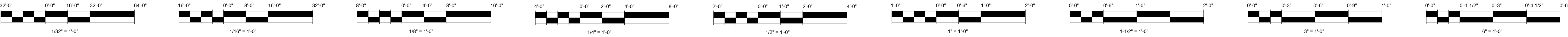


SHEET

# G1.0



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DIRKSEN ES. ANNEX  
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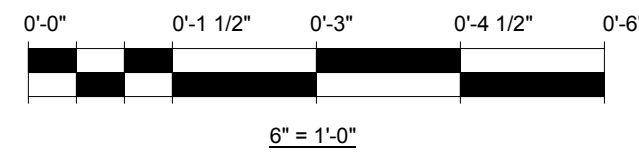
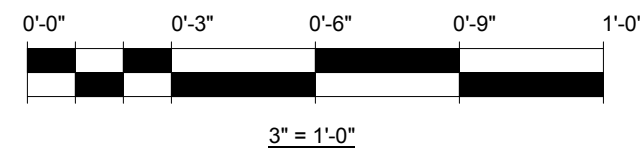
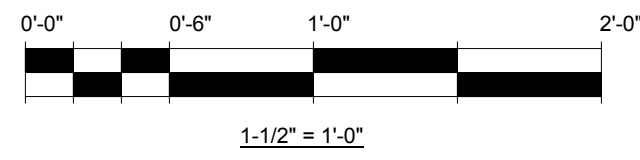
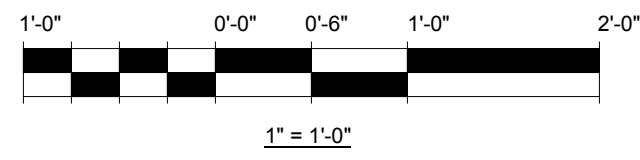
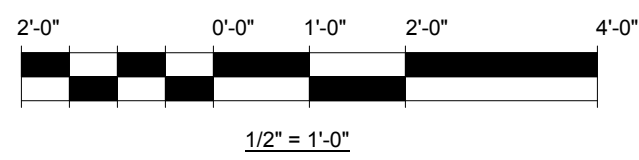
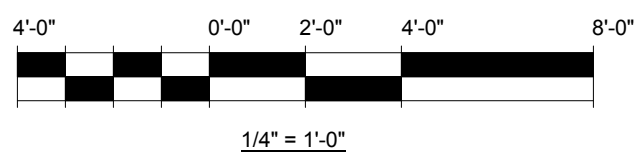
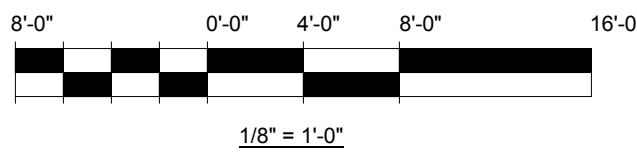
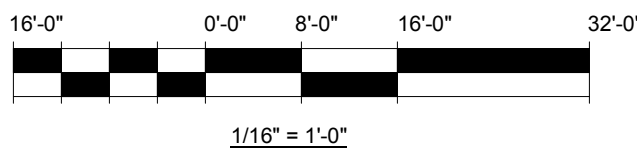
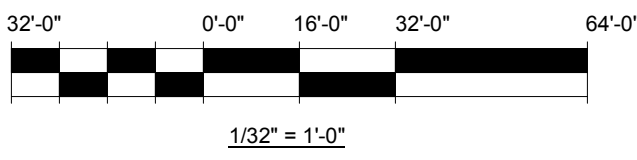
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MARK	DESCRIPTION	DATE
1	50 % SCHEMATIC DESIGN	11.02.2018

PBC Project Name: DIRKSEN ES. ANNEX & RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
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SHEET  
G1.1





## ABBREVIATIONS

<b>A</b>	
AB	ANCHOR BOLT
AC	AIR CONDITIONER
ACP	ALUMINUM COMPOSITE PANEL
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
ADAA	ADA ACCESSIBLE
ADAAG	ADA ACCESSIBILITY GUIDELINES
ADJ	ADJUSTABLE OR ADJACENT
AFF	ABOVE FINISH FLOOR
ALS	ACRYLIC LATEX SEALANT
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZE
AP	ACCESS PANEL
APPROX	APPROXIMATELY
APT	APARTMENT
AR	ABUSE RESISTANT
ARCH	ARCHITECTURAL
AS	ACOUSTICAL SEALANT
ASSOC	ASSOCIATED
ACT	ACOUSTIC TILE
ATTEN	ATTENUATION

<b>B</b>	
B/	BOTTOM OF
B-MARK	BENCHMARK
BD	BOARD
BEJ	BUILDING EXPANSION JOINT
BOT	BOTTOM
BJF	BITUMINOUS JOINT FILLER
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
BMT	BUTYLMASTIC TAPE SEALANT
BRK	BRICK
BRs	BUTYL RUBBER SEALANT
BTWN	BETWEEN

<b>C</b>	
C/C	CENTER TO CENTER
CAB	CABINET
CCTV	CLOSED CIRCUIT TELEVISION
CB	CATCH BASIN
CF	CUBIC FOOT/FEET
CFRG	CERAMIC FIRE RATED GLASS / GLAZING
CJ	CONTROL JOINT (CONCRETE, CMU)
CJF	CORK JOINT FILLER
CL	CENTER LINE
CLG	CEILING
CLO	CLOSET
CLR	CLEAR OPENING
CLSRM	CLASSROOM
COL	COLUMN
CONC	CONCRETE
CONCP	CONCRETE PAINTED
COND	CONDITION
CONST	CONSTRUCTION
CONTR	CONTRACTOR
CONT	CONTINUOUS
CORR	CORRIDOR
CPT	CARPET
CMU	CONCRETE MASONRY UNIT
CMUP	CMU PAINTED
CO	CLEAN OUT
COORD	COORDINATE
CT	CERAMIC TILE

<b>D</b>	
DEMO	DEMOLITION / DEMOLISH
DES	DESIGN
DF	DRINKING FOUNTAIN
DH	DOUBLE HUNG
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DOWN SPOUT
DTL	DETAIL
DWG	DRAWING
DWM	DEPARTMENT OF WATER MANAGEMENT

<b>E</b>	
EA	EACH
EC	EXPOSED CONSTRUCTION / ELECTRICAL CONTRACTOR
ECF	EXPOSED CONSTRUCTION PAINTED
EFIS	EXPANDING FOAM TAPE SEALANT
EJ	EXTERIOR INSULATED FINISH SYSTEM
EJ	EXPANSION JOINT (BRICK MASONRY)
ELEV	ELEVATION
ELEC	ELECTRIC(AL)
ELEV	LAVATION / ELEVATIONS
EM	EMERGENCY
ENCL	ENCLOSURE
EQ	EQUVALENT
ETC	ET CETERA
EX	EXISTING
EXH	EXHAUST
EXISTG	EXISTING
EXP	EXPANSION
EXT	EXTERIOR

<b>F</b>	
FACP	FIRE ALARM CONTROL PANEL
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDTN	FOUNDATION
FE	ABC FIRE EXTINGUISHER (SURFACE MOUNT)
FEC	ABC FIRE EXTINGUISHER + CABINET (RATED AS REQ.)
FHS	FIRE HOSE STATION
FIN	FINISH
FIX	FIXTURE(S)
FLR	FLOOR
FLSHG	FLASHING
FF&E	FURNITURE FURNISH & EQUIPMENT
F.F.E	FINISH FLOOR ELEVATION
FT	FOOT
F.T.	FIRE TREATED
FTG	FOOTING

<b>G</b>	
GA	GAGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GFCMUG	GROUND FACE CONCRETE MASONRY UNITS
GL	GLASS
GRND	GROUND
GSP	GROSS SQUARE FOOT / FEET
GYP	GYP SUM
QWB	GYP SUM WALL BOARD

<b>H</b>	
HB	HARD BOARD
HC	HOLLOW CORE
HD	HOT DIPPED (GALVANIZED)
HDWR	HARDWARE
HNCG	HOLLOW NEOPRENE COMPRESSION GASKET
HORIZ	HORIZONTAL
HM	HOLLOW METAL
HP	HIGH POINT
HR	HOOR
HT	HEIGHT
HTG	HEATING

<b>I</b>	
IAC	ILLINOIS ACCESSIBILITY CODE
IE	THAT IS
ID	INSIDE DIAMETER
IN	INCH
INCL	INCLUDE(IN)
INFO	INFORMATION
INSUL	INSULATED, (ION)
INT	INTERIOR

<b>J</b>	
J-BOX	JUNCTION BOX
JC	JANITOR CLOSET
JT	JOINT

<b>K</b>	
KIT	KITCHEN
<b>L</b>	
L	LENGTH, LONG
LAM	LAMINATED
LAV	LAVATORY
LBL	LABEL
LF	LINEAR FOOT / LINEAR FEET
LP	LOW POINT
LR	LIVING ROOM
LS	LIMESTONE
LT	LIGHT
LVL	LEVEL
<b>M</b>	
MAS	MASONRY
MACH	MACHINE
MATL	MATERIAL(S)
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MED	MEDIUM
MEP	MECHANICAL, ELECTRICAL & PLUMBING
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MR	MOISTURE RESISTANT
MTD	MOUNTED
MULL	MULLION
MTL	METAL
MV	WATER METER VAULT

<b>N</b>	
NC	NOISE CRITERIA
NFWH	NON-FREEZE WALL HYDRANT
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NRG	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE

<b>O</b>	
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHANG
OPEN'G	OPENING
OPP	OPPOSITE

<b>P</b>	
PART	PARTITION
PBMR	PRE-SHIMMED BUTYL MASTIC
PERP	PERPENDICULAR
PL	PLASTIC OR PLATE
PL LAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLWD	PLYWOOD
PNL	PANEL
PR	PAIR
PREFAB	PREFABRICATED
PREFIN	PREFINISHED
PREP	PREPARE / PREPARATION
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PAINT
PTD	PAINTED FINISH

<b>Q</b>	
QT	QUARRY TILE
QTY	QUANTITY
QUANT	QUANT QUANTITY

<b>R</b>	
R	RISER
RAD	RADIUS
RAD COVER	FIN TUBE RADIATOR COVER
RB	RESILIENT BASE
RD	ROOF DRAIN
REC	RECESSED
REF	REFERENCE
REFRFRZ	REFRIGERATOR / FREEZER
REINF	REINFORCED
REQ'D	REQUIRED
RET	RETURN(ED)
REV	REVISION
RM	ROOM
RO	ROUGH OPENING

<b>S</b>	
SAFB	SOUND ATTENUATION FIRE PLANKET
SC	SOLID CORE
SECT	SECTION
SGT	STRUCTURAL GLAZED TILE
SHLVG	SHELVING
SHT	SHEET
SHTG	SHEETING
SM	SIMILAR
SPEC	SPECIFICATION
SPRKL	SPRINKLER
SQ	SQUARE
SF	SQUARE FOOT
SQ IN	SQUARE INCH
SS	STAINLESS STEEL
ST	SEALANT TAPE
STC	SOUND TRANSMISSION COEFFICIENT
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SURF	SURFACE
SUSP	SUSPENDED
SV	SHEET VINYL

<b>T</b>	
T	TREAD
T/	TOP OF
T+G	TONGUE & GROOVE
TB	TOWEL BAR
TEL	TELEPHONE
TERR	TERRAZZO
THK	THICKNESS
TT	TRAFFIC TOPPING
TYP	TYPICAL

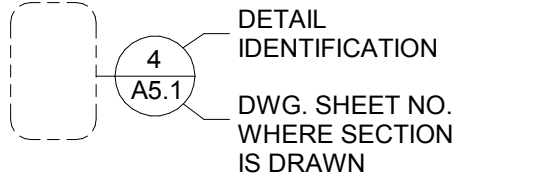
<b>U</b>	
UL	UNDERWRITERS LABORATORY
UNO	UNLESS NOTED OTHERWISE
UR	URNAL
UTIL	UTILITY(IES)

<b>V</b>	
V	VINYL
VB	VINYL WALL BASE
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VEST	VESTIBULE
VF	VERIFY IN FIELD
VR	VAPOR RETARDED
VWB	VINYL WALL BASE
VWC	VINYL WALL COVERING

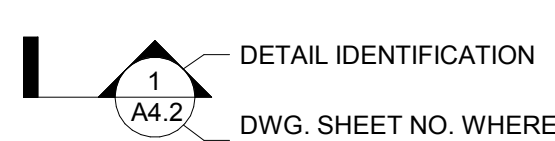
<b>W</b>	
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WIN	WINDOW(S)
WP	WORK POINT
WPR	WATERPROOFING
WR	WATER RESISTANT
WT	WEIGHT
WV	WATER VAULT

## SYMBOLS & MATERIAL LEGEND

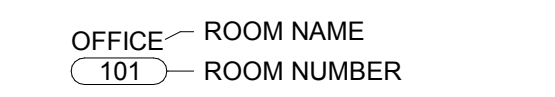
### DETAIL SYMBOL



### BUILDING SECTION SYMBOL



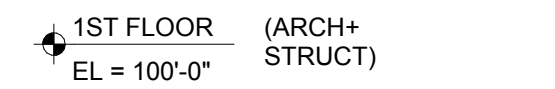
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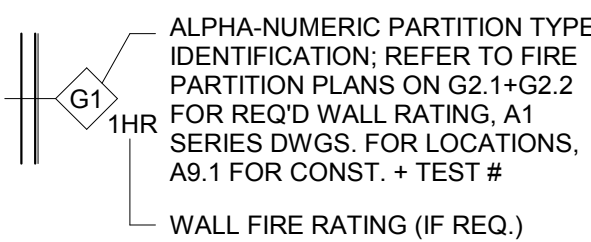
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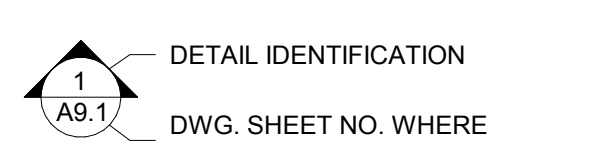
### ELEVATION SYMBOL



### PARTITION SYMBOL



### ELEVATION SYMBOL



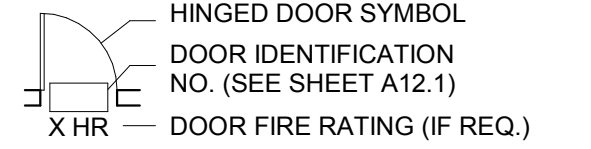
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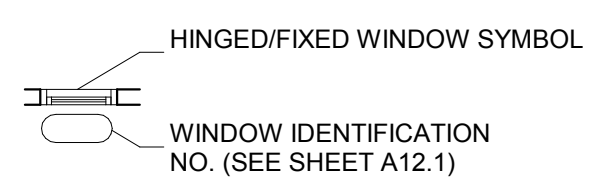
### INTERIOR



### DOOR / LITE SYMBOL



### WINDOW SYMBOL



	CONCRETE (CAST IN PLACE OR PRECAST)		WOOD, FINISHED
	BRICK		WOOD, ROUGH
	CONCRETE MASONRY UNIT		STRUCTURAL STEEL LARGE SCALE
	EARTH		MISC METAL LARGE SCALE
	BATT INSULATION		STRUCTURAL STEEL SMALL SCALE
	GASKET / COMPRESSIBLE FILLER		GLAZED MASONRY UNIT / NOTED
	SEALANT & BACKER ROD		RIGID INSULATION
	CONTINUOUS WOOD BLOCKING		RIGID INSULATION, TAPERED
	INTERMITTENT BLOCKING / SHIMS		STEEL / STAINLESS STEEL
	GRAVEL / GRANULAR FILL		LIMESTONE OR CAST STONE / NOTED
	PLASTER / CEMENT PLASTER		MORTAR / SETTING BED
	DRYWALL (GYPSUM BOARD)		PLYWOOD
	MEMBRANE		
	ACOUSTICAL TILE		
	GLASS		
	CARPET		
	ALUMINUM		



# DIRKSEN ES. ANNEX & RENOVATION

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ISSUANCE		
MARK	DESCRIPTION	DATE

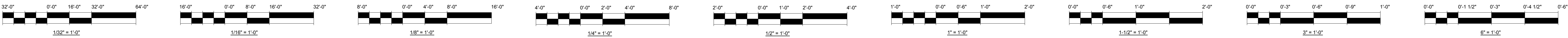
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PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
ARCHITECTURAL  
ABBREVIATIONS & SYMBOLS

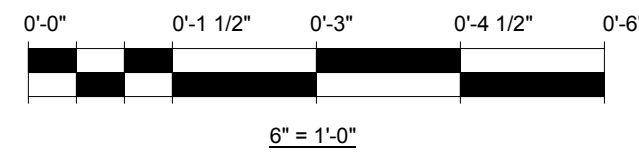
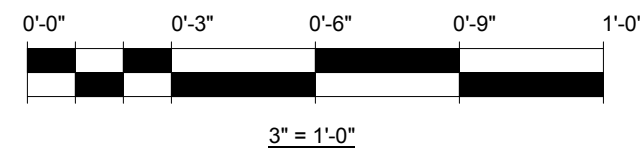
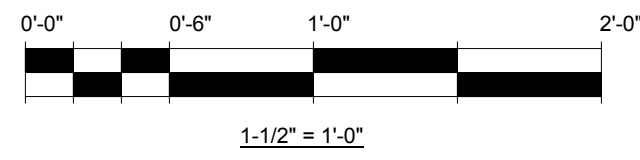
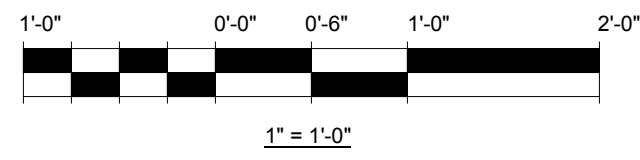
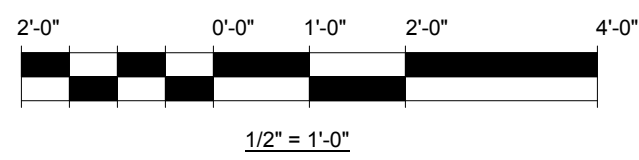
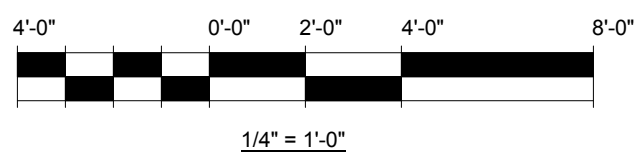
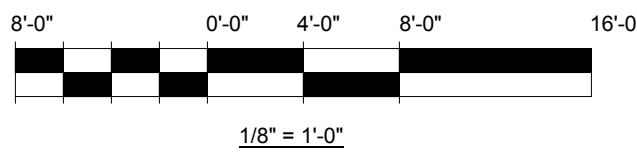
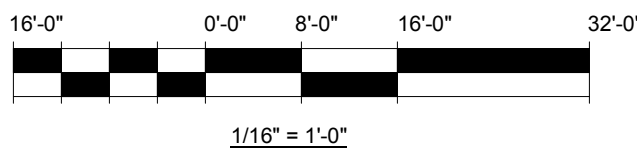
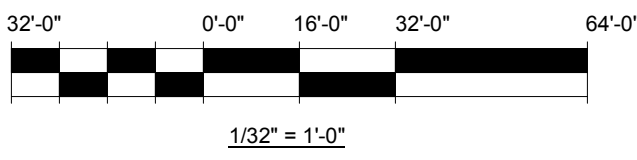
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# G1.2









SMNG-A

1814-DIRKSEN OCCUPANCY COUNT: 11.01.2018					
FIRST FLOOR					
NET AREAS	AREA (SF)	OCCUP. FACTOR	# OF OCCUPANTS	# OF SPACE	TOTAL
CLASSROOMS:					
K-1	900	20	45	1	45
K-2	900	20	45	1	45
K-3	932	20	47	1	47
K-4	928	20	47	1	47
CLASSROOM SN-1	848	20	43	1	43
CLASSROOM SN-2	856	20	43	1	43
			<b>SUBTOTAL</b>		<b>290</b>
DINING:					
DINING ROOM	4493	15	300	1	300
SERVIC	978	15	66	1	66
			<b>SUBTOTAL</b>		<b>366</b>
STAFF:					
OFFICE 1	294	100	3	1	3
OFFICE 2	287	100	3	1	3
KITCHEN	1343	100	14	1	14
KITCHEN OFFICE	100	100	1	1	1
			<b>SUBTOTAL</b>		<b>23</b>
STORAGE:					
KITCHEN STORAGE	176	300	1	1	1
DINING STORAGE	539	300	1	1	1
			<b>SUBTOTAL</b>		<b>2</b>
SERVICE + EQUIPMENT:					
ELECTRICAL	237	300	1	1	1
WATER	249	300	1	1	1
ELEVATOR MACHINE RM	64	300	1	1	1
			<b>SUBTOTAL</b>		<b>3</b>
<b>TOTAL AREA:</b>					<b>EXITING (ALL): 662 OCCUPANTS</b>
					<b>PLUMBING (CLASSROOM, STAFF): 291 OCCUPANTS</b>

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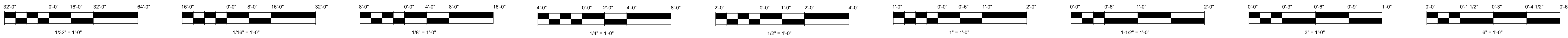
1814-DIRKSEN OCCUPANCY COUNT: 11.01.2018					
SECOND FLOOR					
NET AREAS	AREA (SF)	OCCUP. FACTOR	# OF OCCUPANTS	# OF SPACE	TOTAL
CLASSROOMS:					
CLASSROOM CR-1	733	20	37	1	37
CLASSROOM CR-2	827	20	42	1	42
CLASSROOM CR-3	732	20	37	1	37
CLASSROOM CR-4	827	20	42	1	42
CLASSROOM CR-5	732	20	37	1	37
CLASSROOM CR-6	885	20	45	1	45
CLASSROOM CR-7	724	20	37	1	37
CLASSROOM CR-8	727	20	37	1	37
CLASSROOM CR-9	731	20	37	1	37
CLASSROOM CR-10	781	20	40	1	40
CLASSROOM CR-11	746	20	38	1	38
CLASSROOM SN-3	870	20	44	1	44
			<b>SUBTOTAL</b>		<b>473</b>
AUXILIARY:					
COMPUTER - 1	1110	20	56	1	56
LIBRARY	9107	20	156	1	156
			<b>SUBTOTAL</b>		<b>212</b>
STAFF:					
					<b>SUBTOTAL</b>
					<b>0</b>
STORAGE:					
					<b>SUBTOTAL</b>
					<b>0</b>
SERVICE + EQUIPMENT:					
ELECTRICAL	191	300	1	1	1
IDF	224	300	1	1	1
			<b>SUBTOTAL</b>		<b>2</b>
<b>FOR EXITING (ALL):</b>					<b>687 OCCUPANTS</b>
<b>FOR PLUMBING (CLASSROOM, STAFF):</b>					<b>473 OCCUPANTS</b>

1814-DIRKSEN OCCUPANCY COUNT: 11.01.2018					
THIRD FLOOR					
NET AREAS	AREA (SF)	OCCUP. FACTOR	# OF OCCUPANTS	# OF SPACE	TOTAL
CLASSROOMS:					
CLASSROOM CR-12	827	20	42	1	42
CLASSROOM CR-13	733	20	37	1	37
CLASSROOM CR-14	827	20	42	1	42
CLASSROOM CR-15	732	20	37	1	37
CLASSROOM CR-16	885	20	45	1	45
CLASSROOM CR-17	732	20	37	1	37
CLASSROOM CR-18	682	20	35	1	35
CLASSROOM SN-4	870	20	44	1	44
			<b>SUBTOTAL</b>		<b>319</b>
AUXILIARY:					
COMPUTER - 2	1478	20	74	1	74
SCIENCE LAB SCI-1	1120	20	56	1	56
SCIENCE LAB SCI-2	1161	20	59	1	59
			<b>SUBTOTAL</b>		<b>189</b>
STAFF:					
OFFICE	330	100	4	1	4
			<b>SUBTOTAL</b>		<b>4</b>
STORAGE:					
SCIENCE 1 STORAGE	251	300	1	1	1
SCIENCE 2 STORAGE	251	300	1	1	1
STORAGE	330	300	2	1	2
			<b>SUBTOTAL</b>		<b>4</b>
SERVICE + EQUIPMENT:					
IDF	212	300	1	1	1
ELECTRICAL	192	300	1	1	1
MECHANICAL	746	300	3	1	3
			<b>SUBTOTAL</b>		<b>5</b>
<b>FOR EXITING (ALL):</b>					<b>921 OCCUPANTS</b>
<b>FOR PLUMBING (CLASSROOM, STAFF):</b>					<b>333 OCCUPANTS</b>

