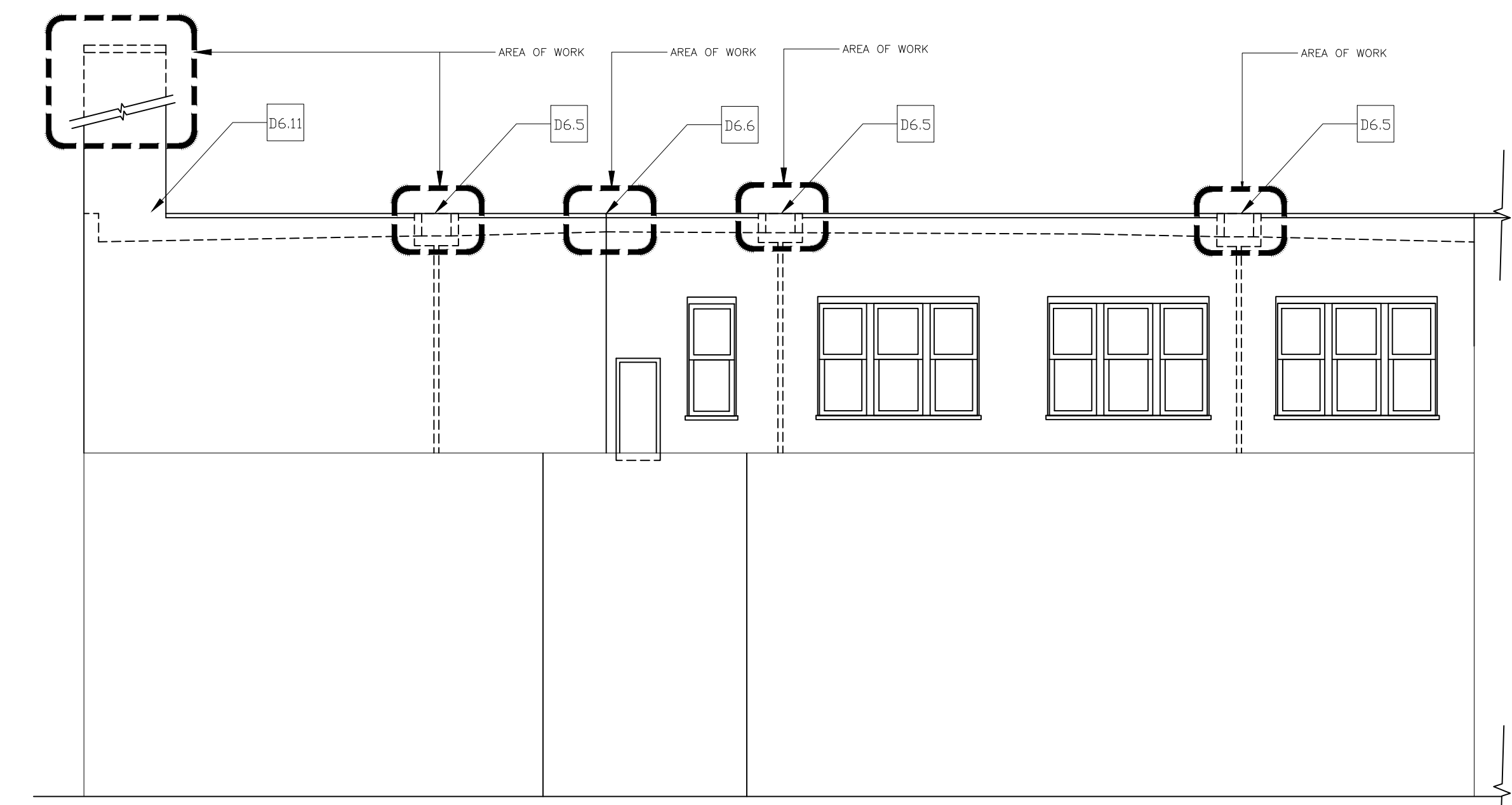
3 NORTH ELEVATION
SCALE: NTS



2 SOUTH ELEVATION
SCALE: NTS

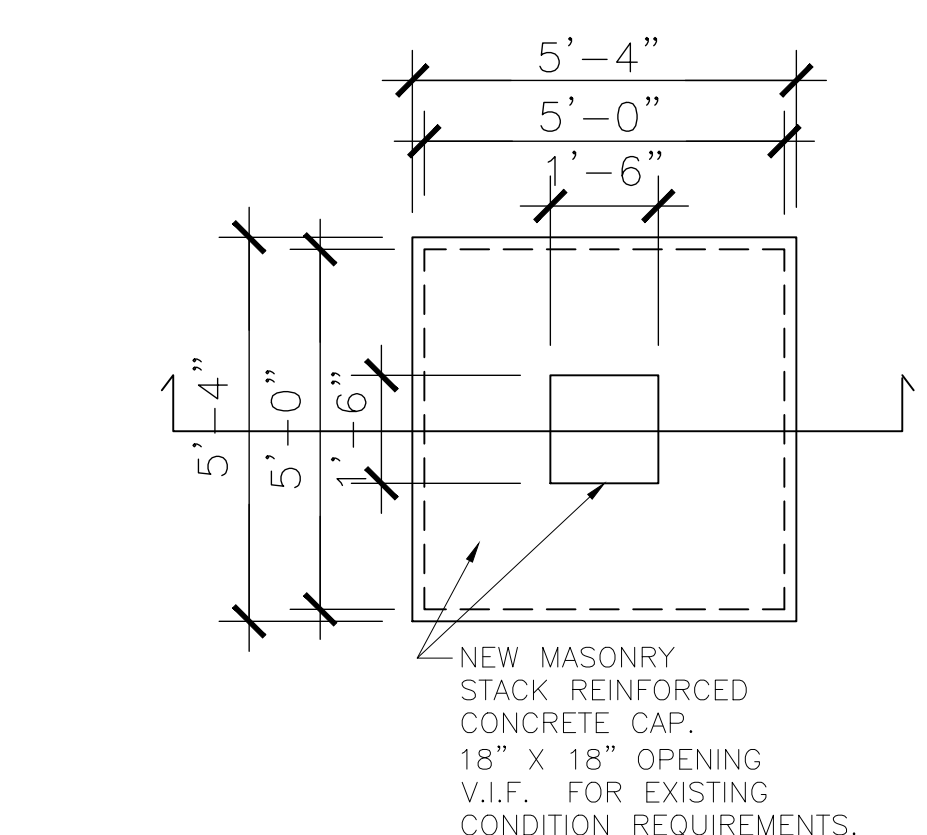
NOTE: ELEVATIONS SHOW DEMOLITION KEY NOTES. PLEASE REFER TO RENOVATION KEY NOTES, NOTES & DETAILS FOR RENOVATION SCOPE OF WORK.