1814-DIRKSEN  
PLUMBING:  
11.01.2018

TOILETS:  
CLASSROOMS + STAFF:  
FIRST TOTAL: 291  
SECOND TOTAL: 473  
THIRD TOTAL: 323  
BUILDING TOTAL: 1087 OCCUPANTS  
DIV. BY 2  
544 MALE OR FEMALE OCCUPANTS  
1 TO 10: 1  
11 TO 25: 2  
26 TO 50: 3  
51 TO 75: 4  
76 TO 100: 5  
101 TO 150: 6  
151 TO 200: 7  
201 TO 250: 8  
251 TO 300: 9  
301 TO 350: 10  
351 TO 400: 11  
401 TO 450: 12  
451 TO 500: 13  
501 TO 550: 14  
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701 TO 750: 18  
751 TO 800: 19  
801 TO 850: 20  
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901 TO 950: 22  
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1001 TO 1050: 24  
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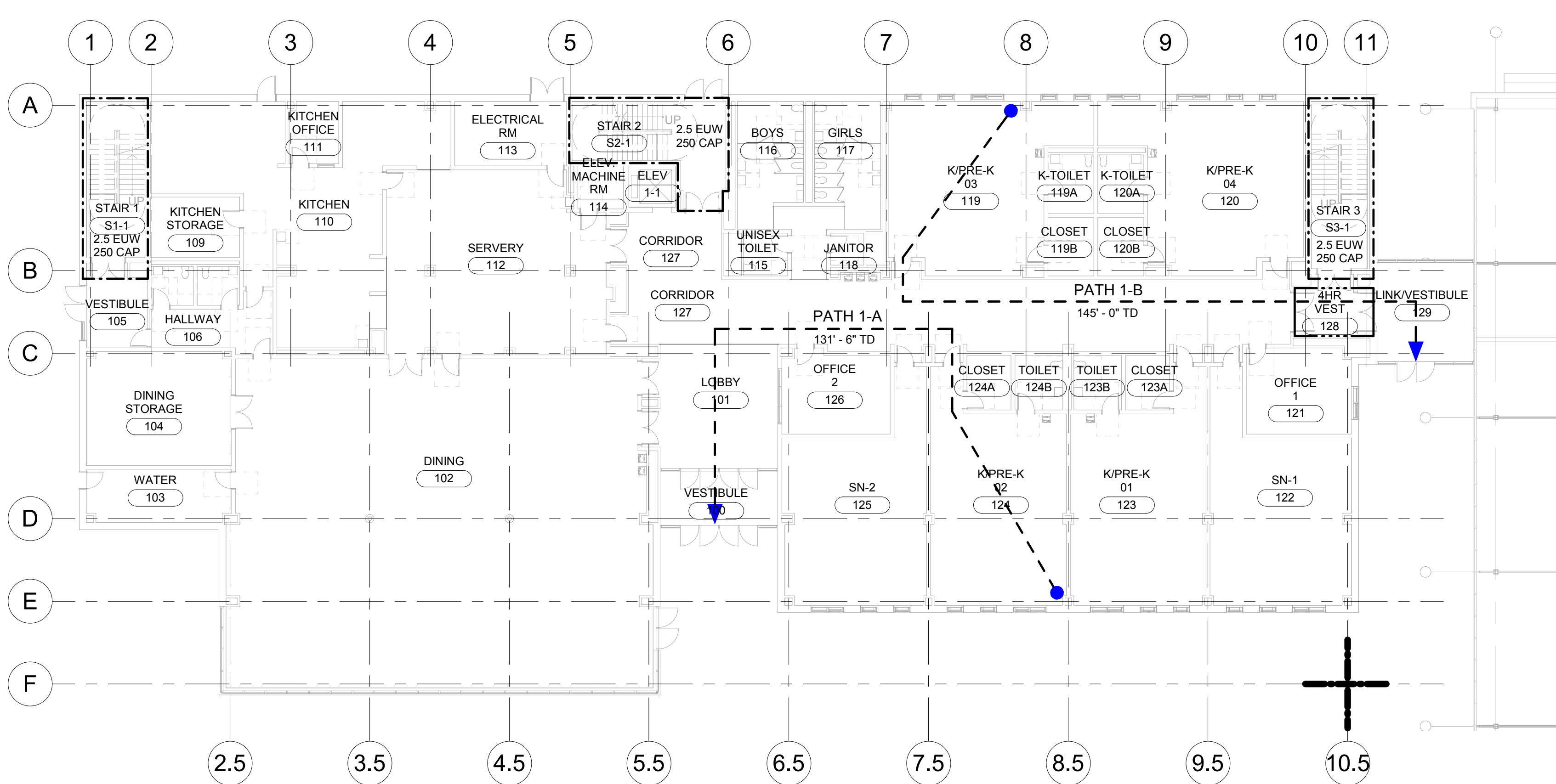
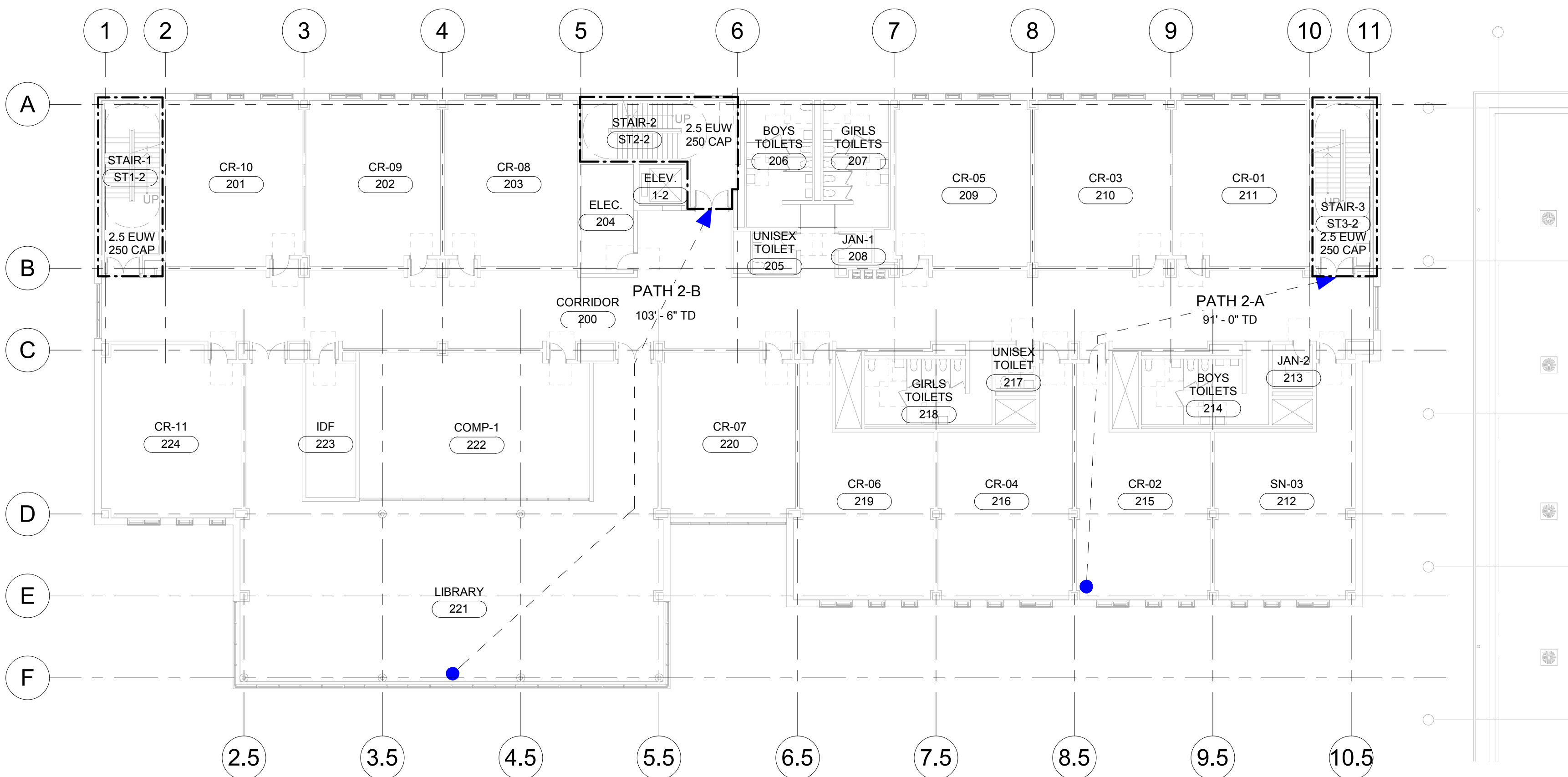




FIRE ENCLOSURE LEGEND	
---	1 HOUR
---	2 HOUR
---	3 HOUR
---	4 HOUR

SMNG-A

1814 DIRKSEN EXITING: PER CHICAGO BUILDING CODE 2018	
FOR SCHOOLS: UNIT EXIT WIDTH: 22 IN. 12 IN. = .5 UNIT WIDTH STAIR OCC/UEW: 100 OCC. 115 OCC. (36" DOOR = 1.5 UNITS) DOOR OCC/UEW:	
STAIRS:	
STAIR 1 =	4 FT. 10 IN. = 58 IN. = 2.3 UNITS
STAIR 2 =	4 FT. 10 IN. = 58 IN. = 2.3 UNITS
STAIR 3 =	4 FT. 10 IN. = 58 IN. = 2.3 UNITS
	7.9 TOTAL UNITS
DOORS:	
1ST FLOOR	11 DOORS (36" DOOR) = 16.5 UNITS
2ND FLOOR	5 DOORS (36" DOOR) = 7.5 UNITS
3RD FLOOR	5 DOORS (36" DOOR) = 7.5 UNITS
	9.5 TOTAL UNITS
ALL SPACES	
	STAIRS: MIN. WIDTH DOORS: MIN. WIDTH
FIRST FLOOR	
TOTAL:	663 OCC. 0 IN. REQ. 132 IN. GROUND FLOOR FUR LARGEST OCC.
	32 264 IN. TOTAL REQUIRED UNITS PROVIDED
FIRST FLOOR	
TOTAL:	662 7 0 IN. REQ. 132 IN. FIRST FLOOR UNITS PROVIDED
	7.5 7.5
SECOND FLOOR	
TOTAL:	681 7 134 IN. REQ. 132 IN. REQUIRED UNITS PROVIDED
	7.5 9.5
THIRD FLOOR	
TOTAL:	521 6 132 IN. REQ. 110 IN. REQUIRED UNITS PROVIDED
	7.5 9.5
TOTAL:	1870 OCCUPANTS



PROJECT TRUE  
2 SECOND LEVEL - LIFE SAFETY PLAN  
1/16" = 1'-0"

1 FIRST FLOOR PLAN - LIFE SAFETY  
1/16" = 1'-0"



DIRKSEN ES. ANNEX  
& RENOVATION  
8601 W. FOSTER AVE.  
CHICAGO, IL 60656

ARCHITECT OF RECORD  
SMNG-A LTD.



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ISSUANCE		
MARK	DESCRIPTION	DATE

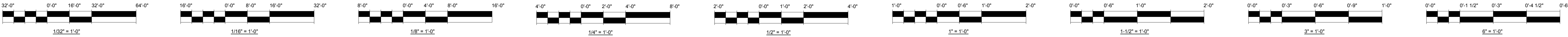
PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
LIFE SAFETY PLANS & NOTES

SHEET

G3.1





FIRE ENCLOSURE LEGEND	
	1 HOUR
	2 HOUR
	3 HOUR
	4 HOUR

SMNG-A

1814 DIRKSEN EXITING: PER CHICAGO BUILDING CODE 2018	
FOR SCHOOLS: UNIT EXIT WIDTH: 22 IN. 12 IN. = .5 UNIT WIDTH STAIR OCC/UEW: 100 OCC. 115 OCC. (36" DOOR = 1.5 UNITS) DOOR OCC/UEW:	
STAIRS:	
STAIR 1 =	4 FT. 10 IN. = 58 IN. = 7.7 UNITS
STAIR 2 =	4 FT. 10 IN. = 58 IN. = 7.7 UNITS
STAIR 3 =	4 FT. 10 IN. = 58 IN. = 7.7 UNITS
	23.1 TOTAL UNITS
DOORS:	
1ST FLOOR	11 DOORS (36" DOOR) = 16.5 UNITS
2ND FLOOR	5 DOORS (36" DOOR) = 7.5 UNITS
3RD FLOOR	5 DOORS (36" DOOR) = 7.5 UNITS
	21.5 TOTAL UNITS
ALL SPACES	
	STAIRS: MIN. WIDTH: DOORS: MIN. WIDTH:
	# OF OCCUPANTS UNITS UNITS UNITS
FIRST FLOOR TOTAL:	663 9 0 IN. REQ. 132 IN. 264 IN. TOTAL REQUIRED UNITS PROVIDED
FIRST FLOOR TOTAL:	662 7 0 IN. REQ. 132 IN. 264 IN. TOTAL REQUIRED UNITS PROVIDED
SECOND FLOOR TOTAL:	687 7 114 IN. REQ. 132 IN. 264 IN. TOTAL REQUIRED UNITS PROVIDED
THIRD FLOOR TOTAL:	521 6 112 IN. REQ. 110 IN. 264 IN. TOTAL REQUIRED UNITS PROVIDED
TOTAL:	1870 OCCUPANTS

DIRKSEN ES. ANNEX  
& RENOVATION

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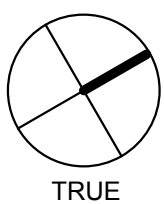
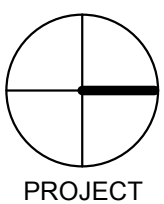
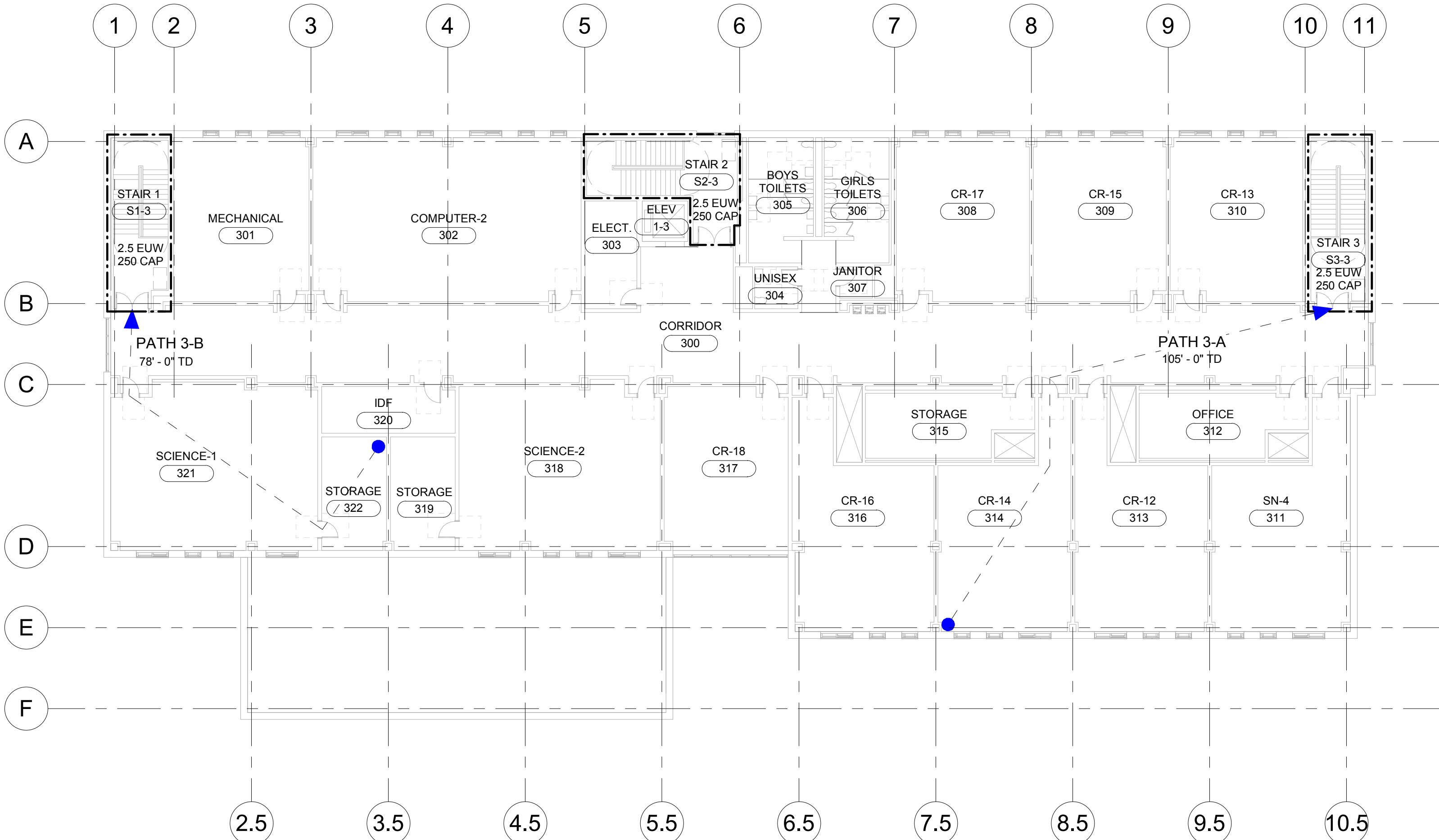
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ISSUANCE		
MARK	DESCRIPTION	DATE

PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

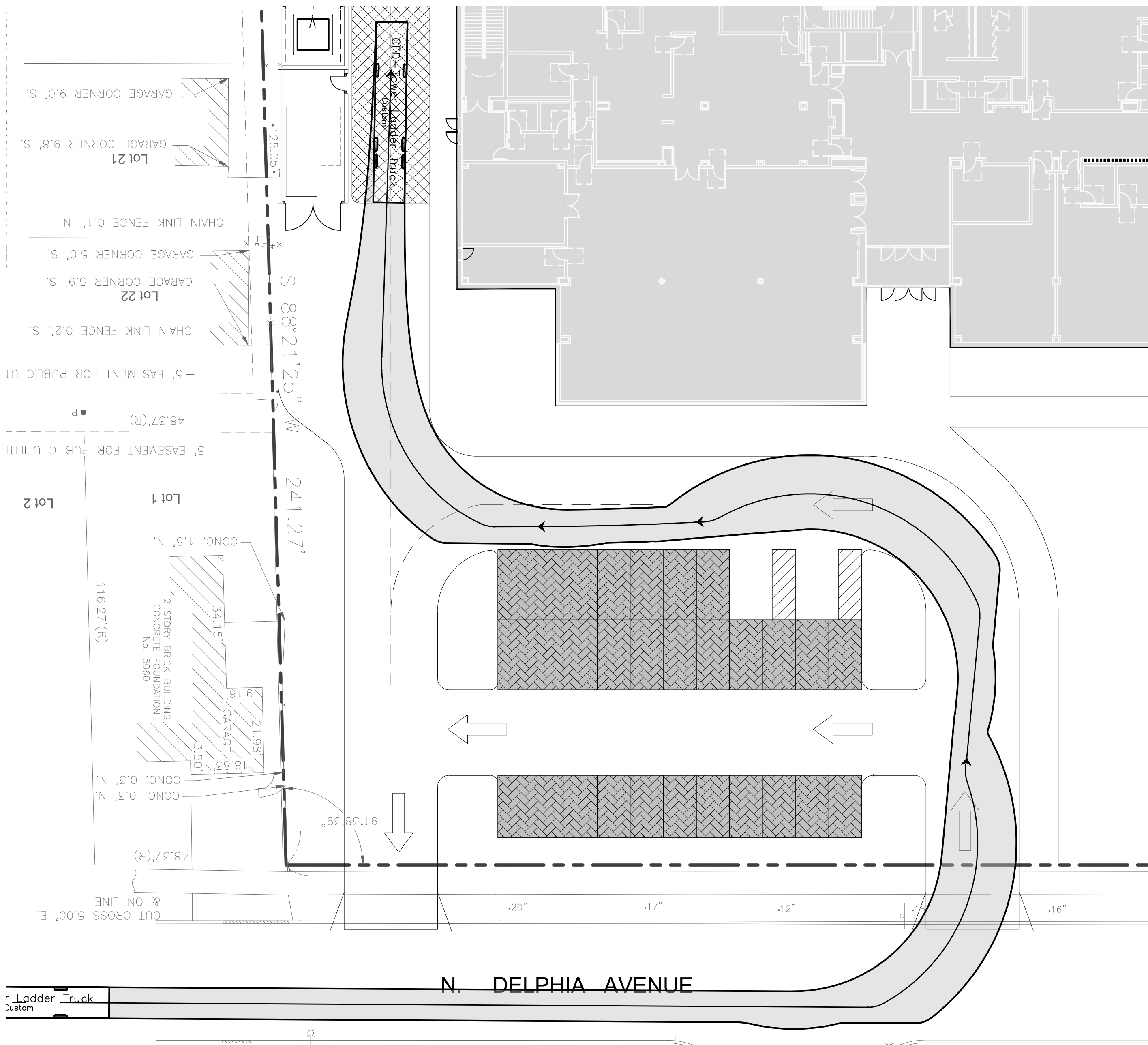
TITLE  
LIFE SAFETY PLANS & NOTES

SHEET  
G3.2

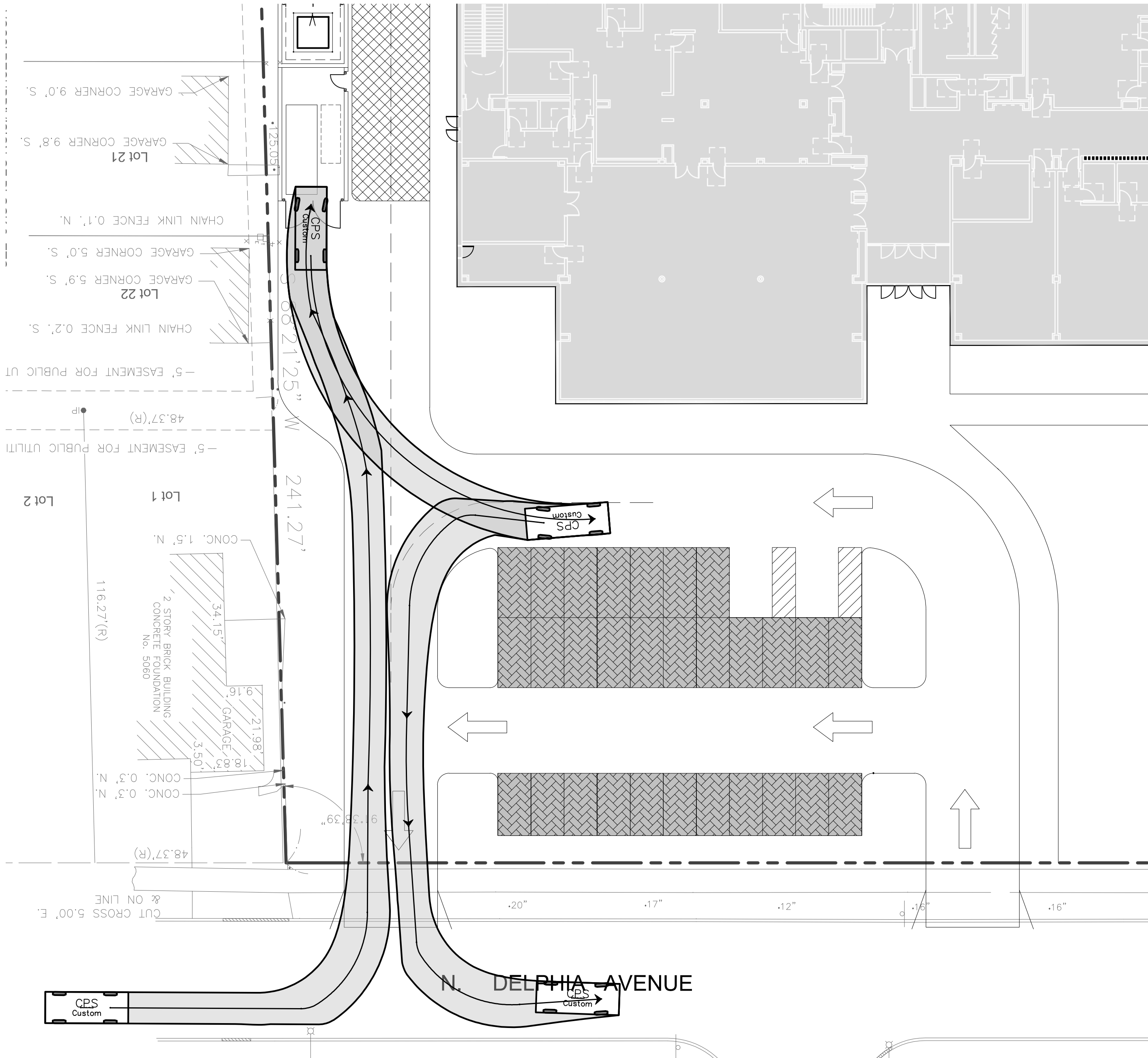


1 THIRD LEVEL - LIFE SAFETY PLAN  
1/16" = 1'-0"

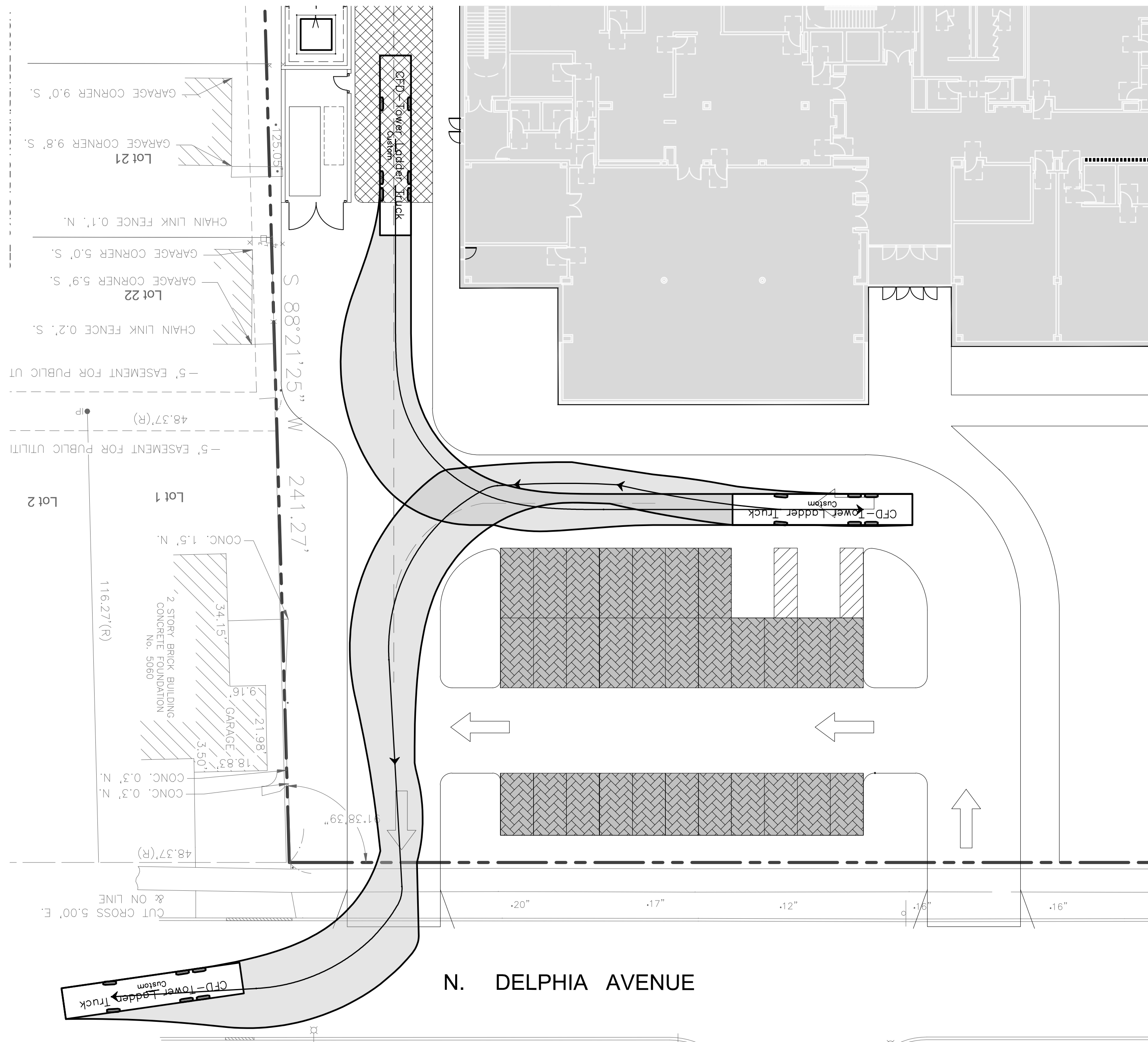




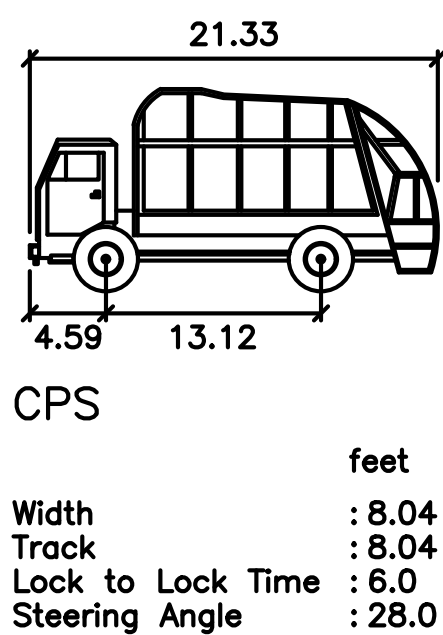
1 CFD TRUCK ENTRANCE  
SCALE: 1" = 20'



3 REFUSE  
SCALE: 1" = 20'



2 CFD TRUCK ENTRANCE  
SCALE: 1" = 20'



# DIRKSEN ES. ANNEX & RENOVATION

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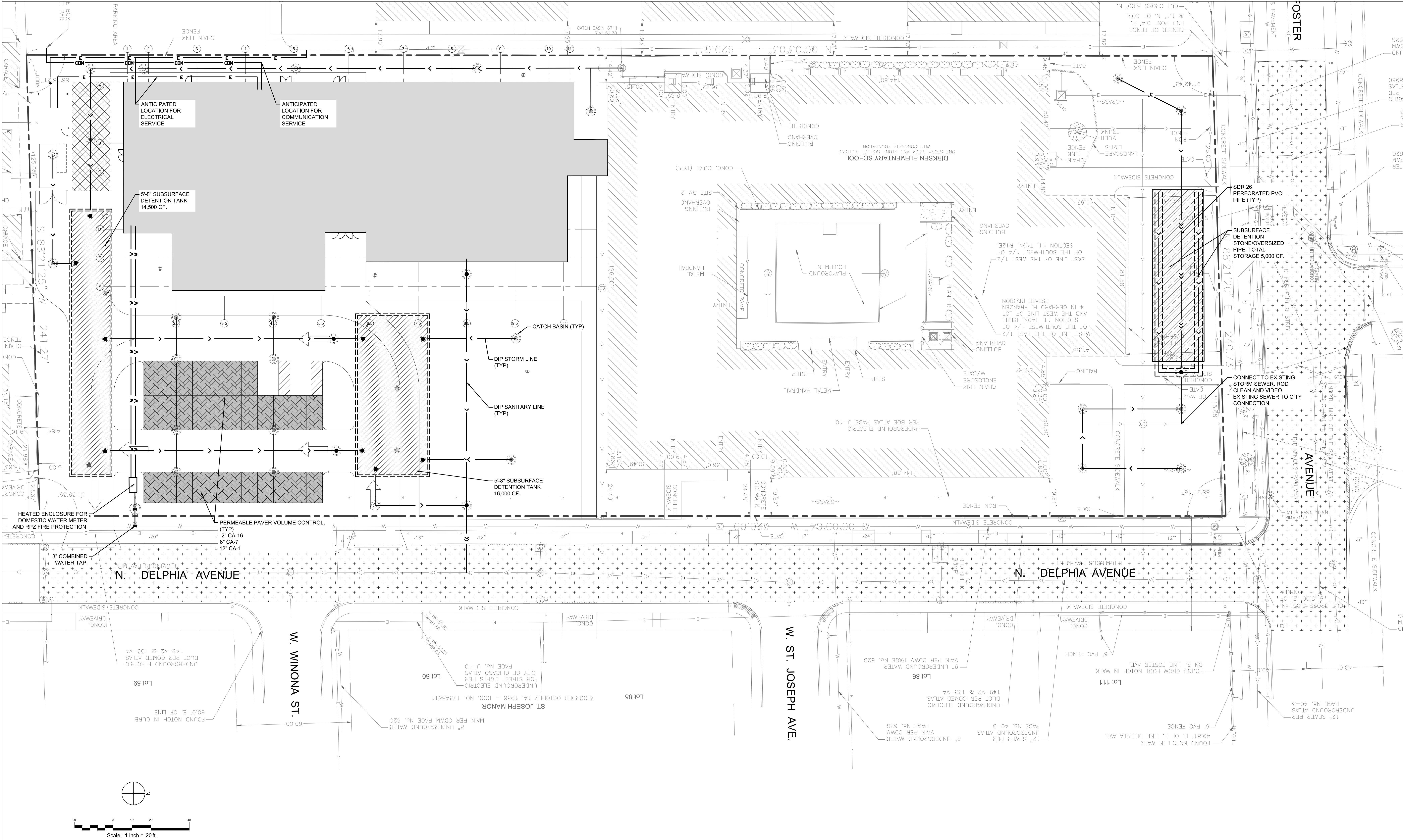
ISSUANCE		
MARK	DESCRIPTION	DATE
1	50 % SCHEMATIC DESIGN	11.02.2018

PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: P50000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
TURNING MANEUVERS

SHEET  
AT-1





LEGEND:			
	PROPERTY LINE		WATER SERVICE
	EXISTING BUILDING		ELECTRIC SERVICE
	MILL AND GRIND / ASPHALT SURFACE COURSE		COMMUNICATION SERVICE
	PERMEABLE PAVERS		WATER TAPPING VALVE (TV)
	DETENTION TANK		WATER VALVE IN BASIN (WVB)
	STORMWATER BMP		4" CATCH BASIN (CB)
	STORM SEWER		4" MANHOLE (MH)
	SANITARY SEWER		5" MANHOLE (MH)
	COMBINED SEWER		ACCESS RISER (AR) OPEN GRATE
			ACCESS RISER (AR) CLOSED GRATE

# DIRKSEN ES. ANNEX & RENOVATION

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ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2018

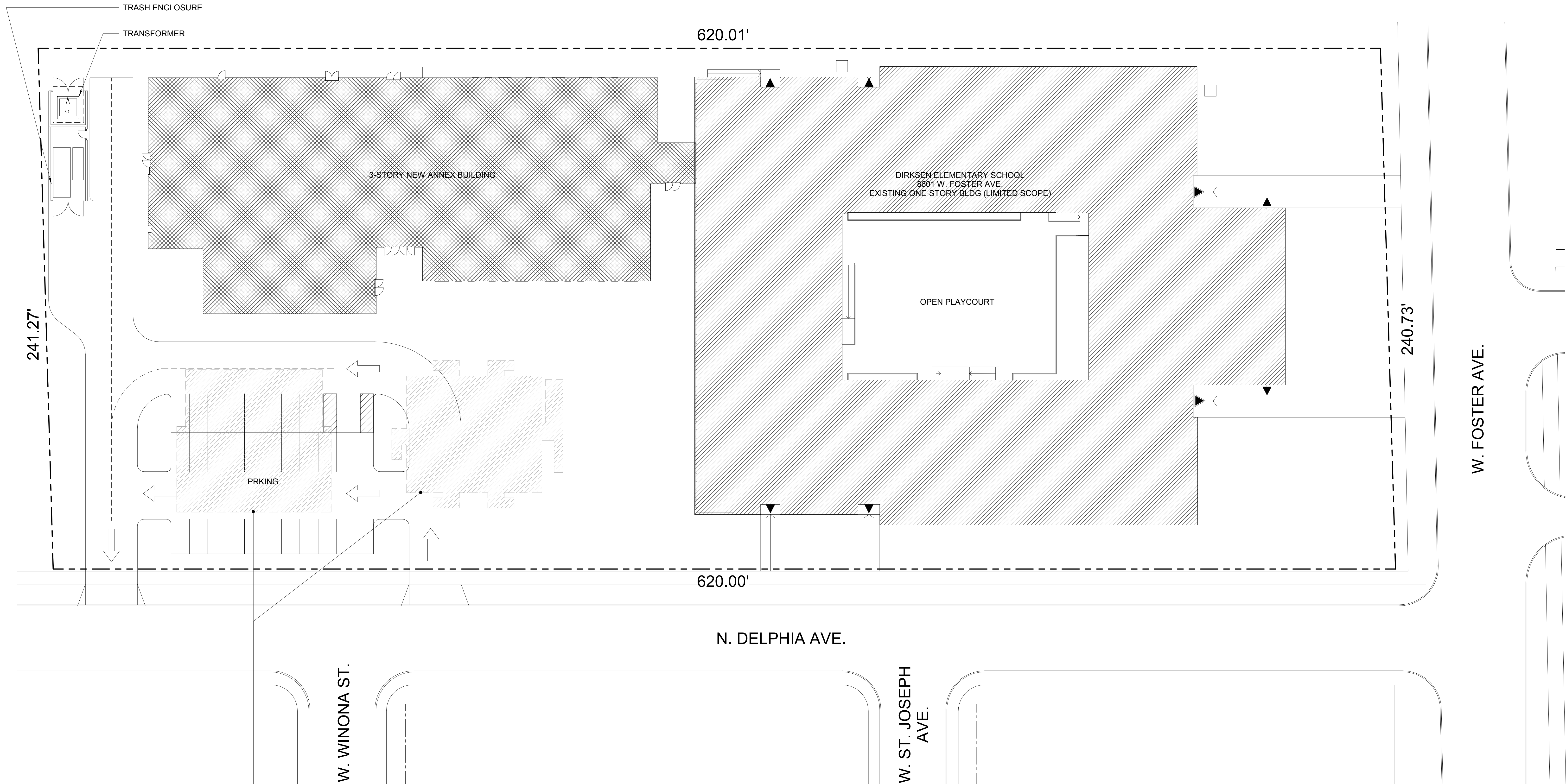
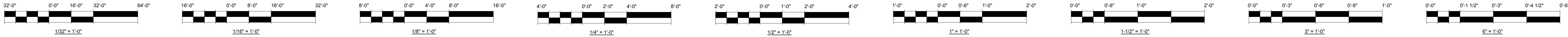
PBC Project Name: DIRKSEN ES. ANNEX & RENOVATION  
PBC Contract No: P50000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
SITE UTILITY PLAN

SHEET

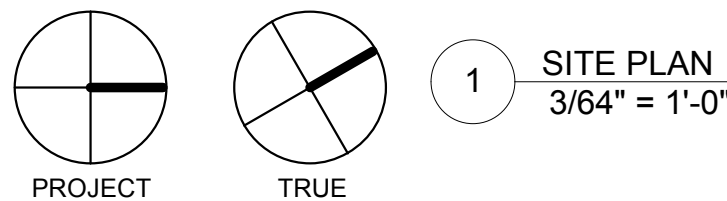
C4.0





CLASSROOMS MODULARS:  
EXISTING MODULARS TO BE ENTIRELY DEMOLISHED AND REPLACED W/  
NEW PARKING LOT AND FIRELANE AFTER NEW ANNEX'S SUBSTANTIAL  
COMPLETION; (31) SPACES INCL. (2) ACC. REFER TO CIVIL DRAWINGS  
FOR UTILITIES COORDINATION

NOTE: REFER TO SHEET SU1.0 FOR MORE DETAILS ON SITE UTILIZATION PLAN AND PHASING



# DIRKSEN ES. ANNEX & RENOVATION

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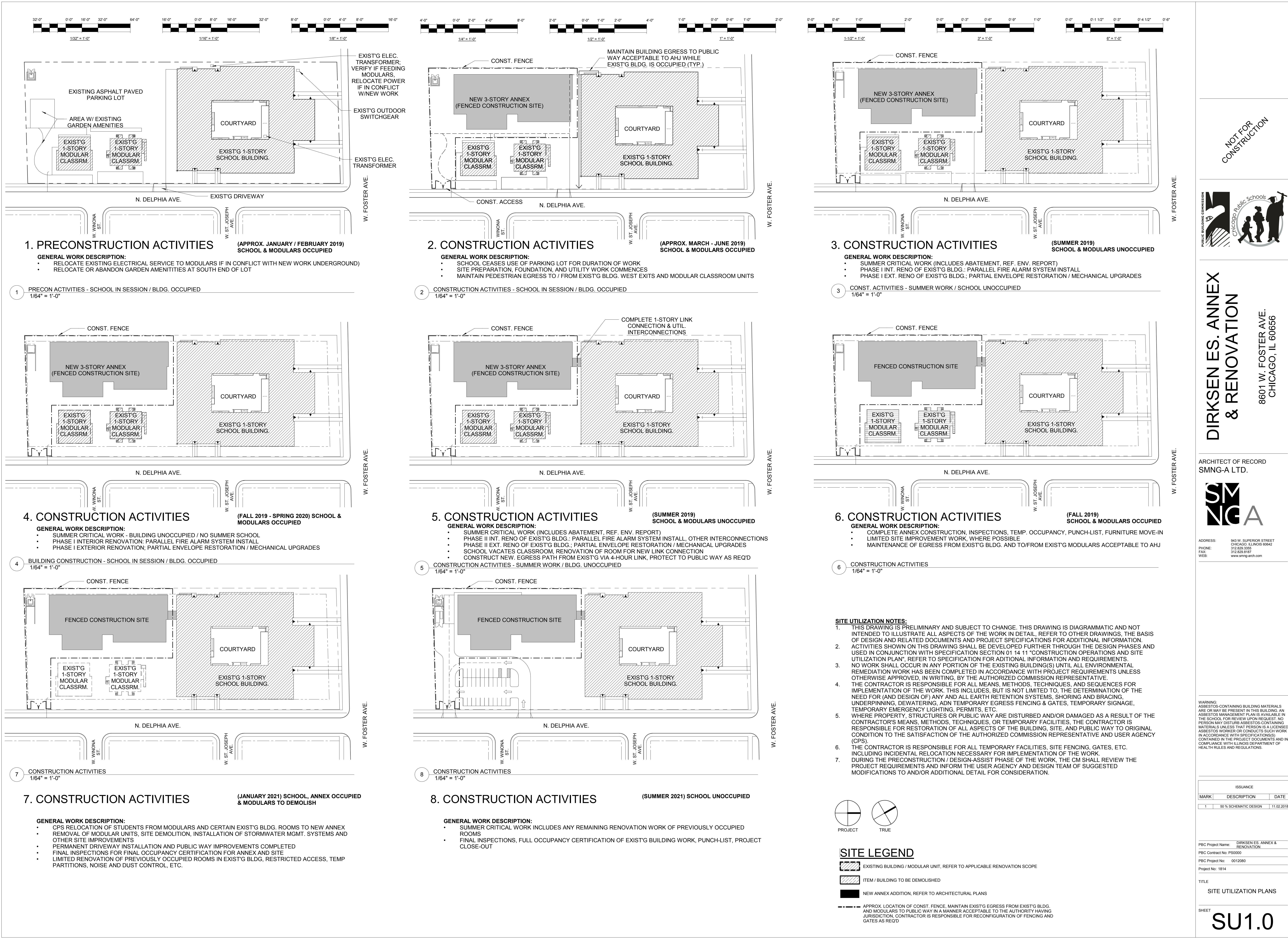
ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2018

PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
SITE PLAN

SHEET  
AS1.0





NOT FOR CONSTRUCTION



PUBLIC BUILDING COMMISSION

CHICAGO PUBLIC SCHOOLS

DIRKSEN ES. ANNEX  
& RENOVATION

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ISSUANCE

MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2018

PBC Project Name: DIRKSEN ES. ANNEX & RENOVATION

PBC Contract No: PS0000

PBC Project No: 0012080

Project No: 1814

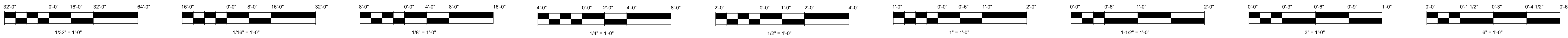
TITLE

SITE UTILIZATION PLANS

SHEET

SU1.0





**RENOVATION / TRANSFORMATION ALTERNATE SCOPE:**

**GENERAL SCOPE:**

- A. KINDERGARTEN CLASSROOMS COUNT OF FOUR (4) TO BE ACCOMMODATED IN THE EXISTING SCHOOL BUILDING
- B. TRANSFORM DINING ROOM INTO FACULTY LOUNGE AND STORAGE SPACES.
- C. TRANSFORM KITCHEN AND SERVERY INTO OFFICE AND STORAGE SPACES .
- D. DRAMA AND MUSIC CLASSROOMS TO BE ACCOMMODATED IN THE NEW ANNEX BUILDING.
- E. TWO MEANS OF EGRESS ARE REQUIRED IN THE OPEN PLAYCOURT TO SECURE EXISTING OF STUDENTS.
- SPECIAL PROCEDURE:** REFER TO PLAN
1. FOUR (4) KINDERGARTEN CLASSROOMS TO BE ACCOMMODATED IN EXISTING SCHOOL S BUILDING
2. EXISTING KINDERGARTEN CLASSROOMS K-1 & K-2 TO REMAIN
3. NEW KINDERGARTEN CLASSROOMS K-3 & K-4 TO REPLACE THE THREE EXISTING CLASSROOMS, ON THE WEST SIDE OF PLAYCOURT
4. THE THREE CLASSROOMS REPLACED BY KINDERGARTEN (K-3&K-4) TO BE ACCOMMODATED IN THE NEW ANNEX BUILDING.
5. EXISTING KITCHEN AREA, DINING HALL, AND TEACHER S LOUNGE TO BE TRANSFORMED INTO MULTI-PURPOSE ROOM, TEACHER S OFFICE, AND STORAGE. PER CPS PROPOSED PROGRAM.
6. MUSIC AND DRAMA CLASSROOMS SHALL BE ACCOMMODATED IN NEW ANNEX BUILDING: DRAMA +/- 1,100 SF, MUSIC +/- 1,200 S.F
7. SECURE TWO MEAS OF EGRESS FROM PLAYCOURT TO CORRIDORS.

**PLAN LEGEND:**

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION
- NEW BARRIER-FREE ENTRY/EXIT

**KINDERGARTEN CALSSROOMS TRANSFORMATION / RENOVATION SCOPE:**

1. DEMOLISH ALL INTERIOR PARTITION AS SHOWN ON PLAN AND AS REQUIRED TO ACCOOMMODATE NEW USE.
2. CONSTRUCT NEW PARTITIONS AND SPACES AS SHOWN WITH ALL REQUIRED MEP WORK TO FIT THE NEW SPACE USE.
3. REPAIR ALL NON-OPERATIONAL WINDOW SHADES
4. REPAIR, RECTIFY, AND PAINT WALLS, FLOORS AND CEILING AS REQUIRED.

**FACULTY OFFICE TRANSFORMATION / RENOVATION SCOPE:**

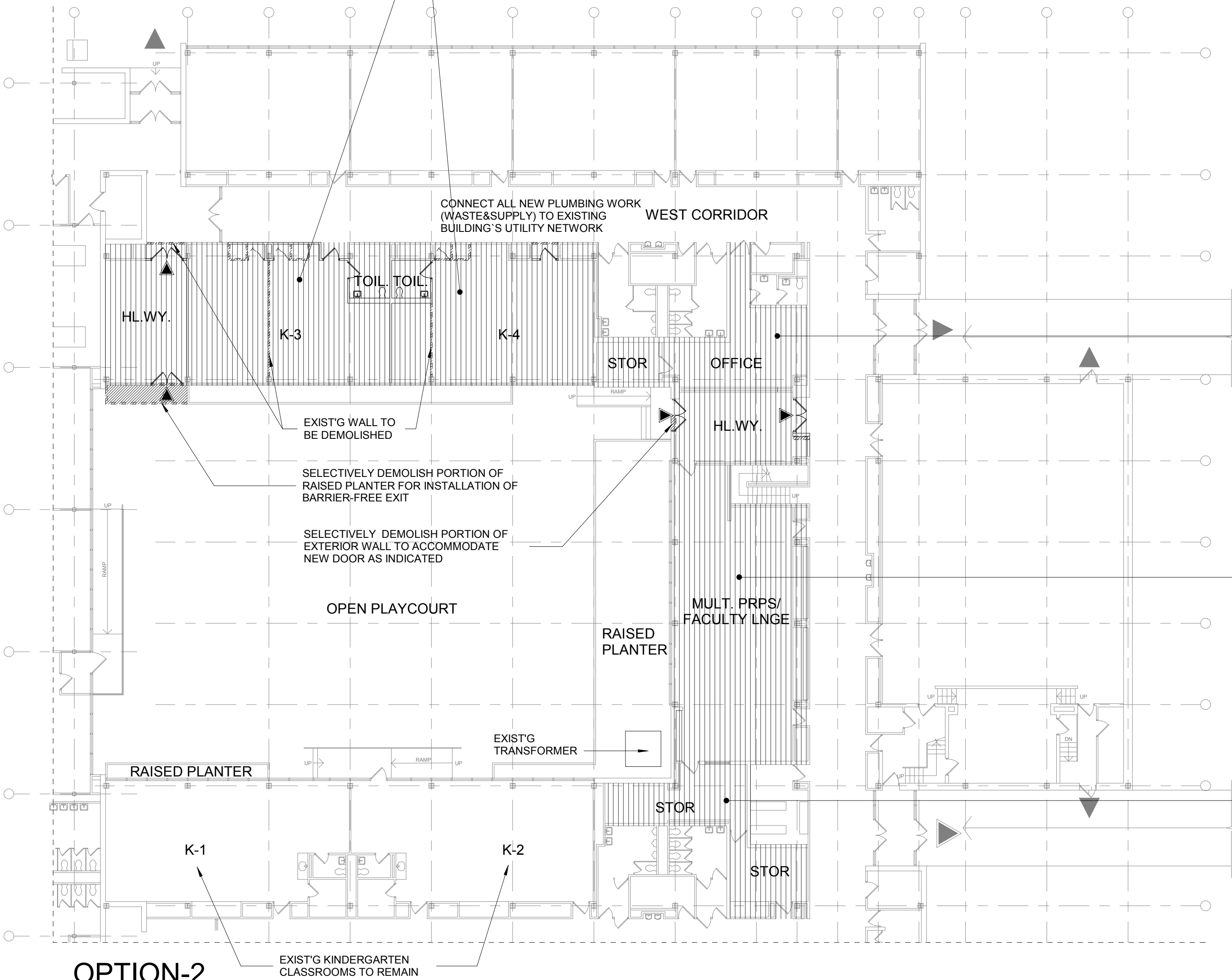
1. DEMOLISH ALL BUILT IN FURNITURE AND ALL PLUMBING FIXTURES AND APPLIANCES AND THEIR ASSOCIATED PIPING TO ADAPT SPACE FOR NEW FACULTY OFFICE. REPAIR, RECTIFY, AND PAINT WALLS, FLOORS AND CEILING AS REQUIRED.
2. ADJUST LIGHTING

**FACULTY LOUNGE TRANSFORMATION / RENOVATION SCOPE:**

1. DEMOLISH ALL BUILT IN CASEWORK AND FURNITURE TO ADAPT SPACE FOR NEW FACULTY LOUNGE. REPAIR ALL NON-OPERATIONAL WINDOW SHADES. REPAIR, RECTIFY, AND PAINT WALLS, FLOORS AND CEILING AS REQUIRED.
2. ADJUST LIGHTING

**FACULTY LOUNGE STORAGE:**

1. DEMOLISH ALL BUILT IN CASEWORK AND FURNITURE TO ADAPT SPACE FOR LOUNGE STORAGE. REPAIR, RECTIFY, AND PAINT WALLS, FLOORS AND CEILING AS REQUIRED



**OPTION-2**

**GENERAL PLAN NOTES**

- HATCHED ZONE INDICATES THE AREA OF NEW SCOPE (RENOVATION / TRANSFORMATION)
- NECESSARY, SELECTIVE DEMOLITION OF FLOORING, CEILING, WALLS, PARTITION, STOREFRONT SYSTEM IS REQUIRED TO ACCOMMODATE THE INDICATED NEW SCOPE.
- MECHANICAL, ELECTRICAL, AND PLUMBING WORK IS REQUIRED TO ADJUST EXISTING TRADES IN ORDER TO ACCOMMODATE THE NEW SCOPE.