1 BACK ELEVATION
SCALE: NTS



9 MASONRY CHIMNEY CAP DETAIL - PLAN
SCALE: 1/2" = 1'-0"

10 MASONRY CHIMNEY CAP DETAIL - SECTION
SCALE: 1" = 1'-0"



GENERAL DEMOLITION NOTES

- UNLESS OTHERWISE INDICATED, EXISTING CONSTRUCTION SHALL REMAIN. CONSTRUCTION TO BE REMOVED IS INDICATED WITH A DASHED LINE, HATCHED AND/OR NOTED TO BE REMOVED.
- THIS CONTRACT SHALL INCLUDE ALL SELECTIVE DEMOLITION ACTIVITIES THAT MAY BE REQUIRED FOR A FULL AND COMPLETE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION WORK. CONTRACTOR SHALL REPORT DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO ARCHITECT PRIOR TO BEGINNING DEMOLITION WORK.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AT ALL TIMES. DAMAGE TO EXISTING CONSTRUCTION TO REMAIN RESULTING FROM DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REMEDIATED AT CONTRACTOR'S EXPENSE.
- REMOVE ALL DEBRIS FROM SITE AND DISPOSE OF ALL MATERIAL IN A LEGAL AND RESPONSIBLE MANNER.
- WHERE CONSTRUCTION IS TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING OF ADJACENT CONSTRUCTION TO REMAIN AND REFINISHING ADJACENT CONSTRUCTION TO MATCH EXISTING.
- CONTRACTOR SHALL CONDUCT ALL ACTIVITIES IN SUCH A MANNER AS TO AVOID DISRUPTIONS TO THE REGULAR ACTIVITIES AND OPERATIONS THAT TAKE PLACE IN ADJACENT AREAS OF THE BUILDING. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO CONTROL DUST, NOISE AND ODOR MIGRATION TO ADJACENT BUILDING AREAS.
- CONTRACTOR SHALL COMMUNICATE WITH OWNER'S REPRESENTATIVE THE SCHEDULE FOR ALL ACTIVITIES WHICH COULD POTENTIALLY IMPACT THE OWNER'S OPERATION SUCH AS MOVEMENT OF MATERIALS AND EQUIPMENT OUTSIDE OF THE PROJECT SPACE. INTERRUPTIONS IN THE UTILITY SERVICE, ETC. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO BEGINNING SUCH ACTIVITIES.
- CONTRACTOR SHALL PROVIDE PROTECTION TO OCCUPANTS OF THE BUILDING AND PEDESTRIANS FROM THE CONSTRUCTION AREA AT ALL TIMES THROUGHOUT PROJECT.
- CONTRACTOR TO REMOVE ALL DEBRIS IN AN ORDERLY AND TIMELY MANNER. ALL DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
- DEMOLITION CONTRACTOR TO REMOVE ALL ABANDONED MECHANICAL EQUIPMENT, PIPING, DUCTWORK, AND ALL ASSOCIATED COMPONENTS. VERIFY PRIOR TO BIDDING SCOPE OF WORK REQUIRED WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR TO COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS FOR TEMPORARY SUPPORT OF EXISTING PIPING TO REMAIN.
- FOR ROOF COMPOSITION, PLEASE REFER TO ROOF SPECIFICATIONS.