**DIRKSEN ES. ANNEX  
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ISSUANCE		
MARK	DESCRIPTION	DATE
1	KINDERGARTEN CLASSROOMS ALTERNATE LAYOUTS	10.26.2018

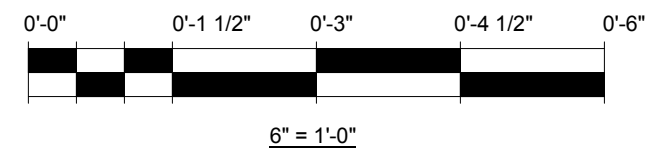
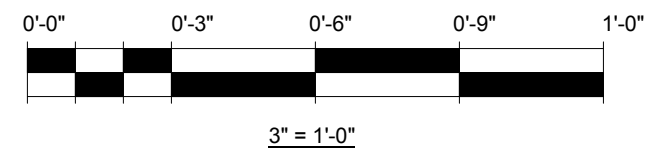
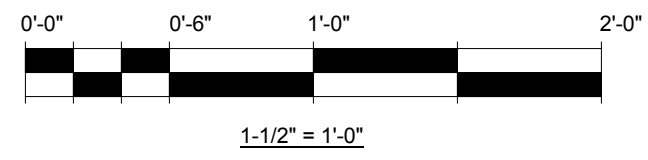
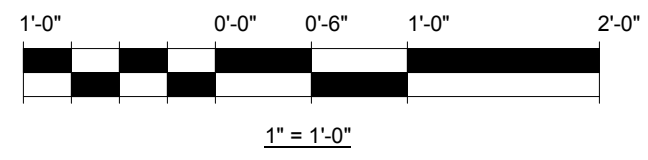
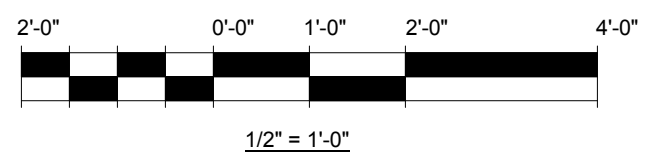
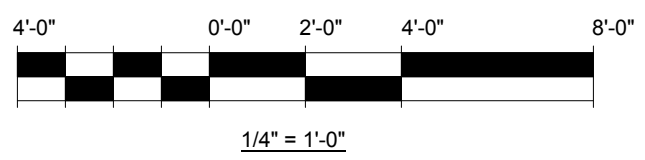
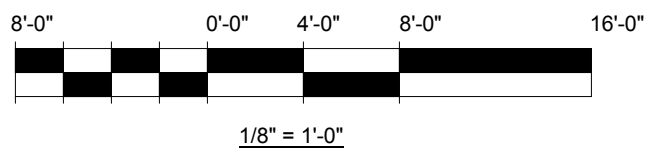
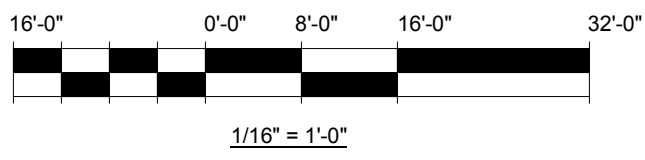
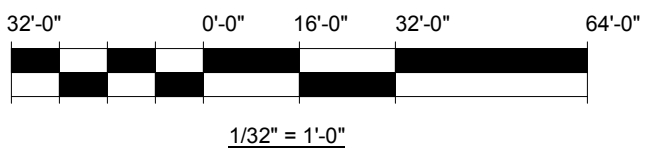
PBC Project Name: DIRKSEN ES. ANNEX & RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
KINDERGARTEN ALTERNATE LAYOUT OPTIONS

SHEET

**ALT1.0**





EXTERIOR SCOPE OF WORK AT EXISTING BUILDING FACADE:  
(REFER TO DRAWING SHEET A1.2 FOR ROOF SCOPE OF WORK)

- FACADE FACE BRICK REPLACEMENT: REMOVE EXISTING DAMAGED/ SPALLED FACE BRICK AND REPLACE WITH NEW FACE BRICK TO MATCH EXISTING. ASSUME 30 SF.
- FACADE STONE VENEER REPLACEMENT: REMOVE EXISTING DAMAGED/ SPALLED STONE VENEER AND REPLACE WITH NEW TO MATCH EXISTING. INCLUDES NEW STAINLESS STEEL ANCHORS. ASSUME 30 SF.
- FACADE FACE BRICK POINTING: GRIND AND POINT FACE BRICK VENEER AND SURFACE WASH. ASSUME 600 SF.
- FACADE STONE POINTING: GRIND AND POINT FACE STONE VENEER AND SURFACE WASH. ASSUME 2500 SF.
- CONCRETE REPAIR: REMOVE LOOSE CONCRETE; SCRAPE, PRIME AND PAINT ALL EXPOSED REINFORCEMENT AND PROVIDE ADDITIONAL REINFORCEMENT AS NECESSARY. PATCH SPALLED CONCRETE AND ROUT AND EPOXY REPAIR ALL CONCRETE CRACKS. ASSUME 100 SF.
- PROVIDE NEW SEALANT AT ALL JOINTS BETWEEN THE 1970 AND 1971 STRUCTURES.
- PROVIDE NEW INFILL METAL PANELS IN EXISTING CURTAIN WALL ADJACENT TO THE UNIT VENTILATOR AT CLASSROOM 118. INFILL METAL PANEL SHALL BE INSULATED. ASSUME 27 SF.
- EXISTING WINDOWS: REPLACE ALL WINDOW BALANCES ON ALL EXISTING VERTICAL SLIDING WINDOWS. BALANCES SHALL BE ULTRALIFT AND EXCEED CLASS V PERFORMANCE WITH A MAF RATIO OF 0.30. ASSUME 56 LOCATIONS WITH 2 SETS OF VERTICALLY SLIDING WINDOWS APPROXIMATELY 4'-6" X 4'-0" HIGH.
- EXISTING EXTERIOR DOORS: REPLACE (3) EXISTING EXTERIOR DOORS WITH NEW INSULATED 3'-0" X 8'-0" FRP DOOR AND THERMALLY BROKEN FRAME. PROVIDE NEW HARDWARE, INCLUDING EXIT DEVICES AND CLOSERS.

INTERIOR RENOVATIONS IN EXISTING BUILDING  
(1971 ADDITION ONLY)

REMOVE EXISTING ASSEMBLY @NEW LINK  
PROVIDE NEW PARTITIONS, FINISH FLOORING, LIGHTING, DOORS AND  
MEP TO ACCOMMODATE ACCESS TO LINK AND NEW CONFERENCE  
ROOM.

INTERIOR RENOVATIONS IN EXISTING BUILDING  
(1971 ADDITION ONLY)

REPAIR ALL EXISTING ARCHITECTURAL FINISHES AND PROVIDE  
EQUIPMENT TRIM AT THE EXISTING UNIT VENTILATORS IN 10  
CLASSROOMS.

- INCLUDES PROVISION OF 6" +/- SHOP-FINISHED ALUMINUM CLOSURE PANELS BETWEEN UNIT VENTILATORS AND BUILT-IN SHELVING. ASSUME APPROXIMATELY 10 LF AT EACH OF 10 CLASSROOMS.
- INCLUDES PROVISION OF NEW 4" VINYL BASE AT PERIMETER OF UNIT VENTILATOR. ASSUME APPROXIMATELY 35 LF AT EACH OF 10 CLASSROOMS.

INTERIOR RENOVATIONS IN EXISTING BUILDING  
(1970 ORIGINAL STRUCTURE & 1971 ADDITION)

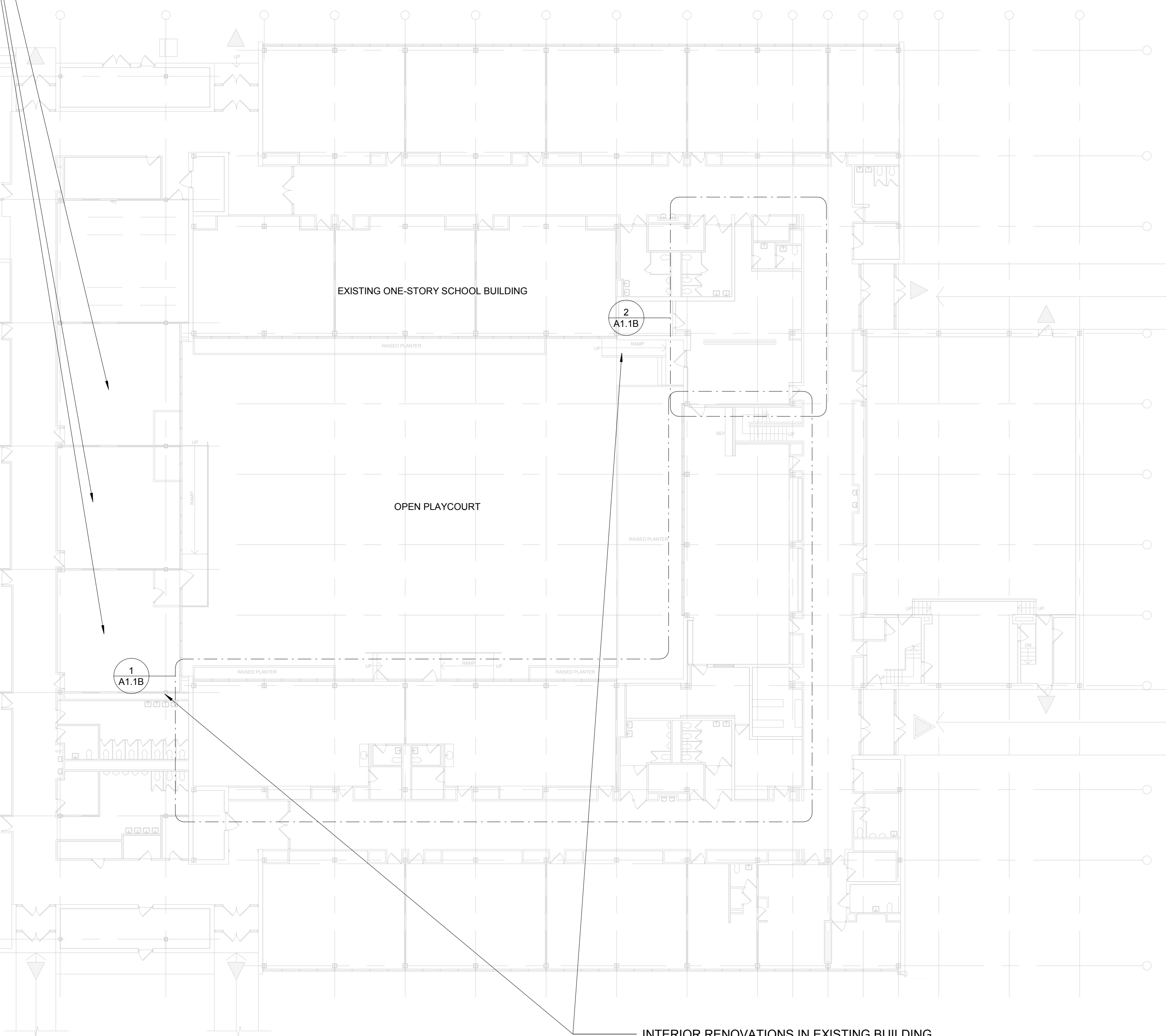
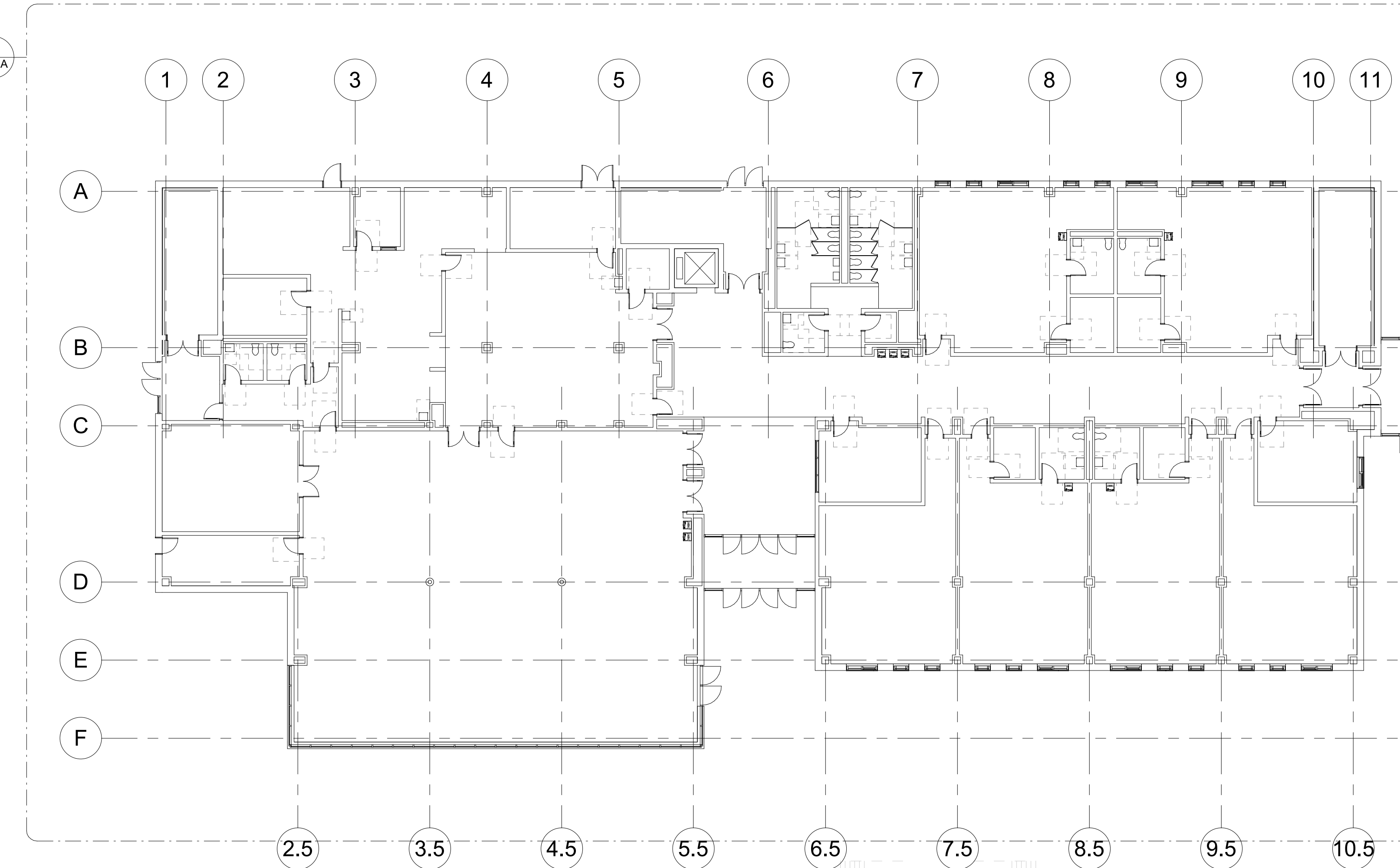
TARGETED 20% CEILING TILE REPLACEMENT THROUGHOUT THE  
BUILDING. FOR ESTIMATING PURPOSES INCLUDE:

- 4000 SF REPLACEMENT CEILING TILES IN CLASSROOMS;
- 1000 SF REPLACEMENT CEILING TILES IN THE GYM AND LIBRARY
- 3100 SF REPLACEMENT CEILING TILES IN CORRIDORS AND STAIRS
- 400 SF REPLACEMENT CEILING TILES WITH NEW GRID IN CLASSROOMS.
- THE ABOVE DOES NOT INCLUDE CEILING SCOPE ASSOCIATED WITH THE MECHANICAL SCOPE. REFER TO THE MECHANICAL BASIS OF DESIGN FOR REPLACEMENT OF CEILING AND/OR ACOUSTICAL BARRIER ASSEMBLIES WHERE NECESSARY FOR MECHANICAL SCOPE OF WORK.

PAINT ALL CLASSROOMS, 1ST AND 2ND FLOOR

- 300 SF PLASTER PATCHING AT WALLS THROUGHOUT EXISTING BUILDING
- 2800 SF PAINTING OF EXISTING DRYWALL WALLS
- 50 SF PLASTER PATCHING AT CEILING THROUGHOUT EXISTING BUILDING
- 1000 SF PAINTING OF EXISTING DRYWALL CEILINGS
- 17000 SF PAINTING OF CMU WALLS
- 11000 SF OF VINYL-COATED OR PORCELAIN-FACED WALLS
- THE ABOVE DOES NOT INCLUDE CEILING OR PARTITION SCOPE ASSOCIATED WITH THE MECHANICAL SCOPE. REFER TO THE MECHANICAL BASIS OF DESIGN FOR REPLACEMENT OF CEILING AND/OR ACOUSTICAL BARRIER ASSEMBLIES WHERE NECESSARY FOR MECHANICAL SCOPE OF WORK.

PROVIDE ADA-COMPLIANT ROOM AND DIRECTIONAL SIGNAGE AT  
INTERIOR SPACES



INTERIOR RENOVATIONS IN EXISTING BUILDING  
(1970 ORIGINAL STRUCTURE & 1971 ADDITION)  
SEE ENLARGED PLANS FOR RENOVATION SCOPE OF  
WORK IN THESE SPACES

PROJECT

TRUE

1

OVERALL FIRST FLOOR PLAN  
1/16" = 1'-0"

NOT FOR  
CONSTRUCTION



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ARCHITECT OF RECORD  
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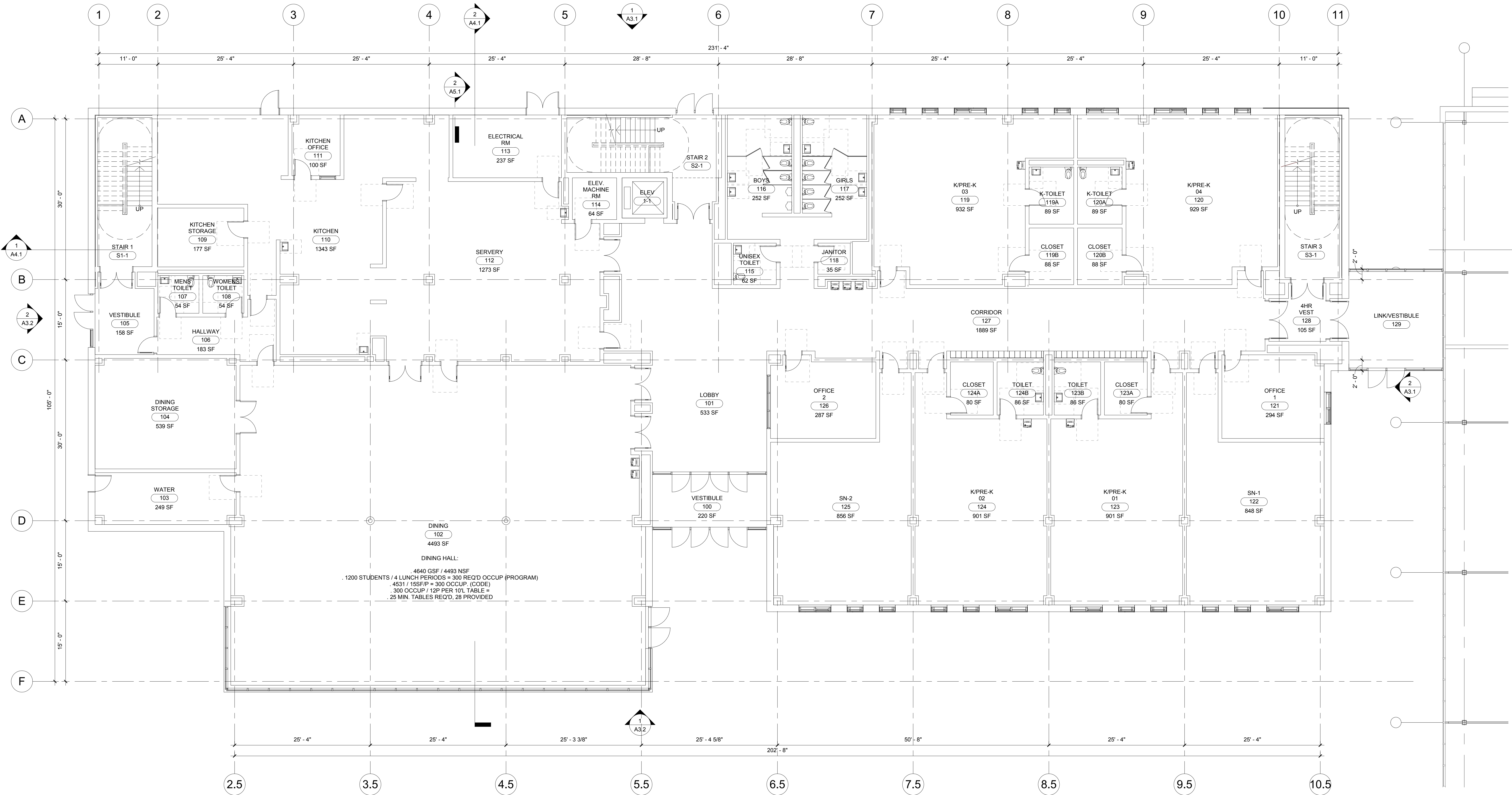
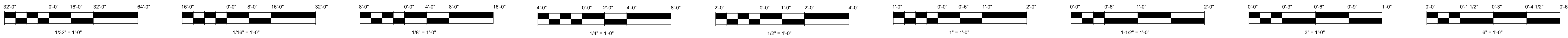
ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2018

PBC Project Name: DIRKSEN ES. ANNEX & RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
FIRST LEVEL - PROPOSED  
OVERALL PLAN

SHEET  
**A1.1**





PROJECT TRUE  
1 FIRST LEVEL - ANNEX FLOOR PLAN  
1/8" = 1'-0"

NOT FOR  
CONSTRUCTION



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ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2018

PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
FIRST LEVEL - PROPOSED  
ANNEX PLAN

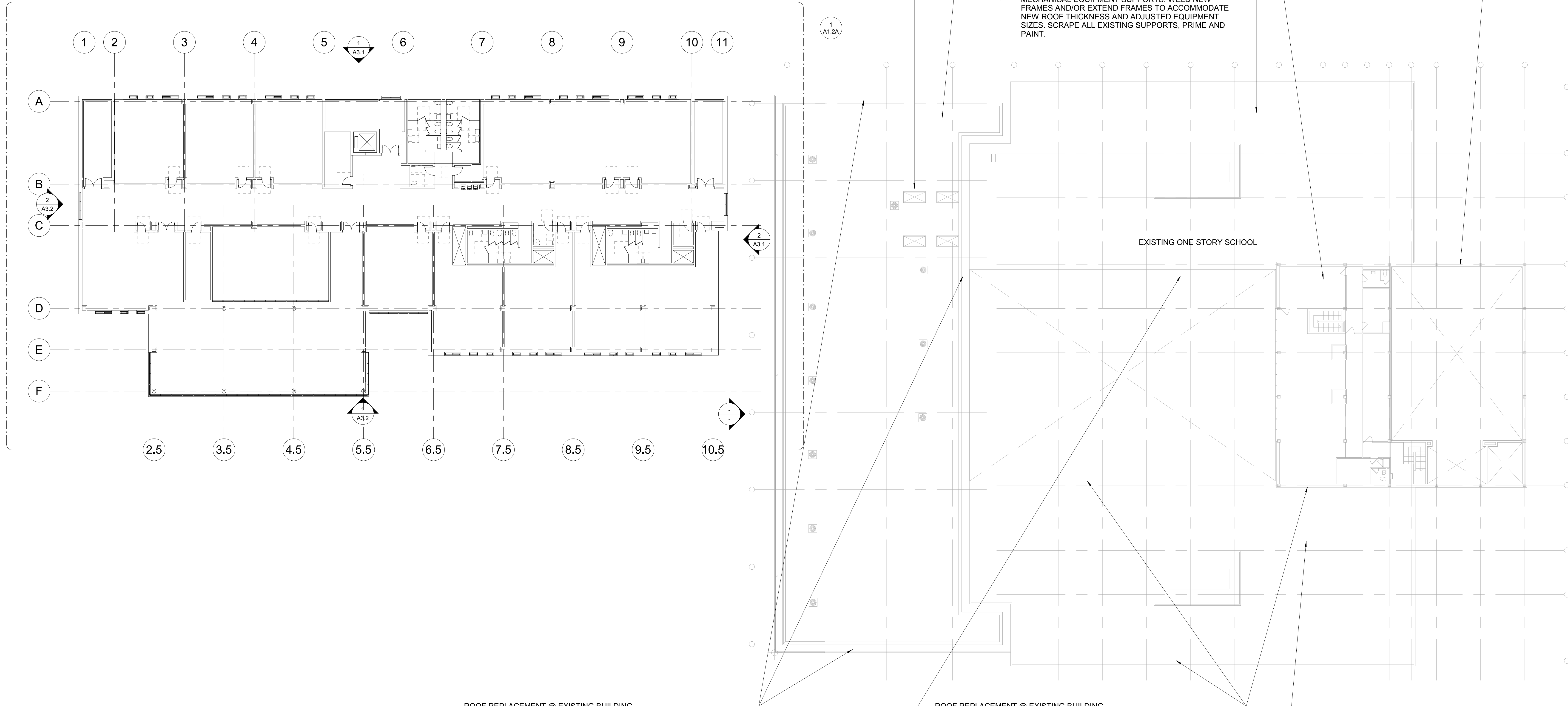
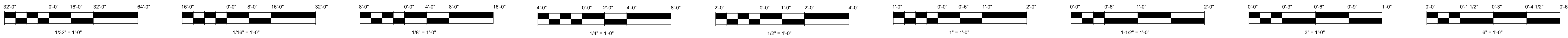
SHEET

A1.1A









**ROOF REPLACEMENT @ EXISTING BUILDING (1971 ADDITION):**  
REMOVE AND REPLACE (4) SKYLIGHTS AT THE 1971 LOW ROOF, EACH APPROXIMATELY 60 SF. REPLACE WITH NEW METAL FRAMED SKYLIGHTS WITH INTEGRAL FLASHINGS, CONDENSATION RAILS AND LAMINATED INSULATED GLAZING. PROVIDE NEW ROOF CURBS AND ANCHORAGE TO ACCOMMODATE NEW ROOF THICKNESS.

**ROOF REPLACEMENT @ EXISTING BUILDING (1970 ORIGINAL STRUCTURE & 1971 ADDITION):**  
REMOVE AND REPLACE EXISTING ROOF AT ALL LOW AND HIGH ROOFS

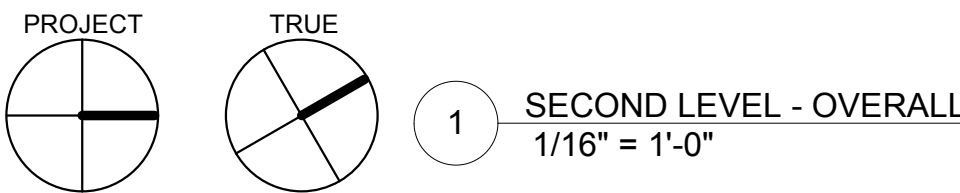
- INCLUDES REMOVAL OF ALL EXISTING ROOFING TO STRUCTURAL DECKING AT ALL LOW AND HIGH ROOFS
- INCLUDE AN ALLOWANCE FOR 5% REPLACEMENT OF EXISTING ROOF SUBSTRATE WITH NEW METAL DECK
- INCLUDE PROVISIONS FOR A NEW TWO-PLY SBS CLASS-A MODIFIED BITUMINOUS ROOFING SYSTEM WITH THE FOLLOWING COMPONENTS:
  - 5/8" GYPSUM SHEATHING OVER THE EXISTING SUBSTRATE
  - MODIFIED BITUMEN VAPOR BARRIER
    - (2) LAYERS 2-1/2" POLYISOCYANURATE INSULATION WITH STAGGERED JOINTS, FIRST LAYER SET IN ASPHALT (MIN. R-30)
    - CONTINUOUS 1/2" COVER BOARD SET IN HOT ASPHALT
- MEMBRANE AND CAP SHEET WITH FLASHING AND AUXILIARY MATERIALS AS REQUIRED, CAP SHEET SHALL HAVE SOLAR REFLECTANCE INDEX (SRI) OF 78 MINIMUM.
- MECHANICAL EQUIPMENT SUPPORTS: WELD NEW FRAMES AND/OR EXTEND FRAMES TO ACCOMMODATE NEW ROOF THICKNESS AND ADJUSTED EQUIPMENT SIZES. SCRAPE ALL EXISTING SUPPORTS, PRIME AND PAINT.

**ROOF REPLACEMENT @ EXISTING BUILDING (1970 ORIGINAL STRUCTURE)**  
AT HIGH ROOM SELECTIVELY REMOVE AND REPLACE EXISTING DAMAGED HIGH ROOF ALUMINUM STANDING SEAM MANSARD METAL PANELS, APPROXIMATELY 20 SF. INCLUDE NEW FIRE-TREATED PLWD SUBSTRATE, ROOFING MEMBRANES AND FLASHINGS, AND ANCHORAGE. PANELS SHALL MATCH EXISTING IN COLOR AND TEXTURE.

**ROOF REPLACEMENT @ EXISTING BUILDING (1971 ADDITION):**  
AT 1971 ROOF: REMOVE AND REPLACE ALL EXISTING ALUMINUM BOX GUTTERS (VARIES 3'-0" TO 5'-0" WIDTHS) ALONG ALL ROOF EDGES – INCLUDING AT COURTYARD – OF 1971 SOUTH ADDITION. PROVIDE NEW SUBSTRATE, BUILT-UP BLOCKING AND FLASHINGS TO ACCOMMODATE INCREASED ROOF INSULATION AND ASSOCIATED THICKNESS. PROVIDE RIBBED, SHOP-FINISHED 0.063" MIN. ALUMINUM BOX GUTTERS AND PERIMETER 2-PIECE CLEATED FASCIA EDGES. PERIMETER ASSEMBLY SHALL INCLUDE SHOP-FABRICATED SPLICE PLATES, EXPANSION JOINTS, AND PRE-FABRICATED MITERED CORNERS.

**ROOF REPLACEMENT @ EXISTING BUILDING (1970 ORIGINAL STRUCTURE):**  
AT 1970 HIGH AND LOW ROOFS, REMOVE AND REPLACE EXISTING PERIMETER GRAVEL STOP AND SUBSTRATE ALONG ALL ROOF EDGES – INCLUDING AT COURTYARD – OF ORIGINAL 1970 ROOFS. PROVIDE NEW SUBSTRATE, BUILT-UP BLOCKING AND FLASHINGS TO ACCOMMODATE INCREASED ROOF INSULATION AND ASSOCIATED THICKNESS. PROVIDE NEW PERIMETER KYNAR SHOP-FINISHED 0.063" MIN. ALUMINUM ROOF EDGE PROFILES; 2-PIECE CLEATED, WITH MFR-PROVIDED SPLICE PLATES, EXPANSION JOINTS, AND PRE-FABRICATED MITERED CORNERS. (BASIS OF DESIGN METAL-ERA PERMA-TITE).

**ROOF REPLACEMENT @ EXISTING BUILDING (1970 ORIGINAL STRUCTURE)**  
PROVIDE NEW INSULATED ROOF HATCH WITH INTEGRAL FLASHINGS AND OSHA-COMPLIANT GUARD RAILS AND OSHA-COMPLIANT INTERIOR LADDERS.



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ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2018

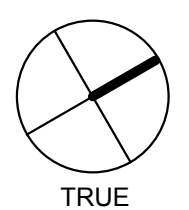
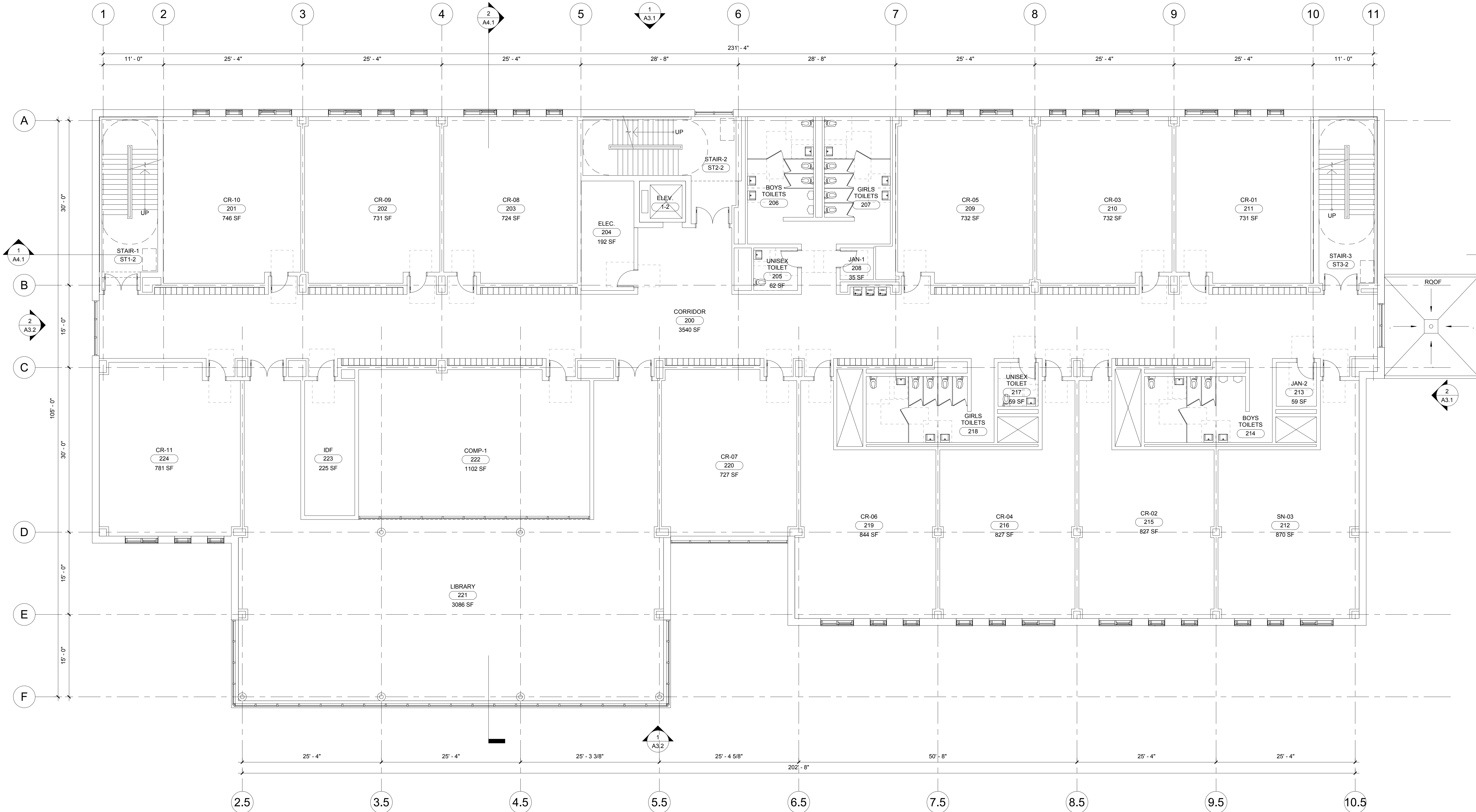
PBC Project Name: DIRKSEN ES. ANNEX & RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
SECOND LEVEL - PROPOSED OVERALL PLAN

SHEET

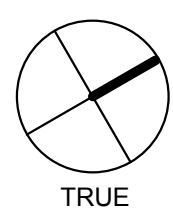
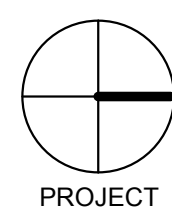
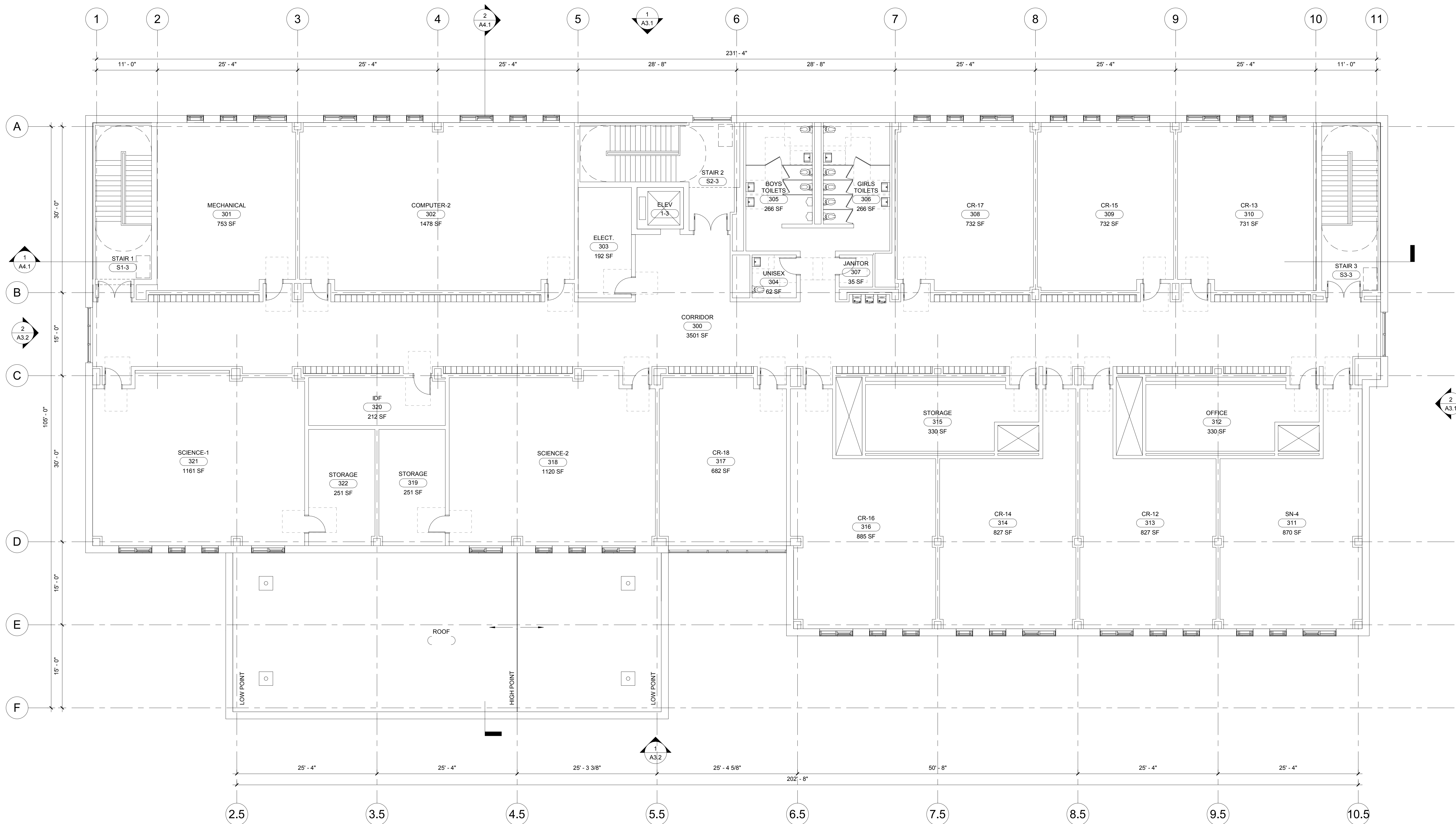
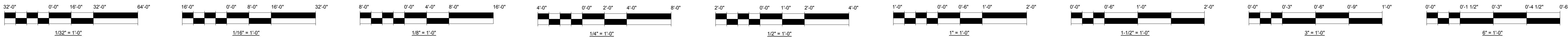
A1.2





## A1.2A





1

THIRD LEVEL - ANNEX FLOOR PLAN  
1/8" = 1'-0"

NOT FOR  
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ISSUANCE		
MARK	DESCRIPTION	DATE
1	50 % SCHEMATIC DESIGN	11.02.2018

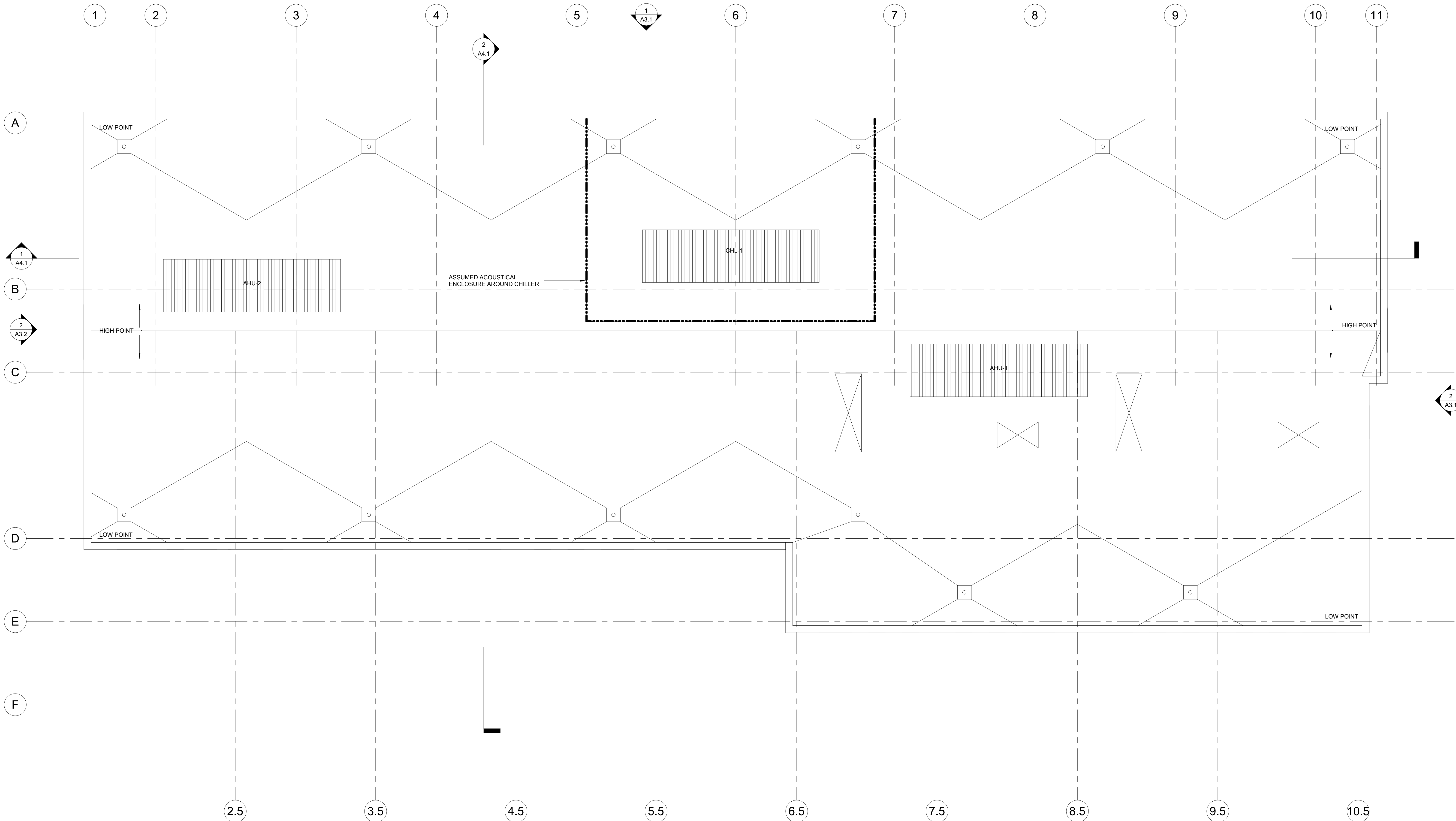
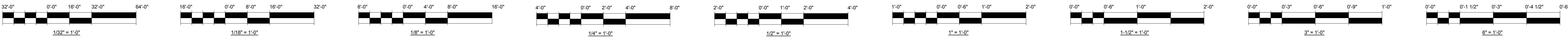
PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
THIRD LEVEL - PROPOSED  
ANNEX PLAN

SHEET

A1.3





PROJECT TRUE

1 ROOF LEVEL - ANNEX FLOOR PLAN  
1/8" = 1'-0"

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ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2018

PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
ROOF LEVEL - PROPOSED  
ANNEX PLAN

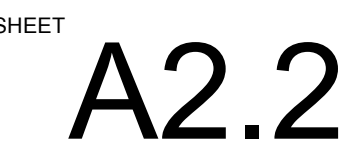
SHEET

A1.4

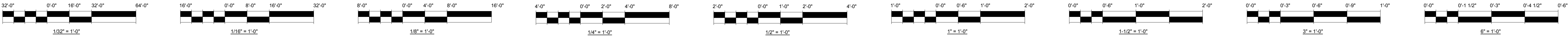












## GENERAL CEILING NOTES

- ALL CEILING GRIDS SHALL BE CENTERED IN ROOMS UNLESS NOTED OTHERWISE.
- ALL LIGHT FIXTURES AND DIFFUSERS SHALL BE CENTERED ON THE TILE UNLESS NOTED OTHERWISE.
- ALL SPRINKLER HEADS SHALL BE CENTERED WITHIN TILE UNLESS NOTED OTHERWISE. SPRINKLER PACKAGE IS DESIGN-BUILD BY CONTRACTOR; THE LOCATION OF HEADS IS INDICATED FOR INFORMATION ONLY. THE ACTUAL NUMBER AND EXACT LOCATION OF HEADS MAY VARY; THE CONTRACTOR SHALL COORDINATE THE FOLLOWING:  
A) LOCATION OF HEADS IN LAY-IN CEILING TILES SHALL BE CENTERED WITHIN 2'x2' TILE.  
B) ALL SPRINKLER MAINS AND BRANCH PIPING SHALL RUN UNEXPOSED TO VIEW TO VIEW EXCEPT IN ROOMS WITHOUT FINISHED CEILINGS. ALL SPRINKLER BRANCH PIPING SHALL RUN UNEXPOSED AT STAIRS.
- ALL ROUND COLUMNS SHALL RECEIVE ROUND CEILING GRID TRIM.
- ALL GYPSUM BOARD CEILINGS AND SOFFITS SHALL HAVE 5/8" REVEAL EDGE AT ADJACENT PARTITIONS EXCEPT WHERE GWB CEILINGS ARE REQUIRED TO BE FIRE-RATED.
- COORD. SPRAY FIREPROOFING REQUIREMENTS WITH G2 DRAWING SHEETS AND PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL COORD. LOCATION OF PLUMBING AND MECH. VALVES, TRANSFORMERS AND ASSOC. ABOVE-CEILING COMPONENTS, PROVIDE CEILING ACCESS PANELS, PTD. COORDINATE LOCATIONS OF CEILING ACCESS PANELS IN GYP. BD. CLG. AREAS. ALL LOCATIONS SHALL BE CENTERED AND/OR ALIGNED WITH ADJACENT EXPOSED CONSTRUCTION. ALL LOCATIONS SHALL BE REVIEWED AND APPROVED BY AOR.
- ALL EXPOSED PERIMETER EDGES OF ACOUSTIC TILE CEILING GRID "CLOUDS" SHALL BE FINISHED WITH 4" EDGE SUSPENSION TRIM.
- EXPOSED EXTERIOR FERROUS METAL SHALL BE HOT-DIPPED GALVANIZED, CLEANED, RINSED OF OIL, SHOP PRIMED + FIELD PAINTED, INCLUDING BUT NOT LIMITED TO LOOSE LINTELS, SHELF ANGLES, BENT PLATES, STEEL GRATING, FASTENERS, AND CONNECTIONS.
- REFER TO MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

11. CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SCOPE OF WORK TO ENSURE REQUIRED CEILING ELEVATIONS AND CLEARANCES HAVE BEEN ACHIEVED. CONTRACTOR SHALL SUBMIT TO THE AOR AND FOR COORDINATION SHOP DRAWINGS, PLANS AND SECTIONS. SHOP DRAWINGS SHALL INCLUDE A COORDINATED OVERLAY OF ALL STRUCTURAL FRAMING, MECHANICAL EQUIPMENT, DUCTWORK AND PIPING, ELECTRICAL AND LIGHTING EQUIPMENT AND PRIMARY CONDUIT RUNS, PLUMBING AND FIRE PROTECTION PIPING, AND ARCHITECTURAL CEILING EQUIPMENT. DRAWINGS SHALL NOTE TOP + BOTTOM ELEVATIONS OF ALL ITEMS LISTED ABOVE AND FINISHED CEILING ELEVATIONS. COORDINATION SHOP DRWGS SHALL BE SUBMITTED TO THE AOR AND EOR PRIOR TO THE START OF ALL ASSOCIATED WORK.