DEMOLITION KEY NOTES

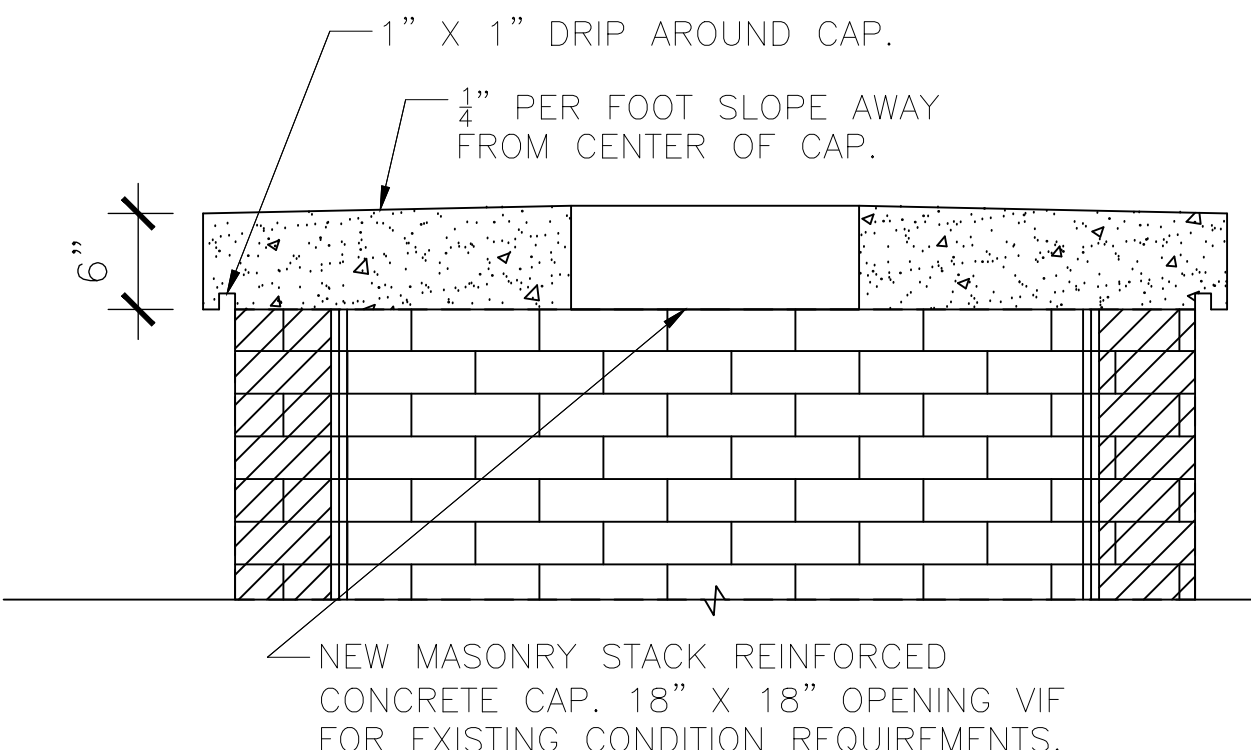
- EXTERIOR ENVELOPE**
- D5 NOT USED.
 - D5.1 MANSARD ROOF: REMOVE EXISTING ASPHALT SHINGLES ROOFING SYSTEM & DISPOSE OF PROPERLY 2,400 SF (V.I.F.).
 - D5.2 MANSARD ROOF DECK: REMOVE & DISPOSE APPROXIMATELY 15% (360 SF) OF DAMAGED ROOF DECK. PROVIDE SQUARE FOOT COST FOR ROOF DECK REPLACEMENT.
 - D6 NOT USED.
 - D6.1 2-STORY STRUCTURE MODIFIED BITUMEN ROOF SYSTEM: REMOVE & DISPOSE OF AREA OF NEW BITUMEN ROOFING SYSTEM IS APPROX. 10,168 SF.
 - D6.2 1X6XL WOOD ROOF DECKING: REMOVE & DISPOSE OF APPROX. 15% (1600 SF) OF ROOF TOTAL. PROVIDE SF. COST FOR REPLACEMENT.
 - D6.3 COPING: REMOVE & DISPOSE OF PROPERLY ALL COPING & PREPARE FOR REPLACEMENT. SEE SHEET A-104D.
 - D6.4 SCOURCE FLUORESCENT LIGHTING FIXTURES & BULBS: REMOVE EXISTING & DISPOSE OF PROPERLY.
 - D6.5 MASONRY PARAPET WALL REPAIR AT ALL 6 SCUPPERS: REMOVE EXISTING MASONRY PARAPET WALL AT SCUPPER SIDES & BELOW 15' AT ALL SIDES OF 30" WIDE SCUPPERS. REMOVE EXISTING DAMAGED, CRACKED, WORN-OUT MATERIALS (BRICK, MORTAR, WOOD DECK, ETC.) & DISPOSE OF PROPERLY. APPROX. (5X5' = 25 SF AT EACH SCUPPER). SEE SHEETS A-104D & A-405D.
 - D6.6 MASONRY PARAPET WALL REPAIR AT OPEN CORNERS & OTHER DAMAGED LOCATIONS (4 TOTAL): REMOVE EXISTING MASONRY PARAPET WALL AT DAMAGED CORNERS & BELOW APPROX. 2.5 FEET WIDE EACH WAY FROM CORNER. REMOVE EXISTING DAMAGED, CRACKED, WORN-OUT MATERIALS (BRICK, MORTAR, WOOD DECK, ETC.) & DISPOSE OF PROPERLY. APPROX. (5X5' = 25 SF AT EACH CORNER). SEE SHEETS A-104D & A-405D.
 - D6.7 NOT USED
 - D6.8 NOT USED
 - D6.9 ROOFING METAL ACCESSORIES: REMOVE & DISPOSE OF PROPERLY ALL GUTTERS, SCUPPERS, DOWNSPOUTS & PREPARE FOR REPLACEMENT. SEE SHEET A-104D.
 - D6.10 NOT USED
 - D6.11 CHIMNEY SCOPE: REMOVE EXISTING MASONRY CHIMNEY DOWN TO 6'-0" ABOVE EXISTING PARAPET COPING. PROTECT ALL EXISTING ADJACENT STRUCTURES AND EQUIPMENT AS NEEDED. DISPOSE OF ALL DEMOLISHED MATERIALS PROPERLY.