## CEILING KEYNOTE LEGEND

- ACOUSTICAL CLG TYPE 1 (APC-1), 2'x2' SUSPENDED ON 15/16" GRID; 3/4" TH., MIN. NRC 0.70 PANELS; REFER TO SPECIFICATION SECTION 09 51 13.
- ACOUSTICAL CLG TYPE 2 (APC-2), 2'x2' SUSPENDED ON 15/16" GRID; 1" TH., MIN. NRC 0.95 PANELS; REFER TO SPECIFICATION SECTION 09 51 13.
- ACOUSTICAL CLG TYPE 3 (AC-3), MEMBRANE-FACED 2'x2' SUSPENDED ON 15/16" GRID; 1/2" TH., NSF TYPE, CAC 0.35 MIN. PANELS; REFER TO SPECIFICATION SECTION 09 51 13.
- ACOUSTICAL CLG TYPE 4 (APC-4), 2'x2' SUSPENDED ON 15/16" GRID; 5/8" TH., MIN. NRC 0.55 PANELS; REFER TO SPECIFICATION SECTION 09 51 13.
- GYPSUM BOARD CEILING/SOFFIT, PT-1 UNLESS NOTED OTHERWISE, REFER ALSO TO A13 FINISH PLANS
- STEEL LINTEL PAINTED TO MATCH ADJACENT WALL COLOR
- EXPOSED CONSTRUCTION - NO PT. (SPRAY-APPLIED FIREPROOFING WHERE REQ'D)
- 5/8" PREFINISHED REVEAL TRIM, FRY-REGLET DRMW-625-625 (BASIS OF DESIGN)
- GYP. BD. CEILING CONTROL JOINT W/CONT. 1/2" PREFIN. ALUM. REVEAL TO MATCH PAINT COLOR; EXTEND ON JOINTS TO VERT. FACES OF SOFFIT
- MANUAL ROLLER SHADE
- CEILING-MTD. PROJECTION SCREEN + HOUSING
- RECESSED PREFIN. RADIANT PANEL
- MOISTURE-RESISTANT GYPSUM BOARD CEILING, PT-1 UNLESS NOTED OTHERWISE, REFER ALSO TO A13 FINISH PLANS
- GYPSUM BOARD CEILING, 2-HR RATED ASSEMBLY WITH SHAFT LINER + C-H STUD FRAMING
- ACOUSTICAL PANEL/ CEILING GRID CONTROL JOINT
- MOISTURE-RESISTANT GYPSUM BOARD CEILING, PT-1 UNLESS NOTED OTHERWISE, REFER ALSO TO A13 FINISH PLANS

## CEILING LEGEND

- MOISTURE-RESISTANT GYPSUM BOARD
- NON-MOISTURE RESISTANT GYPSUM BOARD
- ACOUSTICAL CEILING TILE 2x2

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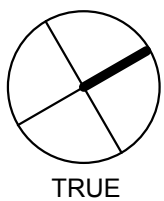
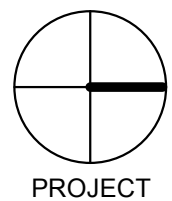
ISSUANCE		
MARK	DESCRIPTION	DATE
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PBC Project Name: DIRKSEN ES. ANNEX & RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
THIRD FLOOR REFLECTED  
CEILING PLAN

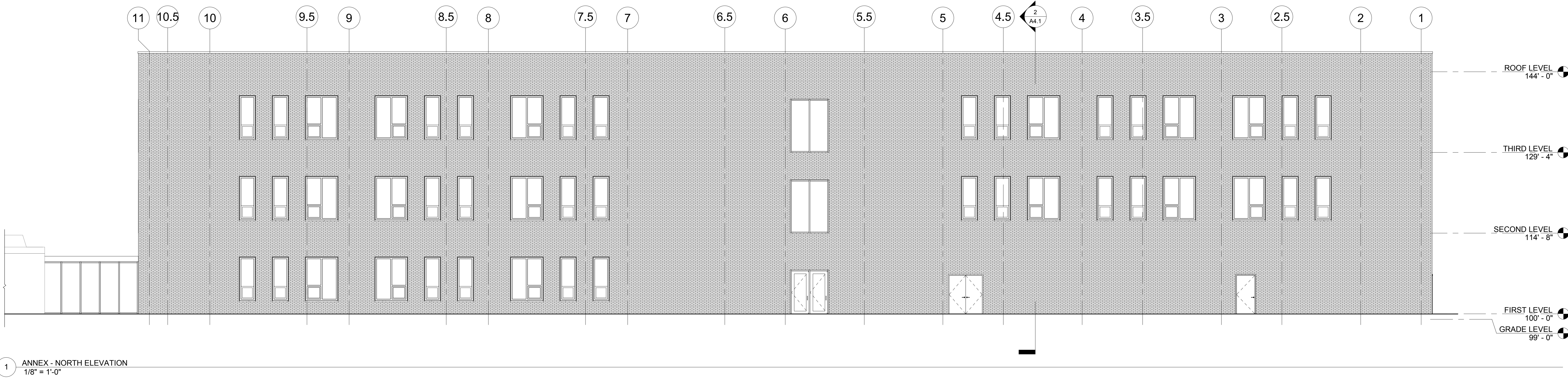
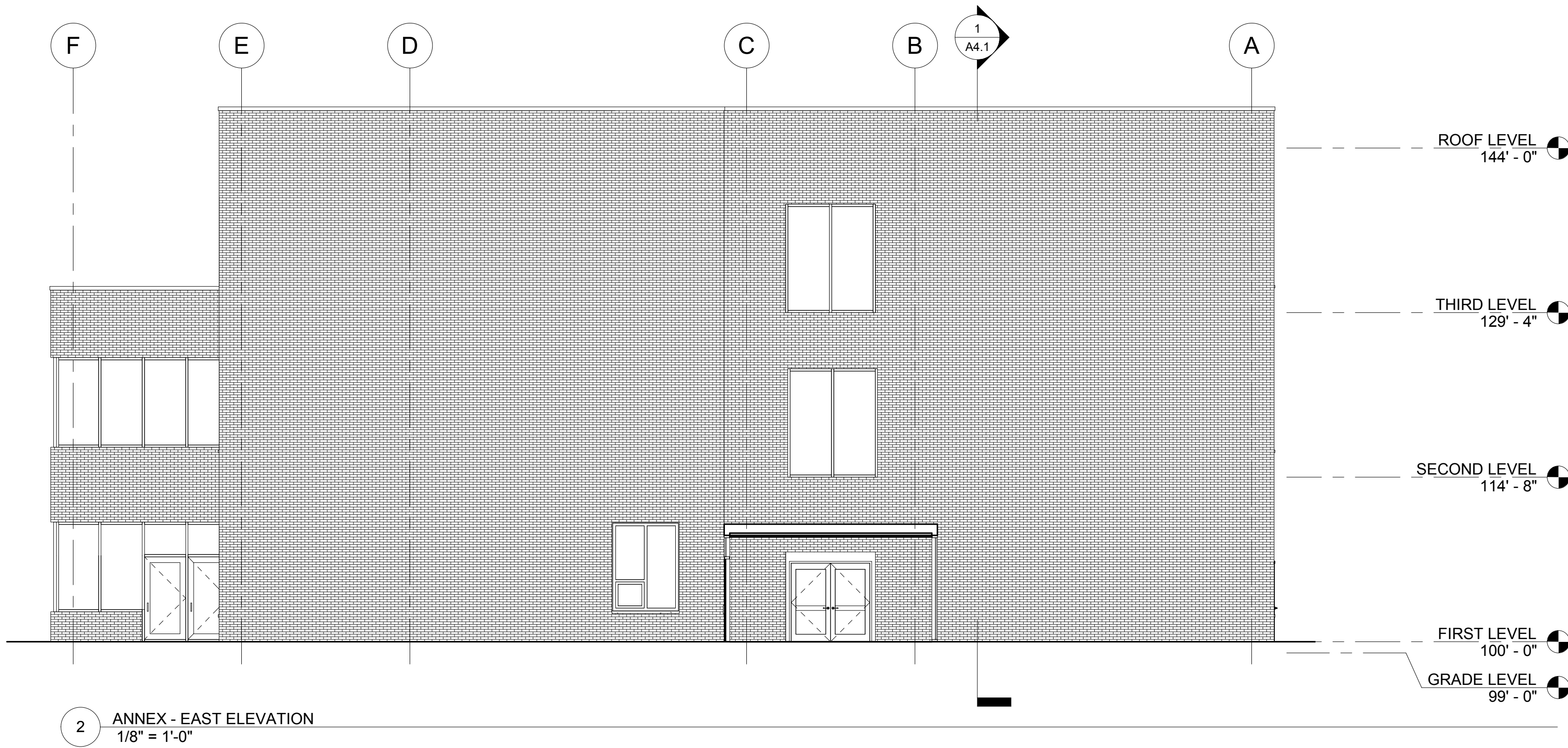
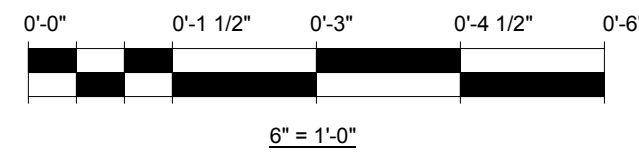
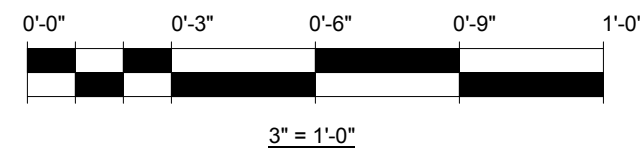
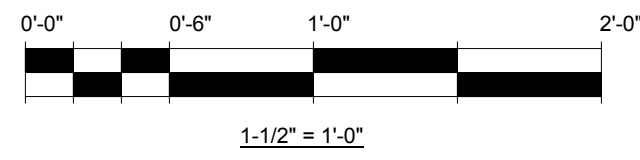
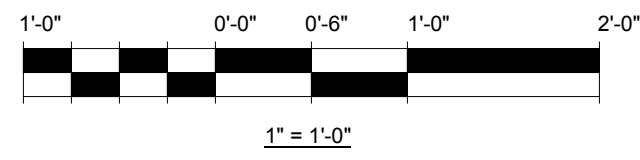
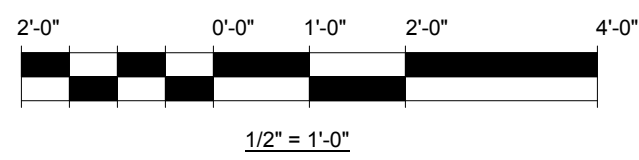
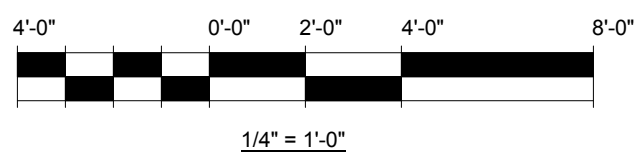
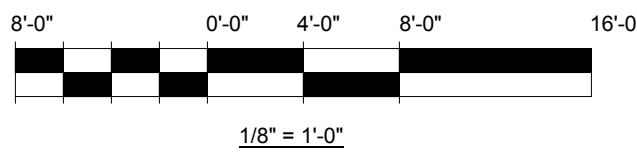
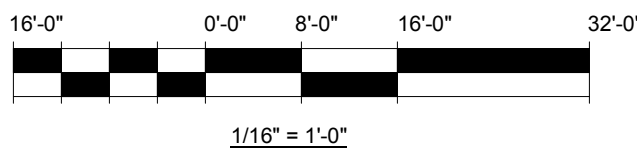
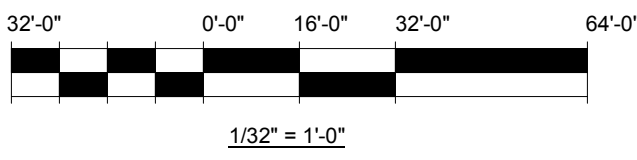
SHEET

**A2.3**



1 THIRD LEVEL - REFLECTED CEILING PLAN  
1/8" = 1'-0"





NOT FOR  
CONSTRUCTION



## DIRKSEN ES. ANNEX & RENOVATION

8601 W. FOSTER AVE.  
CHICAGO, IL 60656

ARCHITECT OF RECORD  
SMNG-A LTD.



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CHICAGO, ILLINOIS 60642  
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FAX: 312.825.8187  
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ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2018

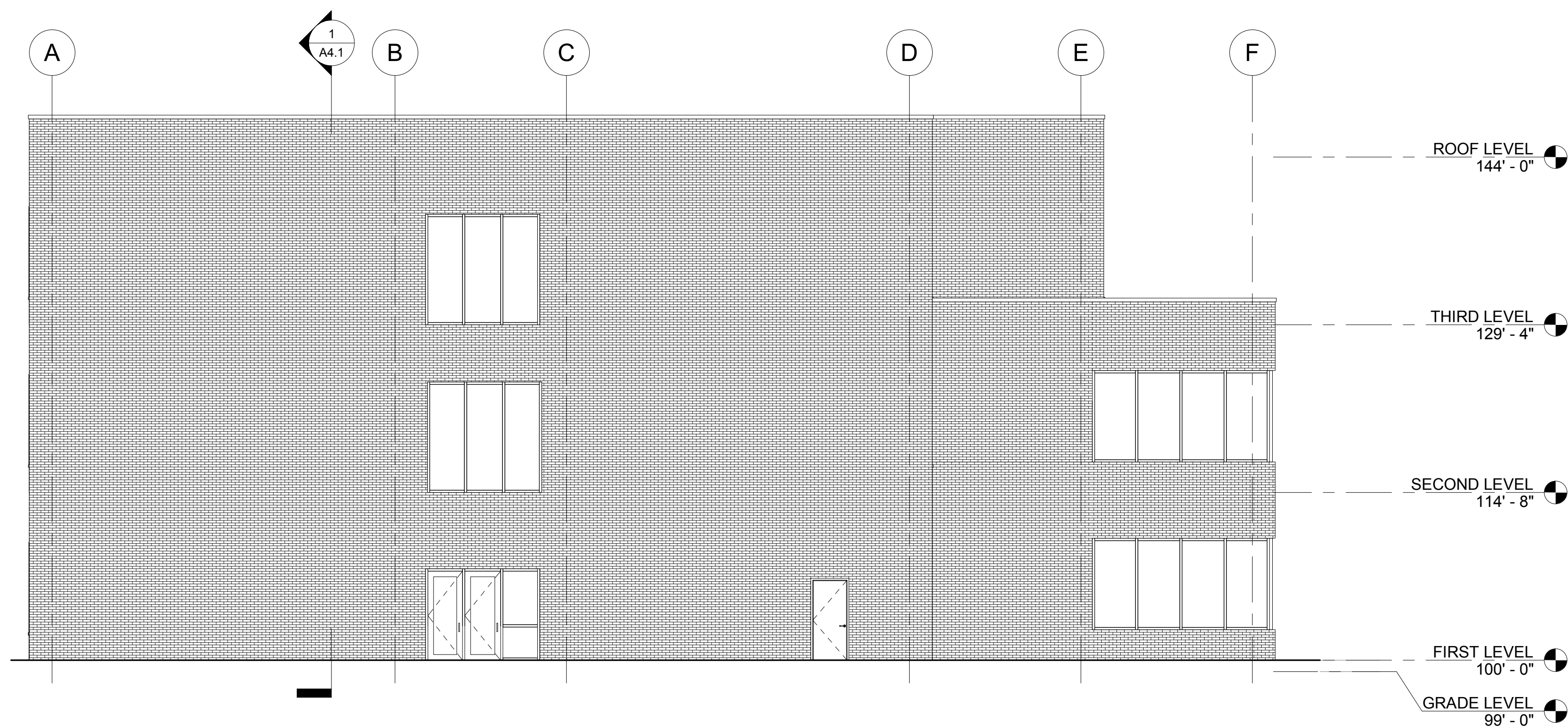
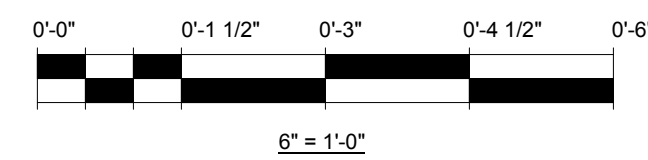
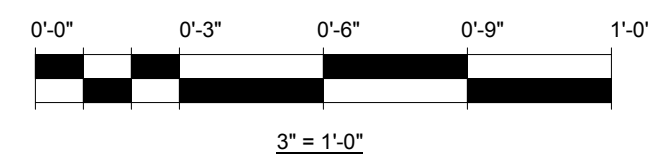
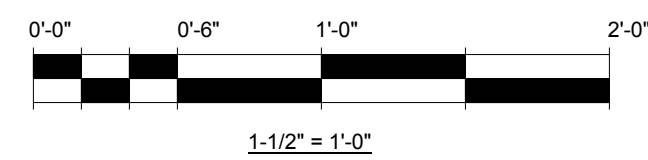
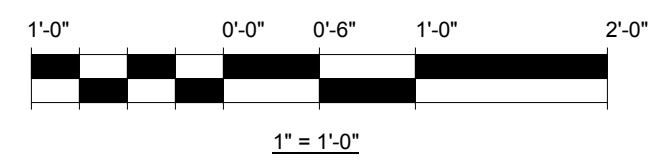
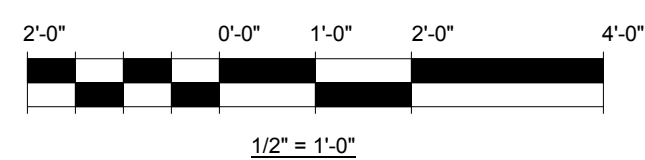
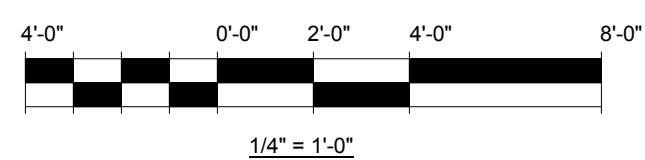
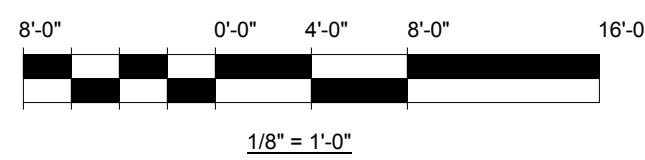
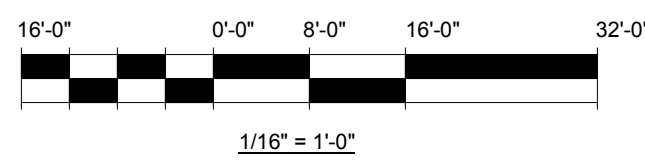
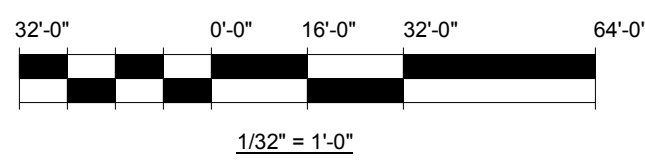
PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
BUILDING ELEVATIONS -  
ANNEX

SHEET

A3.1





2 ANNEX - WEST ELEVATION  
1/8" = 1'-0"



1 ANNEX - SOUTH ELEVATION  
1/8" = 1'-0"



# DIRKSEN ES. ANNEX & RENOVATION

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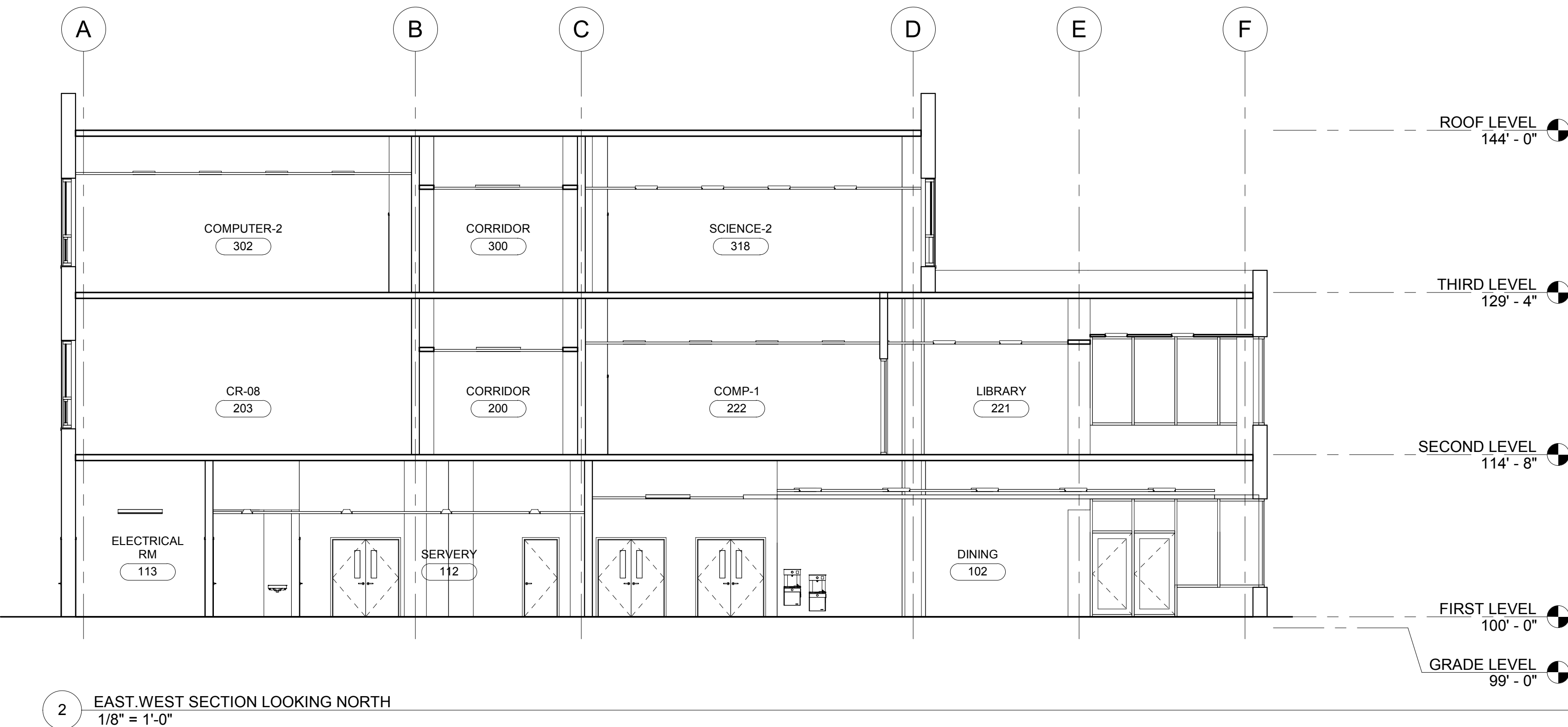
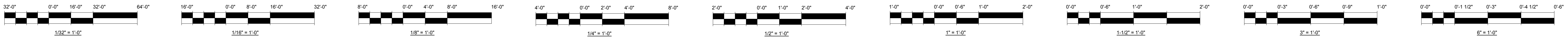
PBC Project Name: DIRKSEN ES. ANNEX &  
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PBC Contract No: PS0000  
PBC Project No: 0012080  
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TITLE  
BUILDING ELEVATIONS -  
ANNEX

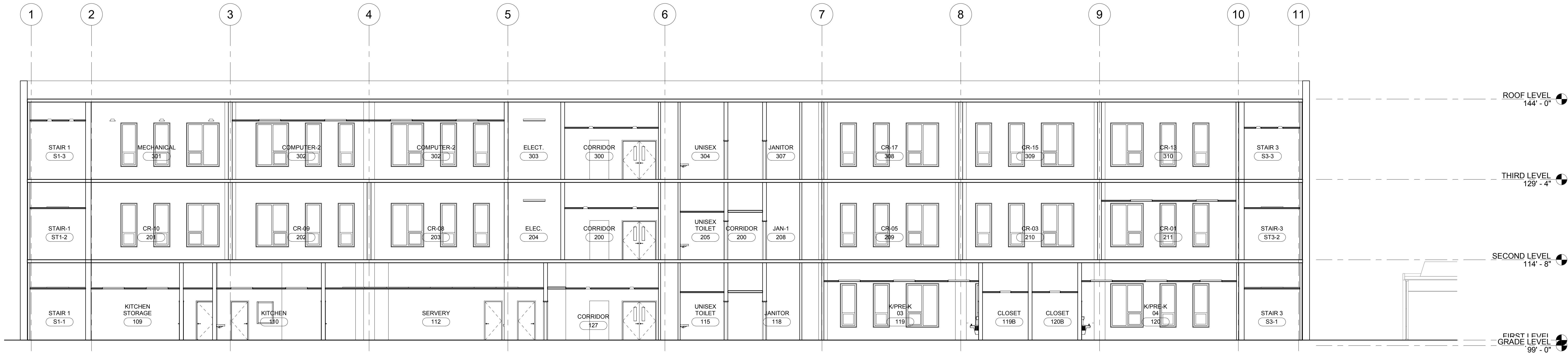
SHEET

A3.2





2 EAST WEST SECTION LOOKING NORTH  
1/8" = 1'-0"



1 NORTH SOUTH SECTION LOOKING WEST  
1/8" = 1'-0"

NOT FOR  
CONSTRUCTION



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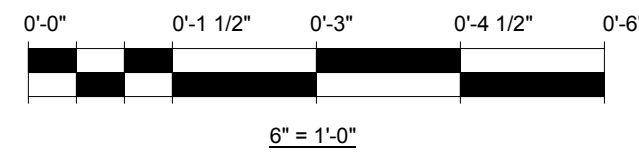
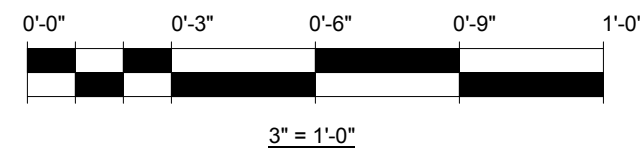
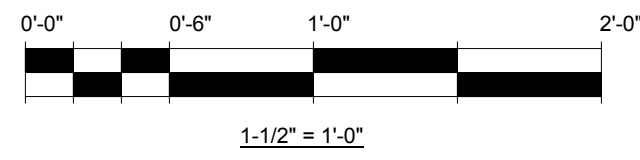
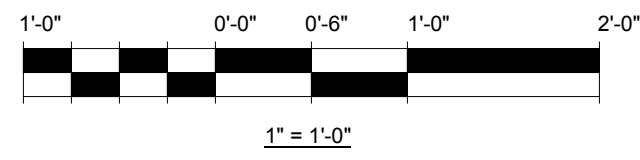
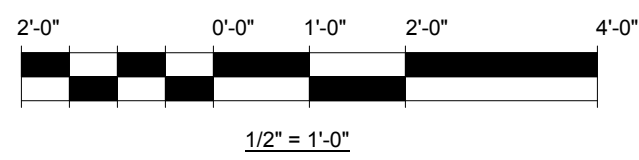
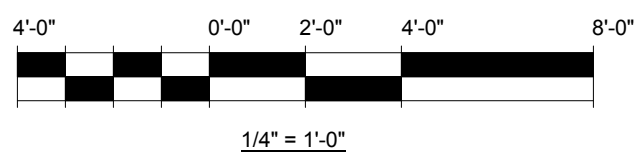
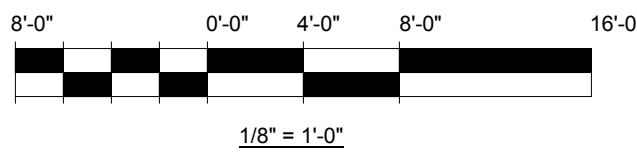
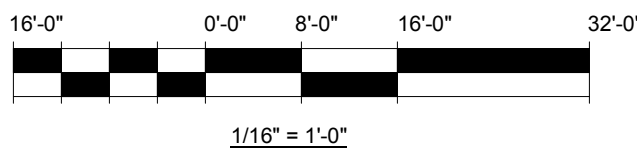
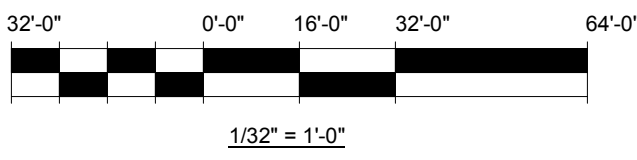
PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
BUILDING SECTIONS - ANNEX

SHEET

A4.1





UNDERSIDE OF ROOF JOIST LEVEL  
144' - 0"

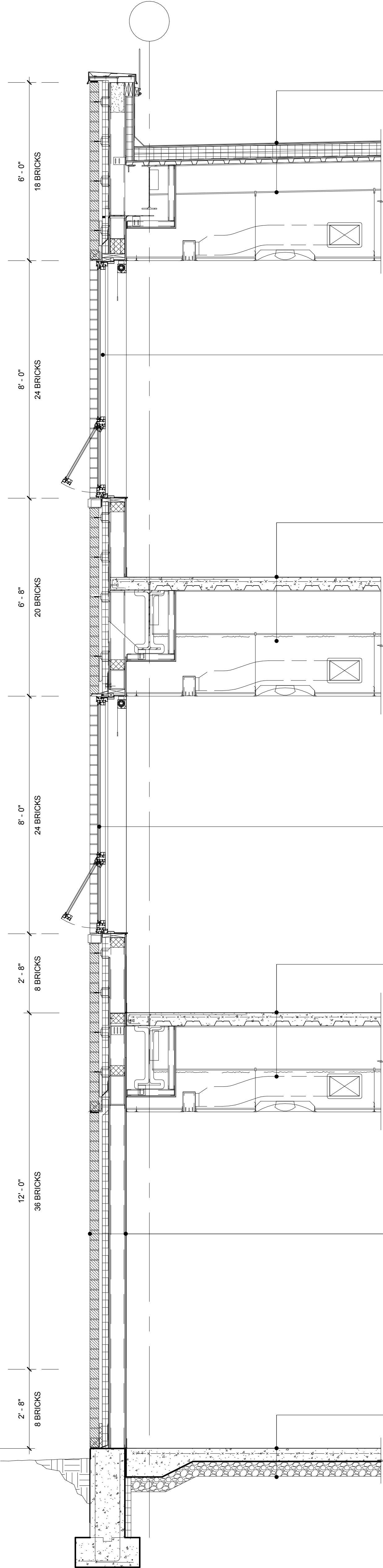
THIRD LEVEL  
129' - 4"

SECOND FLOOR LEVEL  
114' - 8"

WINDOW SILL LEVEL

FIRST FLOOR LEVEL  
100' - 0"  
GRADE PLANE LEVEL  
99' - 0"

2 TYPICAL WALL SECTION AT CLASSROOM  
1/2" = 1'-0"



TYPICAL ROOF ASSEMBLY (CLASS A):  
· MODIFIED BITUMINOUS ROOFING MEMBRANE SYSTEM  
· 1/2" GLAS-MAT COVER BOARD  
· (2) LAYERS 2-1/2" POLYISOCYANURATE INSULATION  
· BUILT-UP RIGID INSULATION CRICKETS (SEE ROOF PLAN)  
· BASE PLY (TEMPORARY ROOF) MEMBRANE  
· 5/8" ROOF SUBSTRATE BOARD  
· 1 1/2" GALVANIZED ROOF DECK  
· STRUCTURAL STL / BEAM FRAMING

TYPICAL ALUMINUM WINDOW:  
3 1/4" PREFINISHED ALUMINUM WINDOW SYSTEM (FIXED AND OUTSWING LITES) w/ 1" INSULATED GLAZING- SEE ELEV. FOR UNIT CONFIGURATIONS (TYP.)

TYP. 6 1/2" THIRD FLOOR CONST., 2-HR RATED, UL#D739  
· FINISH FLOORING  
· 6 1/2" LTWT CONCRETE  
· 2" GALV. MTL COMPOSITE DECKING  
· STRUCTURAL STL FRAMING  
· SFRM APPLIED TO BEAMS AND DECK

TYPICAL ALUMINUM WINDOW:  
3 1/4" PREFINISHED ALUMINUM WINDOW SYSTEM (FIXED AND OUTSWING LITES) w/ 1" INSULATED GLAZING- SEE ELEV. FOR UNIT CONFIGURATIONS (TYP.)

TYP. 6 1/2" SECOND FLOOR CONST., 2-HR RATED, UL#D739  
· FINISH FLOORING  
· 6 1/2" LTWT CONCRETE  
· 2" GALV. MTL COMPOSITE DECKING  
· STRUCTURAL STL FRAMING  
· SFRM APPLIED TO BEAMS AND DECK

TYPICAL EXTERIOR WALL CONST., 1-HR RATED, UL#V454  
· 5/8" INT. TYPE 'X' GYP. BD. (TAPED + PAINTED)  
· 6" COLD-FORMED MTL. STUD @ 16" O.C. MAX.  
· 5/8" TYPE 'X' EXT. GLASS-MAT GYP. SHEATHING  
· SHEET APPLIED AIR AND VAPOR BARRIER  
· 2 1/2" RIGID POLYSTYRENE INSULATION (R=12.50 MIN.)  
· 1 3/8" AIRSPACE  
· UTILITY BRICK VENEER (TYP.)

TYP. FIRST FLOOR SLAB-ON-GRADE CONST.:  
· FINISH FLOORING (SEE FINISH PLANS + LEGEND ON A13 SHEETS)  
· 5" REINF. CONCRETE SLAB  
· VAPOR BARRIER  
· 6" COMPACTED GRANULAR FILL

NOT FOR CONSTRUCTION



**DIRKSEN ES. ANNEX  
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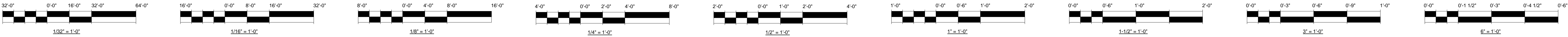
PBC Project Name: DIRKSEN ES. ANNEX & RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
WALL SECTIONS

SHEET

A5.1





## GENERAL NOTES

- STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS OF ALL DRAWINGS INTO SHOP DRAWINGS AND THEIR WORK. IN CASE OF CONFLICT BETWEEN THE STRUCTURAL WORK AND THE DRAWINGS OF THE OTHER TRADES, THE CONTRACTOR SHALL MAKE ALLOWANCE FOR THE MORE SEVERE REQUIREMENTS.
- THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE STRUCTURAL DRAWINGS AND SPECIFICATIONS DO NOT INDICATE THE METHOD OF CONSTRUCTION UNLESS NOTED OTHERWISE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, SEQUENCES AND TECHNIQUES OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SITE SAFETY PRECAUTIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, INSTALLATION AND REMOVAL OF ALL TEMPORARY BRACING AND SHORING OF EXISTING AND NEW STRUCTURE. THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR'S STRUCTURAL ENGINEER SHALL DESIGN ALL TEMPORARY BRACING AND SHORING. SEALED STRUCTURAL CALCULATIONS (BY ILLINOIS LICENSED STRUCTURAL ENGINEER) AND DETAILED DESIGN DRAWINGS SHALL BE SUBMITTED TO DCAFP FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOADS IMPOSED UPON THE STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE CAPACITY OF THE FRAMING MEMBERS AT THE TIME THE LOADS ARE IMPOSED.
- ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, CONTRADICTIONS, OMISSIONS, OR AMBIGUITIES IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. PLANS AND/OR SPECIFICATIONS FOR THE DESIGN OF THE STRUCTURE. THE ARCHITECT/ENGINEER'S INTERPRETATION WILL BE PROVIDED BY THE ARCHITECT/ENGINEER OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY PRIOR TO PROCEEDING WITH AFFECTED WORK. DO NOT ASSUME THAT EITHER SPECIFICATIONS OR DRAWINGS TAKE PRECEDENCE.
- THE CONTRACTOR SHALL INFORM THE ARCHITECT/ENGINEER OF ANY DEVIATIONS IN CONSTRUCTION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY OF FOR SUCH DEVIATION BY THE ARCHITECT/ENGINEER'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT/ENGINEER OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND THE ARCHITECT/ENGINEER HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- THE CONTRACTOR SHALL VERIFY WITH THE GEOTECHNICAL ENGINEER THE PROPOSED CONSTRUCTION PROCEDURES RELATING TO FOUNDATION CONSTRUCTION AND EXCAVATIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL REPORT RECOMMENDATIONS.
- NO CHANGE IN SIZE OR DIMENSION OF THE STRUCTURAL MEMBERS SHALL BE MADE WITHOUT A WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER.
- DO NOT SCALE STRUCTURAL DRAWINGS. USE DIMENSIONS.

## GENERAL FOUNDATION NOTES

- THE FOUNDATION DESIGN IS BASED ON THE FOLLOWING:  
A. GEOTECHNICAL REPORTS PREPARED BY XXXXXX DATED XXXX XX, 2018 (JOB NO. XXXXXXXX).
- THE RECOMMENDED ALLOWABLE BEARING CAPACITY IS 2800 PSF AND THE MODULUS OF SUBGRADE REACTION IS 200 PCI.
- THE SOIL SUBGRADE FOR ALL SLABS SHALL BE PREPARED AS PER THE GEOTECHNICAL REPORT AND INSPECTED AND APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER IMMEDIATELY PRIOR TO PLACING FOUNDATION CONCRETE.
- ALL SLAB SUBGRADES SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT BASED ON LABORATORY DESIGNATION ASTM D1557.
- ALL ORGANIC AND/OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM SUBGRADE AND BACKFILL AREAS AND BACKFILLED WITH ACCEPTABLE GRANULAR FILL (AS OUTLINED IN THE GEOTECHNICAL REPORT) COMPACTED TO 95% OF MAXIMUM DENSITY. FILLS SHALL BE PLACED IN LIFTS NOT TO EXCEED 9 INCHES, UNLESS NOTED OTHERWISE.
- ALL FOUNDATION CONCRETE SHALL BE PLACED THE SAME DAY THAT THE EXCAVATIONS ARE DUG. IF EXCAVATIONS MUST REMAIN OPEN OVERNIGHT OR IF RAIN BECOMES IMMINENT WHILE BEARING SOILS ARE EXPOSED, 2 TO 4 INCH THICK MAT OF LEAN CONCRETE SHALL BE PLACED ON BEARING SOILS BEFORE PLACEMENT OF REINFORCING STEEL.
- NO MUD SLABS, FOOTINGS OR SLABS SHALL BE PLACED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST OR ICE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY FROST OR ICE PENETRATING ANY FOOTING OR SLAB SUBGRADE BEFORE AND AFTER PLACING CONCRETE AND UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT BUILDING STRUCTURE.
- ALL SLAB AND FOOTING MUD SLABS SHALL BE THOROUGHLY CLEANED IMMEDIATELY PRIOR TO THE FOUNDATION CONCRETE PLACEMENT.
- ALL SLAB-ON-GRADE SHALL BE PLACED OVER A 6 MIL THICK VAPOR BARRIER OVER A MINIMUM OF 6 INCH COMPACTED GRANULAR MATERIAL OVER A COMPACTED SUBGRADE.
- ALL PERIMETER WALL AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 3'-6" BELOW FINISHED GRADES SHOWN ON ARCHITECTURAL DRAWINGS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL WATERPROOFING, DAMPROOFING AND WATERSTOP DETAILS.

## BELLED CAISSON FOUNDATION NOTES

- THE FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL REPORT PREPARED BY XXXXX, INC. DATED XXXX XX, 2018.
- ALL BELLED CAISSONS SHALL BEAR ON THE HARDPAN AS INDICATED ON DETAIL 1/53-1 AND AS INSPECTED AND APPROVED BY THE OWNER'S SOIL TESTING LABORATORY. THE SUITABLE BEARING MATERIAL SHALL BE VERIFIED BY AUGER PROBE OR EQUIVALENT MEANS BY THE OWNER'S SOIL TESTING LABORATORY. PROBE HOLES IN HARD PAN SHALL BE GROUTED UPON COMPLETION.
- THE BOTTOM OF THE CAISSON ELEVATION AND BELL DIAMETER ARE ONLY ESTIMATED BASED UPON THE GEOTECHNICAL SOIL BORING REPORT. ALTERATIONS TO THE BELL DIAMETER AND BOTTOM OF CAISSON ELEVATIONS WILL BE REQUIRED BASED UPON ACTUAL CONDITIONS ENCOUNTERED.
- THE TEMPORARY LINER SHALL BE REMOVED DURING CONCRETING OPERATION (AND REUSED AT CONTRACTOR'S OPTION). A MINIMUM OF 8 FEET HEAD OF CONCRETE SHALL BE MAINTAINED AT ALL TIMES DURING LINER REMOVAL.
- ALL BELLED CAISSONS SHALL HAVE TEMPORARY UPPER STEEL LINERS EXTENDING APPROXIMATELY 15 TO 20 FEET BELOW EXISTING GRADE. ADDITIONAL LOWER TEMPORARY LINERS SHALL BE INSTALLED AS REQUIRED BY THE EXCAVATION AND INSPECTION CONDITIONS AND PROCEDURES. THE CONTRACTOR SHALL DESIGN AND UTILIZE SHELL THICKNESS AS REQUIRED TO WITHSTAND ALL INSTALLATION STRESSES, SOIL STRESSES WATER AND CONCRETE HYDRAULIC STRESSES.
- THE CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS AND THE GEOTECHNICAL EXPLORATION REPORT AND ESTABLISH SPECIFIC CONSTRUCTION PROCEDURES AND SEQUENCES AND SUBMIT THEM FOR ARCHITECT'S INFORMATION AND THE OWNER'S SOIL TESTING LABORATORY'S REVIEW PRIOR TO THE START OF CAISSON CONSTRUCTION. THE CONTRACTOR'S PROCEDURES AND METHODS OF CAISSON INSTALLATION SHALL MINIMIZE SETTLEMENT OF ADJACENT CONSTRUCTION, AND THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR ALL REMEDIAL WORK RESULTING FROM SUCH SETTLEMENT.
- THE CONTRACTOR SHALL SUBMIT, FOR REVIEW, CHECKED SHOP DRAWINGS FOR ALL STEEL LINERS AND REINFORCING MATERIALS.
- THE BOTTOM OF EACH CAISSON SHALL BE THOROUGHLY CLEANED OF ALL LOOSE MATERIALS PRIOR TO CONCRETE PLACEMENT.
- NO CONCRETE SHALL BE PLACED INTO A CAISSON EXCAVATION CONTAINING FREE WATER WITHOUT THE ARCHITECT'S REVIEW OF TECHNIQUES AND REVISIONS TO THE CONCRETE MIX DESIGN.
- THE CAISSON CONCRETE SHALL BE PLACED USING A HOPPER AND CHUTE PIPE AT THE TOP OF THE CAISSON EXCAVATION TO DIRECT THE FLOW OF CONCRETE TO THE BOTTOM OF THE CAISSON WITHOUT THE CONCRETE MATERIALS REBOUNDED OFF THE STEEL LINER AND/OR REBAR GAUGE.
- ALL LAITANCE MATERIALS SHALL BE REMOVED FROM THE TOP OF EACH CAISSON PRIOR TO FURTHER CONSTRUCTION.
- CAISSON CONCRETE SHALL BE PLACED FULL LENGTH IN ONE CONTINUOUS POUR WITHOUT CONSTRUCTION JOINTS.
- ALL CAISSON CONCRETE SHALL BE CONCRETE (150 PCF) WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH AS NOTED IN THE CAISSON SCHEDULE (RE- SCHEDULE S201). ALL CAISSON CONCRETE SHALL CONTAIN 75 LBS OF FLY ASH PER CUBIC YARD AND AN APPROVED WATER REDUCING PLASTICIZING ADMIXTURE.
- THE CAISSON CONTRACTOR SHALL PROVIDE ALTERNATE CONCRETE DESIGN MIXES FOR "TREMIE" CONCRETE PLACEMENT. ALL CAISSON REINFORCEMENT SHALL BE ASTM A615, GRADE 60.
- UNDERGROUND FOOTINGS AND WALLS OF PREVIOUS BUILDINGS MAY BE ENCOUNTERED RESULTING IN OBSTRUCTION OF CAISSON CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING THE OBSTRUCTIONS AND/OR MAKE PROVISIONS TO PENETRATE OBSTRUCTIONS WITH DRILLING EQUIPMENT.

CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN AND INSTALLATION - DELEGATED DESIGN - OF EARTH RETAINING SYSTEM AS REQUIRED.

EXISTING STRUCTURES IN THE VICINITY SHALL BE MONITORED FOR VIBRATION AND SETTLEMENT DURING CONSTRUCTION

## CONCRETE NOTES

- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-99 AND ACI 301-99. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
- ALL CONCRETE, EXCEPT ON COMPOSITE DECK, SHALL BE NORMAL WEIGHT AND WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH (F<sub>C</sub>) OF 4000 PSI U.N.O.
- ALL EXTERIOR CONCRETE, SUBJECT TO FREEZE AND THAW, SHALL BE AIR-ENTRAINED WITH 5% TO 7% AIR ENTRAINMENT.
- CEMENT SHALL CONFORM TO ASTM C150 TYPE I OR II. USE ONLY ONE BRAND OF CEMENT FOR ALL CONCRETE EXPOSED TO VIEW.
- ALL CONCRETE SHALL BE NORMAL WEIGHT (145 PCF) UNLESS NOTED OTHERWISE. AGGREGATE, FOR NORMAL WEIGHT CONCRETE, SHALL CONFORM TO ASTM C66. PROVIDE LIGHT WEIGHT CONCRETE (110 PCF) WHERE INDICATED ON DRAWINGS. AGGREGATE, FOR LIGHT WEIGHT CONCRETE, SHALL CONFORM TO ASTM C330.
- NO CALCIUM CHLORIDE OR CHLORIDE CONTAINING ADMIXTURES SHALL BE USED. NO CONCRETE SHALL BE PLACED IN DIRECT CONTACT WITH ALUMINUM INCLUDING ALUMINUM CONDUIT.
- ALL REINFORCING (DEFORMED BARS) SHALL CONFORM TO ASTM A615. ALL EPOXY COATED REINFORCING (DEFORMED BARS) SHALL CONFORM TO ASTM A615 AND A775.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. ALL EPOXY COATED WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND A884.
- ALL CONCRETE REINFORCEMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" ACI 315. BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC TIPPED. USE ELECTRIC MATERIAL FOR BAR SUPPORTS AT EPOXY COATED BARS. USE NYLON COATED THE WIRE AT EPOXY COATED BARS.
- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE PROVIDED BY CLEAR COVER, FROM FACE OF THE CONCRETE TO THE OUTSIDE OF THE BAR, AS PER ACI 318-99 SECTION 7.7.
- CHECKED SHOP DRAWINGS SHOWING REINFORCING DETAILS, INCLUDING STEEL SIZES, SPACING AND PLACEMENT SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER PRIOR TO FABRICATION.
- THE CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS SHOWING THE LOCATION OF ALL CONSTRUCTION JOINTS, REVEALS, CURBS, SLAB DEPRESSIONS, SLEEVES, OPENINGS, ETC.
- ALL REINFORCING SPLICES SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-99. ALL WELDED WIRE FABRIC SHALL BE LAPPED TWO FULL MESH PANELS AND TIED SECURELY. WHERE REQUIRED, DOWELS SHALL MATCH THE SIZE AND SPACING OF THE MAIN REINFORCING, UNLESS NOTED OTHERWISE.
- CONSTRUCTION JOINTS IN ALL WALLS, FRAMED SLABS AND BEAMS SHALL NOT BE FURTHER APART THAN 90 FEET IN ANY DIRECTION. SEE DRAWINGS FOR CONSTRUCTION JOINT DETAILS.
- ALL CONSTRUCTION JOINTS SHALL BE WIRED BRUSHED, CLEANED AND MOISTENED IMMEDIATELY PRIOR TO PLACING NEW CONCRETE.
- ADDITIONAL BARS SHALL BE PROVIDED AROUND ALL WALL AND FLOOR OPENINGS AS SHOWN ON DETAILS.
- ALL WALLS AND STRUCTURAL SLABS SHALL BE REINFORCED WITH A MINIMUM OF #4 AT 12" ON CENTERS, EACH WAY, EACH FACE, UNLESS NOTED OTHERWISE. ALL SLAB ON GRADE SHALL BE REINFORCED WITH AT LEAST ONE LAYER OF 6X6-W21XW21 W.W.F., UNLESS NOTED OTHERWISE. PROVIDE ONE LAYER OF 6X6-W14XW14 W.W.F. CONTINUOUSLY IN ALL CONCRETE FILLS OVER STRUCTURAL SLAB.
- ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT PADS SHALL BE REINFORCED WITH MINIMUM OF ONE LAYER OF 6X6-W14XW14 W.W.F. UNLESS NOTED OTHERWISE. SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL REINFORCING REQUIREMENTS OF PADS. THE EXCAV REINFORCING AND PAD THICKNESS SHALL BE COORDINATED WITH EQUIPMENT MANUFACTURER.
- ALLOW A MINIMUM OF THREE (3) HOURS BETWEEN COLUMNS, WALLS AND/OR PIERS AND ADJACENT FLOOR POURS.
- SEE ARCHITECTURAL DRAWINGS FOR TYPE AND LOCATION OF ALL FLOOR FINISHES, FLOOR DEPRESSIONS AND CURBS.
- PLACE SLAB ON GRADE BETWEEN CONSTRUCTION JOINTS IN AREA NOT TO EXCEED 1600 SQ. FT. WITH A MINIMUM OF 24 HOURS BETWEEN ADJACENT POURS. SAWCUT JOINTS WITH A MAXIMUM SPACING OF 16 FEET.
- NO ELECTRIC OR OTHER CONDUIT SHALL BE EMBEDDED IN ANY PARKING LEVEL SLAB OR RAMP. ALL MISCELLANEOUS STEEL CONNECTION HARDWARE IN PARKING AND RAMP SLABS SHALL BE HOT DIPPED GALVANIZED.
- LOCATION OF ALL EMBEDDED ITEMS SUCH AS EMBED PLATES, ADJUSTABLE ANCHORS, ETC. SHALL BE COORDINATED WITH THE REINFORCING STEEL LAYOUTS TO AVOID PLACEMENT CONFLICTS.
- ALL PARKING DECKS SHALL BE SEALED PER ARCHITECTURAL SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR TRAFFIC MEMBRANE SPECIFICATIONS.
- CONCRETE TESTING SHALL BE PERFORMED BY OWNER'S TESTING LABORATORY IN ACCORDANCE WITH ACI 301-89 CHAPTER 16 AND THE CONCRETE SPECIFICATIONS.

### CONCRETE STRENGTH f<sub>c</sub>, PSI

STRUCTURAL ELEMENT	CONCRETE STRENGTH
CAISSON	SEE CAISSON SCHEDULE - S2-1
CAISSON CAP	SEE CAISSON CAP SCHEDULE - S2-2
GRADE BEAMS	SEE GRADE BEAM SCHEDULE - S2-2
SLAB-ON-GRADE	4000 PSI
SHEAR WALLS	SEE SHEAR WALL SCHEDULE - SX-X
ALL OTHER	4000 PSI

### WALL REINFORCING LAP SPlice SCHEDULE

BAR SIZE	f <sub>c</sub>	VERTICAL REINF.		HORZ. REINF.	
		PSI	IN	IN	IN
#4	4000	16	21		
#5	4000	19	26		
#6	4000	23	31		

## STRUCTURAL STEEL NOTES

- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STEEL DESIGN AND PLASTIC DESIGN, EFFECTIVE JUNE 1, 1989 AND THE AISC CODES OF STANDARD PRACTICE FOR STEEL BUILDING AND BRIDGES, EFFECTIVE SEPTEMBER 1, 1986, EXCEPT AS MODIFIED BELOW OR IN THE SPECIFICATIONS.
- ALL STRUCTURAL WIDE FLANGE AND WT STEEL SHAPES SHALL CONFORM TO ASTM A992 Fy=50 KSI. ALL OTHER STRUCTURAL STEEL SHAPES, PLATES AND BARS SHALL CONFORM TO ASTM A36, UNLESS NOTED OTHERWISE. COLD FORMED HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500 GRADE B. PIPES SHALL CONFORM TO ASTM A401 OR AISI TYPE E OR S. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 OR ASTM A307.
- ALL BOLTS (OTHER THAN ANCHOR BOLTS) SHALL CONFORM TO THE REQUIREMENTS OF ASTM A325 OR ASTM A490. MINIMUM BOLT DIAMETER SHALL BE 3/4".
- ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX UNLESS NOTED OTHERWISE.
- ALL CONNECTIONS, UNLESS INDICATED AS BEING FULLY DESIGNED ON THE STRUCTURAL DRAWINGS, SHALL BE DESIGNED AND DETAILED BY FABRICATOR'S LICENSED STRUCTURAL ENGINEER IN THE STATE OF ILLINOIS. THE DESIGN AND DETAILING SHALL COMPLY WITH ALL APPLICABLE CODES AND SPECIFICATIONS. ADVISE THE ARCHITECT/ENGINEER IMMEDIATELY IF THE INFORMATION ON THE DRAWINGS IS NOT SUFFICIENT TO DESIGN ALL THE REQUIRED CONNECTIONS.
- THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ARCHITECT/ENGINEER, FOR REVIEW, ENGINEERED AND CHECKED DRAWINGS SHOWING SHOP FABRICATION DETAILS, FIELD ASSEMBLY DETAILS AND ERECTION DIAGRAMS FOR ALL STRUCTURAL STEEL WITH EACH SUBMITTAL OF SHOP DRAWINGS. THE FABRICATOR'S STRUCTURAL ENGINEER SHALL CERTIFY THAT THE CONNECTIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AISC SPECIFICATIONS AND THE CONTRACT DOCUMENTS. CERTIFIED MILL TEST REPORTS SHALL BE SUBMITTED.
- ALL OTHER CONNECTIONS SHALL BE SIMPLE SHEAR CONNECTIONS UTILIZING HIGH STRENGTH BEARING BOLTS IN SINGLE OR DOUBLE SHEAR WITH THE DOTS EXCLUDED FROM THE SHEAR PLANE. THE CAPACITIES SHALL BE AS SHOWN BELOW UNLESS NOTED OTHERWISE ON THE DRAWINGS.