RENOVATION NOTES

- ALL DIMENSIONS AND AREAS SHOWN ON PLANS ARE APPROXIMATE DIMENSIONS AND ARE TO BE FIELD MEASURED PRIOR TO ORDERING MATERIALS.
- SEAL AND GROUT AS EARLY AS POSSIBLE FOLLOWING INSTALLATION.
- FINISH GROUT LEVEL TO BRICK SURFACE AND TOOL ACCORDINGLY TO MATCH EXISTING.
- WORK TO BE LEVEL, PLUMB AND SQUARE TO BE ALIGNED TO EXISTING.
- PAINTING CONTRACTOR TO PAINT REQUIRED SURFACES TO MATCH EXISTING AND ADJACENT SURFACES.
- CONTRACTOR TO PROVIDE LEVELING AND TRANSITION TRIMS TO ALL WORK AVOIDING ABRUPT CHANGES.
- CONTRACTOR TO SUBMIT SAMPLES TO OWNER & ARCHITECT FOR APPROVAL.

RENOVATION NOTES

- EXTERIOR ENVELOPE**
- R5 NOT USED
 - R5.1 MANSARD ROOF: PROVIDE NEW SHINGLE ROOFING SYSTEM. AREA OF NEW ROOFING SYSTEM IS APPROXIMATELY 2400 SF (V.I.F.)
 - R5.2 MANSARD ROOF DECK: REMOVE AND REPLACE 15% AREA OF DAMAGED WOOD DECK AREA WITH NEW 3/4" PLYWOOD DECK AND/OR MATCH EXISTING IN KIND. PROVIDE INSTALLED UNIT SQUARE FOOT COST.
 - R6 NOT USED
 - R6.1 2-STORY STRUCTURE BITUMEN ROOF SYSTEM: PROVIDE NEW MODIFIED BITUMEN ROOF SYSTEM. AREA OF NEW BITUMEN ROOFING SYSTEM IS APPROX. 10,168 SF. PROVIDE WALK PADS PER ROOFING MANUFACTURER SPECIFICATIONS. COORDINATE LAYOUT WITH CONFIGURATION OF MECHANICAL UNITS
 - R6.2 1X6XL WOOD ROOF DECKING STRUCTURE: PROVIDE NEW DECKING. APPROX. 15% (1600 SF) OF ROOF TOTAL. PROVIDE INSTALLED SF COST FOR RENOVATION.
 - R6.3 INSTALL NEW COPING & FLASHING TO MATCH EXISTING IN-KIND. SEE SHEET A-105.
 - R6.4 NOT USED
 - R6.5 MASONRY PARAPET WALL REPAIR AT ALL (6) SCUPPERS: PROVIDE NEW MASONRY & MATERIALS, REBUILD PARAPET WALL AT SCUPPER SIDES & BELOW 15' AT ALL SIDES OF 30" WIDE SCUPPERS. PROVIDE ICE & WATER SHIELD ALL AROUND 3 FEET OF SCUPPER LOCATIONS. APPROX. (5X5' = 25 SF @ EACH SCUPPER). SEE DETAILS 5A-405.
 - R6.6 PARAPET WALL REPAIR AT OPEN CORNERS & OTHER DAMAGED LOCATIONS (4 TOTAL): PROVIDE NEW MASONRY & MATERIALS, REBUILD PARAPET WALLS AT ALL OPEN CORNERS & DAMAGED AREAS: 2.5 FEET WIDE EACH WAY FROM CORNER. PROVIDE ICE & WATER SHIELD ALL AROUND 3 FEET OF OPEN CORNERS & DAMAGED AREAS. APPROX. (5' x 5' = 25 SF AT EACH CORNER). SEE SHEET A-104R.
 - R6.7 NOT USED
 - R6.8 NOT USED
 - R6.9 ROOFING METAL ACCESSORIES: PROVIDE & INSTALL NEW GUTTERS, SCUPPERS, & DOWNSPOUTS. MATCH EXISTING IN-KIND. SEE SHEET A-105.
 - R6.10 NOT USED
 - R6.11 CHIMNEY SCOPE: AFTER DEMOLITION IS COMPLETE, CLEAN & WASH THOROUGHLY WITH POTABLE WATER. TUCK-POINT EXISTING MASONRY CHIMNEY AS REQUIRED. INSTALL NEW 6" REINFORCED CONCRETE CHIMNEY CAP. PROTECT ALL EXISTING ADJACENT STRUCTURES AND EQUIPMENT AS NEEDED. DISPOSE OF ALL DEBRIS PROPERLY. REFER TO SHEET A-405 DETAILS 7, 9 AND 10.



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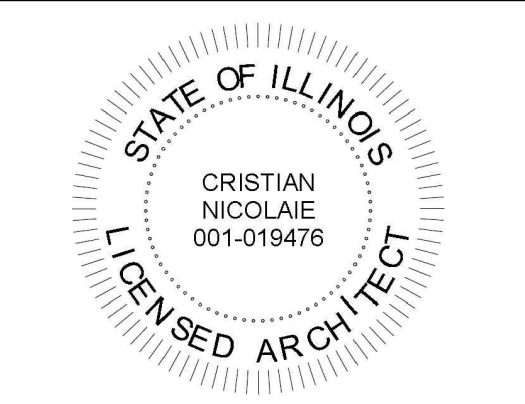
CIP
- LAKEVIEW HEALTH CENTER -
EXTERIOR UPGRADES
2849-61 NORTH CLARK ST.
CHICAGO, IL 60657
ASSETS, INFORMATION AND SERVICES
CITY OF CHICAGO, COMMISSIONER SANDRA BLAKEMORE

Architect / Engineer of Record:
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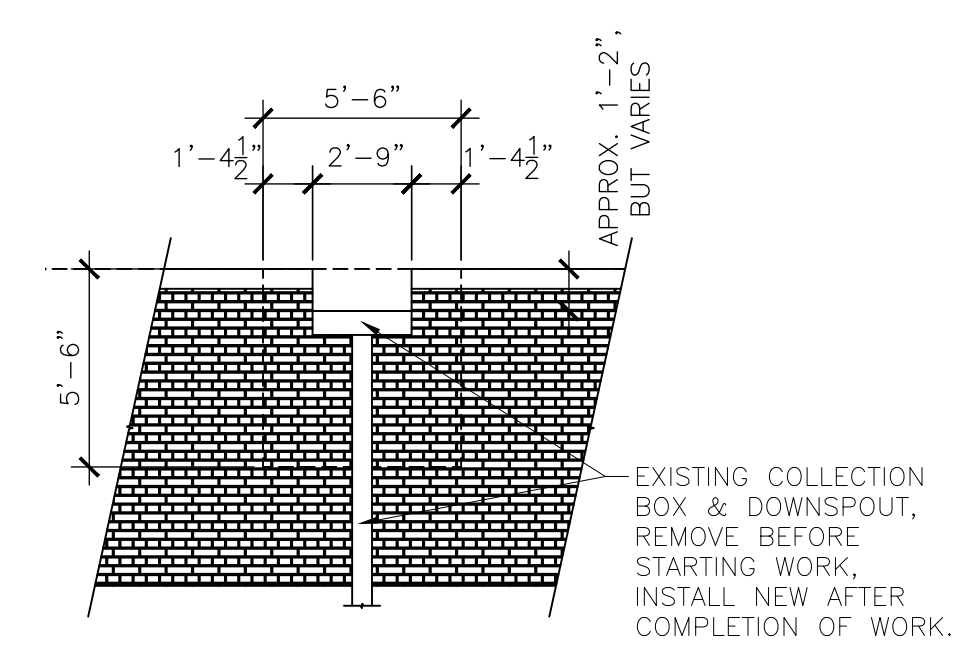
Issuance	Mark	Description	Date
SD		SCHEMATIC DESIGN	11-30-21
DD		DESIGN DEVELOPMENT	01-06-22
CD		60% CONST. DOCUMENTS	01-26-22
CD		UPDATED 60% CD	02-28-22
CD		80% UPDATED	03-10-22
CD		90% CONST. DOCUMENTS	04-08-22
CD		90% CD PERMIT SET	05-06-22
CD		90% CD FINAL PERMIT SET	05-20-22
CD		90% CD FINAL BID SET	08-22-22
CD		90% CD BID SET REV1	10-10-22
CD		ENVIRONMENTAL REVIEW	10-20-22
CD		90% CD BID SET REV2	01-16-23
IFB		ISSUE FOR BID	06-07-23
IFB		ADDENDUM 1	06-23-23

PBC Project Name: LAKEVIEW HEALTH CENTER
PBC Contract No.: 04031
AIS Project No.: 2021-F326-REN

EXTERIOR ELEVATIONS - DEMOLITION & RENOVATION

Sheet **A-405**

5 SCUPPER REPAIR DETAIL
SCALE: NTS



APPROXIMATE EXTENT OF SCUPPER REPAIRS