MINIMUM SHEAR CAPACITY (IN KIPS)

W36 - 160 W33 - 130 W30 - 115 W27 - 80  
W24 - 72 W21 - 60 W18 - 48 W16 - 40  
W14 - 22 W12 - 27 W10 - 15 W8 - 12  
W6 - 10  
C12 - 15 C10 - 12 C8 - 06 C6 - 10

- THE DEPTH OF A SIMPLE SHEAR CONNECTION SHALL NOT BE LESS THAN ONE HALF OF THE NOMINAL DEPTH OF THE BEAM. THE MINIMUM NUMBER OF BOLTS PER CONNECTION SHALL BE TWO (2).
- COLUMN BASES AND COLUMN SPLICED ENDS SHALL BE MILLED OR SAW CUT TO PROVIDE FULL BEARING.
- ALL GUSSET PLATES SHALL BE A MINIMUM OF 3/8" THICK UNLESS NOTED OTHERWISE.
- ALL BEAMS SHALL BE FABRICATED WITH NATURAL CAMBER UP. PROVIDE CAMBER AND SHORING AS INDICATED ON THE DRAWINGS.
- AFTER FABRICATION ALL STEEL SHALL BE CLEANED OF ALL RUST, LOOSE MILL SCALE AND OTHER FOREIGN MATERIALS.
- ALL STRUCTURAL STEEL RECEIVING SPRAY-ON FIREPROOFING SHALL BE CLEANED BUT SHALL NOT BE PRIMED.
- STRUCTURAL STEEL EXPOSED TO VIEW SHALL BE PAINTED WITH SHOP PRIMER. SEE ARCHITECTURAL DRAWINGS FOR FINISHING REQUIREMENTS.
- STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE BLAST CLEANED (SSPC-SP6) AND GIVEN SHOP PRIME AND FIELD FINISH COATS OF PAINT, AS SPECIFIED ON ARCHITECTURAL DRAWINGS.
- ALL STRUCTURAL LINTELS SUPPORTING EXTERIOR BRICK MASONRY AND/OR STONE SHALL BE GALVANIZED.
- SHOP AND FIELD TESTING OF BOLTS AND WELD SHALL BE AS FOLLOWS:
- ALL WELDS SHALL BE VISUALLY INSPECTED

FILLET WELDS: TWENTY FIVE (25) PERCENT OF ALL FILLET WELDS, SELECTED AT RANDOM, SHALL BE MEASURED AND TEN (10) PERCENT, SELECTED AT RANDOM, SHALL BE CHECKED BY MAGNETIC PARTICLE FINAL PASS ONLY.

PENETRATION WELDS: ULTRASONICALLY TEST HUNDRED (100) PERCENT OF ALL FULL PENETRATION WELDS AND ALL PARTIAL PENETRATION COLUMN SPICE WELDS. IF THE WELDS BY INDIVIDUAL WELDER ARE CONSISTENTLY SATISFACTORY THEN TESTING OF THIS WELDER'S WELDS MAY BE REDUCED TO 50 PERCENT.

BOLTED CONNECTIONS: BOLTED CONNECTIONS SHALL BE TESTED AND INSPECTED ACCORDING TO RCSC'S SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

THE OWNER'S TESTING AGENCY SHALL PERFORM ALL SHOP AND FIELD INSPECTION AND TESTING AS OUTLINED ABOVE AND SHALL SUBMIT THE REPORTS TO ARCHITECT/ENGINEER.

- THERE SHALL BE NO FIELD CUTTING OR OTHER FIELD MODIFICATION TO STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
- SEE SPECIFICATIONS FOR TESTING AND SUBMITTALS.

## COMPOSITE METAL DECK NOTES

- THE DESIGN, MANUFACTURE AND ERECTION OF THE COMPOSITE STEEL METAL DECK (CSMD) AND ITS ANCHORAGE TO THE STRUCTURE SHALL BE IN ACCORDANCE WITH THE STEEL DECK INSTITUTE'S, CURRENT EDITION OF, "DESIGN MANUAL FOR COMPOSITE DECKS, FLOOR DECKS AND ROOF DECKS".
- ALL CSMD SHALL BE FABRICATED FROM STEEL CONFORMING TO ASTM A663 WITH A MINIMUM YIELD STRENGTH OF 33 KSI. ALL CSMD SHALL BE HOT DIPPED GALVANIZED CONFORMING TO ASTM A924 WITH MINIMUM COATING CLASS G80 AS DEFINED IN ASTM A653.
- ALL CSMD PROPERTIES SHALL BE COMPUTED IN ACCORDANCE WITH AISI SPECIFICATIONS FOR THE DESIGN OF COLD FORMED STRUCTURAL STEEL MEMBERS.
- ALL CSMD SHALL BE DESIGNED FOR THE CONDITIONS SHOWN ON THE DRAWINGS. THE FABRICATOR/ERECTOR SHALL PROVIDE ENGINEERING CALCULATIONS AND/OR PUBLISHED MANUFACTURER'S DATA VERIFYING THE SPECIFIC DECK REQUIREMENTS TO THE ARCHITECT/ENGINEER FOR REVIEW, PROVIDE ENGINEERED AND CHECKED SHOP DRAWINGS INDICATING LOCATION, GAGE AND SIZE OF EACH PIECE OF DECKING. THE DRAWINGS SHALL CLEARLY SHOW WELDING DETAILS TO STRUCTURAL FRAMING AND SIDE LAP CONNECTION DETAILS.
- ALL CSMD SHALL BE DESIGNED FOR A MAXIMUM DEAD LOAD DEFLECTION OF L/240 OF SPAN OR 1/2 INCH WHICHEVER IS LESS AND FOR A MAXIMUM SUPERIMPOSED LOAD DEFLECTION OF L/360 OF SPAN.
- THE MINIMUM CSMD THICKNESS SHALL BE 20 GAUGE.
- CSMD UNITS SHALL BE THREE SPAN CONTINUOUS WHEREVER POSSIBLE IN THE DIRECTION INDICATED. SINGLE AND DOUBLE SPANS, IF REQUIRED, SHALL SATISFY LOAD AND DEFLECTION CRITERIA.
- ALL CSMD SHALL BE WELDED AT 12 INCHES MAX. ON CENTERS TO THE SUPPORTING STEEL MEMBERS WITH A MINIMUM 3/4" DIAMETER PUDDLE WELD. SIDE LAPS SHALL BE FASTENED AT 30 INCHES ON CENTERS MAXIMUM. NO WELD OR FASTENER SPACING SHALL BE GREATER THAN THAT RECOMMENDED BY THE DECK MANUFACTURER.
- THE DECK SHEETS SHALL BE BUTTED OVER THE STRUCTURAL SUPPORTS. THE DECK SHALL NOT EXTEND BEYOND THE EDGE OF THE GIRDS.
- A MAXIMUM OF ONE 1 1/4 INCH DIAMETER CONDUIT SHALL BE PLACED IN EACH FLUTE.
- PROVIDE SUPPLEMENTAL STEEL FRAMING AT FLOOR OPENINGS, AS REQUIRED, FOR SUPPORT OF METAL DECK. PROVIDE TEMPORARY SUPPORT FOR CANTILEVERED CSMD AS REQUIRED.
- LOADS HUNG FROM STEEL DECK HANGER TABS SHALL NOT EXCEED 50 POUNDS PER TAB. THE TABS SHALL BE PLACED SO AS NOT TO EXCEED 5 PSF ON THE TRIBUTARY AREA OF EACH HANGER.
- ASSUMED MINIMUM COMPOSITE METAL DECK PROPERTIES 2' 0GA:  
I<sub>x</sub> = 0.409 IN<sup>4</sup>/FT S<sub>x</sub> = 0.341 IN<sup>3</sup>/FT  
I<sub>y</sub> = 0.408 IN<sup>4</sup>/FT S<sub>y</sub> = 0.346 IN<sup>3</sup>/FT  
ASSUMED MINIMUM COMPOSITE METAL DECK PROPERTIES 2' 18GA:  
I<sub>x</sub> = 0.559 IN<sup>4</sup>/FT S<sub>x</sub> = 0.495 IN<sup>3</sup>/FT  
I<sub>y</sub> = 0.558 IN<sup>4</sup>/FT S<sub>y</sub> = 0.504 IN<sup>3</sup>/FT

## COLD FORMED STEEL FRAMING

- ALL STRUCTURAL LIGHT GAUGE FRAMING MEMBERS, JOISTS, STUDS, TRACKS, BRIDGING, ETC., SHALL BE OF THE TYPE, SIZE, AND EQUIVALENT STRUCTURAL PROPERTIES TO THOSE SHOWN AS COMPUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AISI SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS.
- ALL WELDING SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE FRAMING MATERIAL MANUFACTURER.
- DEEP LEG TRACKS SHALL RUN AT THE TOP AND BOTTOM OF ALL WALLS. TRACK SHALL BE IN CONTINUOUS PIECES AS LONG AS PRACTICABLE.
- ANY SPLICES OF TRACKS SHALL BE BY WELDING OR MECHANICAL FASTENERS AND SHALL BE LOCATED OVER AT STUD OR ON A SUPPORT.
- BOTTOM TRACK SHALL BE SECURELY ANCHORED TO THE SUPPORT. STUDS SHALL BE WELDED OR MECHANICALLY FASTENED TO THE TRACK ON BOTH FLANGES.
- ALL MEMBERS SHALL BE CUT SQUARELY TO PROVIDE FOR 100 % BEARING AT ENDS.
- MEMBERS SHALL BE HELD FIRMLY IN POSITION UNTIL PROPERLY FASTENED.
- ALL STANDARD BRIDGING SHALL BE IN PLACE BEFORE APPLICATION OF CONSTRUCTION LOADS.
- SPLICES IN STUDS WILL NOT BE PERMITTED.
- WALL STUDS SHALL BE CAPABLE OF SUPPORTING THE INDICATED WIND LOAD WITH A MAXIMUM DEFLECTION OF L/600. REDUCTION IN WIND LOADS FOR DEFLECTION CALCULATIONS PER AISI IS NOT PERMITTED.
- ALL STRUCTURAL LIGHT GAGE FRAMING MEMBER SIZES SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE CONSIDERED MINIMUM TO BE PROVIDED AT THAT LOCATION. ALL LIGHTGAGE MEMBERS AND CONNECTIONS SHALL BE DESIGNED BY THE CONTRACTOR. SHOP DRAWINGS AND STRUCTURAL CALCULATIONS, STAMPED AND SIGNED BY STATE OF ILLINOIS STRUCTURAL ENGINEER, SHALL BE PROVIDED FOR REVIEW BY ARCHITECT/ENGINEER.

## STEEL STAIRS

- THE STEEL STAIRS AND STAIR FRAMING CONNECTIONS TO CONCRETE SLABS, CONCRETE WALLS AND CMU WALLS SHALL BE DESIGNED BY STAIR MANUFACTURER. SEE ARCH FOR STAIR LOCATIONS AND DIMENSIONS.

### NON-BEARING MASONRY LINTEL SCHEDULE PER 4" WALL WYTHE\*

SPAN	SIZE	SOLID BEARING
UP TO 4'-0"	(1) L 4 x 3 1/2 x 5/16 (LLV)	8" EA. END
4'-0" TO 6'-0"	(1) L 5 x 3 1/2 x 5/16 (LLV)	8" EA. END
6'-0" TO 8'-0"	(1) L 6 x 3 1/2 x 3/8 (LLV)	12" EA. END

\* - USE (2) ANGLES FOR 8" CMU, (3) ANGLES FOR 12" CMU  
USE (1) ANGLE FOR 4" BRICK

### NON-BEARING MASONRY WALL REINFORCING SCHEDULE

WALL HEIGHT	EXTERIOR 8" CMU	INTERIOR	
		8" CMU	6" CMU
UP TO 9'-0"	#4 VERT @ 24" O.C.	#4 VERT @ 48" O.C.	#4 VERT @ 32" O.C.
9'-0" TO 12'-0"	#5 VERT @ 24" O.C.	#4 VERT @ 48" O.C.	#4 VERT @ 32" O.C.
12'-0" TO 15'-0"	#5 VERT @ 24" O.C.	#5 VERT @ 32" O.C.	-
15'-0" TO 20'-0"	#5 VERT @ 16" O.C.	#5 VERT @ 32" O.C.	-

NOTES:

- ALL VERTICAL BARS IN SOLID GROUTED CELLS
- 9 0A. HORIZONTAL LADDER TYPE REINFORCING AT 16" O.C.
- PROVIDE DOWELS TO MATCH SPACING & SIZE OF VERTICAL BARS MIN. 48 BAR DIAMETERS INTO SUPPORTING STRUCTURE



DIRKSEN ES. ANNEX  
& RESTORATION

8601 W. FOSTER AVE.  
CHICAGO, IL 60656

ARCHITECT OF RECORD  
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WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS ARE OR MAY BE PRESENT IN THIS BUILDING. AN ASBESTOS MANAGEMENT PLAN IS AVAILABLE IN THE SCHOOL FOR REVIEW UPON REQUEST. NO PERSON MAY DISTURB ASBESTOS-CONTAINING MATERIALS UNLESS THAT PERSON IS A LICENSED ASBESTOS WORKER OR CONDUCTS SUCH WORK IN ACCORDANCE WITH SPECIFICATIONS(S) CONTAINED IN THE PROJECT DOCUMENTS AND IN COMPLIANCE WITH ILLINOIS DEPARTMENT OF HEALTH RULES AND REGULATIONS.

ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2018

PBC Project Name: DIRKSEN ES. ANNEX & RESTORATION  
PBC Contract No: PS00000  
PBC Project No: 0012080  
Project No: 1814

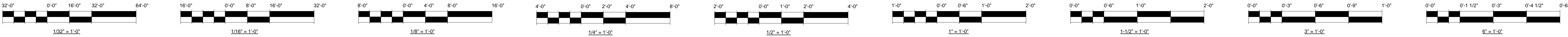
TITLE

STRUCTURAL GENERAL  
NOTES

SHEET

S1-1





GENERAL TESTING NOTES

1. THE CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING AGENCY TO CONDUCT ALL ONSITE INSPECTION AND TESTING AS WELL AS FABRICATION TESTING.
2. IT IS THE SOLE RESPONSIBILITY OF THE TESTING AGENCY TO ENSURE THAT ALL PERSONNEL INVOLVED IN TESTING AND INSPECTION ARE SUITABLY QUALIFIED.
3. WHERE THE FREQUENCY OF THE OBSERVATION IS CLASSIFIED AS "PERIODIC" THE TESTING AGENCY SHALL PROVIDE IN WRITING, PRIOR TO COMMENCEMENT OF TESTING, THE PROPOSED FREQUENCY. THE PROPOSED FREQUENCY SHALL BE ADEQUATE TO ENSURE PROPER CONSTRUCTION.
4. THE PERIODIC TESTING SPECIFICALLY DEFINED IN THE TABLES AND THE SPECIFICATIONS SHALL NOT BE REDUCED.
5. THE CONTRACTOR SHALL PROVIDE THE INDEPENDENT TESTING AGENCY, IN SUFFICIENT ADVANCE, A SCHEDULE OF CONSTRUCTION SO THAT THE TESTING AGENCY CAN MAKE PROPER ARRANGEMENTS OF TOOLS AND PERSONNEL.
6. THE CONTRACTOR SHALL ENSURE THAT THE TESTING AGENCY GETS FULL ACCESS TO THE CONSTRUCTION SITE AS WELL AS THE FABRICATION SHOP DURING CONSTRUCTION.
7. COORDINATE ALL TESTING REQUIREMENTS WITH THESE TABLES AS WELL AS SPECIFICATIONS AND GENERAL NOTES.

GREYED ITEMS ARE NOT APPLICABLE FOR THIS PROJECT

SOILS AND FOUNDATIONS (REF. IBC 1704.7)

ITEM NUMBER	ITEM	SCOPE	FREQUENCY
1.	SHALLOW FOUNDATIONS	INSPECT SOILS BELOW FOOTINGS FOR ADEQUATE BEARING CAPACITY AND CONSISTENCY WITH GEOTECHNICAL REPORT. INSPECT REMOVAL OF UNSUITABLE MATERIAL AND PREPARATION OF SUBGRADE PRIOR TO PLACEMENT OF CONTROLLED FILL.	PERIODIC
2.	CONTROLLED STRUCTURAL FILL	PERFORM SIEVE TESTS (ASTM D422 & D1140) AND MODIFIED PROCTOR TESTS (ASTM D 1557) FOR EACH SOURCE OF FILL MATERIAL. INSPECT PLACEMENT, LIFT THICKNESS AND COMPACTION OF CONTROLLED FILL. TEST DENSITY OF EACH LIFT OF FILL BY NUCLEAR METHODS (ASTM D 2922) VERIFY EXTENT AND SLOPE OF FILL PLACEMENT.	PERIODIC
3.	PILE FOUNDATIONS	OBSERVE AND LOG PILE DRIVING OPERATIONS FOR EACH PILE. RECORD PILE DRIVING RESISTANCE AND VERIFY COMPLIANCE WITH THE DRIVING CRITERIA. VERIFY PLACEMENT LOCATIONS AND PLUMBNESS, CONFIRM TYPE AND SIZE OF THE HAMMER, RECORD NUMBER OF BLOWS PER FOOT OF PENETRATION, DETERMINE THE REQUIRED PENETRATION TO ACHIEVE DESIGN CAPACITY. DOCUMENT PILE DAMAGE IF ANY. VERIFY PILE MATERIAL, SIZE, LENGTH AND ACCESSORIES. FOR STEEL PILES PERFORM ADDITIONAL INSPECTIONS IN ACCORDANCE WITH THE STRUCTURAL STEEL INSPECTION SCHEDULE. FOR CONCRETE PILES AND CONCRETE FILLED PILES PERFORM ADDITIONAL INSPECTIONS IN ACCORDANCE WITH THE CAST-IN-PLACE AND PRE-CAST INSPECTIONS.	PERIODIC
4.	DRILLED PIER FOUNDATIONS	OBSERVE INSTALLATION OF DRILLED PIER FOUNDATIONS. VERIFY SHAFT DIAMETER AND BELL DIAMETER. VERIFY CONFORMITY OF END BEARING STRATA WITH GEOTECHNICAL REPORT. FOR CONCRETE PIERS PERFORM ADDITIONAL INSPECTIONS IN ACCORDANCE WITH THE CAST-IN-PLACE INSPECTIONS.	PERIODIC
5.	GEOPIER FOUNDATIONS	VERIFY GEOPIER DEPTH, SIZE AND LOCATIONS. RECORD AVERAGE DAILY COMPACTED LIFT THICKNESS AND COMPACTION BLOW COUNT. VERIFY AGGREGATE TYPE AND GRADATION. VERIFY UPLIFT ANCHORS AND ACCESSORIES WHERE APPLICABLE.	CONTINUOUS
6.	PILE LOAD TESTING	A MINIMUM OF (2) STATIC PILE LOAD TESTS SHALL BE PERFORMED.	CONTINUOUS
7.	GEOPIER TESTING	FULL SCALE MODULUS TEST PER DESIGN ENGINEERS REQUIREMENT. FULL SCALE LOAD TEST WILL BE REQUIRED.	CONTINUOUS

CAST IN PLACE CONCRETE (REF. IBC 1704.4)

ITEM NUMBER	ITEM	SCOPE	REFERENCE (ACI-318)	FREQUENCY
1.	MIX DESIGN	REVIEW CONCRETE BATCH TICKETS AND VERIFY COMPLIANCE WITH THE APPROVED MIX DESIGN. VERIFY THAT THE WATER ADDED AT THE SITE DOES NOT EXCEED THAT PERMITTED BY THE MIX DESIGN.	CHAPTER 4, 5.2-5.4	PERIODIC
2.	MATERIAL CERTIFICATION	VERIFY CONFORMANCE OF ACCESSORY MATERIALS WITH THE SPECIFICATIONS AND DRAWINGS.	-	PERIODIC
3.	REINFORCEMENT INSTALLATION	INSPECT SIZE, SPACING, COVER, POSITIONING, COATING AND GRADE OF REINFORCING STEEL. VERIFY THAT THE REINFORCING BARS ARE FREE OF FORM OIL OR OTHER DELETERIOUS MATERIALS. INSPECT BAR LAPS AND MECHANICAL SPLICES. VERIFY THAT THE BARS ARE ADEQUATELY SUPPORTED, SECURED AND TIED.	CHAPTER 3.5, 7.1-7.7	PERIODIC
4.	WELDING OF REINFORCING	VISUALLY INSPECT ALL REINFORCING STEEL WELDS. VERIFY THE WELDABILITY OF THE PARTICULAR REINFORCING STEEL. INSPECT PREHEATING AS REQUIRED.	CHAPTER 3.5.2 AWS 01.4	PERIODIC
5.	ANCHORS CAST IN CONCRETE	INSPECT SIZE, LOCATION, POSITION AND EMBEDMENT OF HEADED STUDS AND HOOKED AND STRAIGHT BOLTS. INSPECT CONCRETE PLACEMENT AND CONSOLIDATION AROUND ALL EMBEDDED ANCHORS.	-	CONTINUOUS
6.	CONCRETE PLACEMENT	INSPECT PLACEMENT OF CONCRETE. INSPECT THAT CONCRETE CONVEYANCE AND DEPOSITING AVOIDS SEGREGATION, CONTAMINATION OR DISPLACEMENT OF REINFORCING STEEL AND ALL OTHER EMBEDDED ITEMS. VERIFY PROPER CONSOLIDATION OF CONCRETE. MONITOR COMPOSITE METAL DECK DEFLECTIONS.	CHAPTER 5.9, 5.10	CONTINUOUS
7.	CONCRETE SAMPLING AND TESTING	TESTING FREQUENCY <ul style="list-style-type: none"><li>• ONCE EACH DAY A GIVEN CLASS IS PLACED NOR LESS THAN</li><li>• ONCE EACH FOR EACH 100 CU YD OF EACH CLASS PLACED DAILY NOR LESS THAN</li><li>• ONCE FOR EACH 5,000 SQ FT OF SLAB OR WALL SURFACE AREA PLACED</li></ul> SAMPLES PER TEST SET <ul style="list-style-type: none"><li>• POST-TENSIONED CONCRETE: SIX (6) 6"x12" CYLINDERS</li><li>• REINFORCED CONCRETE: FIVE(S) 6"x12" CYLINDERS</li></ul> CONCRETE COMPRESSIVE STRENGTH (ASTM C31 & C39) SLUMP (ASTM C143) AIR CONTENT (ASTM C231 OR C173) TEMPERATURE (ASTM C1064)	-	-
8.	POST TENSIONING OPERATIONS	INSPECT PLACEMENT OF TENDONS TO INCLUDE NUMBER, COVER, POSITIONING, CORROSION PROTECTION AND ANCHORAGE PLACEMENT. MONITOR PRE-STRESSING FORCES AND MEASURE THE TENDON ELONGATIONS. MONITOR SEQUENCING OF PRE-STRESSING.	CHAPTER 18.20	-
9.	IN-SITU CONCRETE STRENGTH FOR PT	VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO STRESSING OF THE PT TENDONS AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	CHAPTER 6.20	-

POST INSTALLED ANCHORS (REF. IBC 1704.13)

ITEM NUMBER	ITEM	SCOPE	REFERENCE (ACI)	FREQUENCY
1.	ANCHORS INSTALLED IN HARDENED CONCRETE OR MASONRY	INSPECT AS REQUIRED BY IBC SECTION 1704.13 AND ICC EVALUATION SERVICE REPORT. THE MANUFACTURER OF POST-INSTALLED ANCHORS SHALL PROVIDE INSPECTION PROCEDURES TO VERIFY PROPER USAGE AND INSTALLATION.	-	CONTINUOUS

MASONRY (REF. IBC 1704.5.2)

ITEM NUMBER	ITEM	SCOPE	REFERENCE (ACI-530.1)	FREQUENCY
1.	MATERIAL CERTIFICATION	VERIFY CONFORMANCE OF UNITS, MORTAR, GROUT AND OTHER MATERIALS WITH SPECIFICATIONS AND DRAWINGS. VERIFY COMBINATION OF UNIT STRENGTH AND MORTAR TYPE TO ACHIEVE SPECIFIED FN.	ARTICLE 1.5	PERIODIC
2.	MIXING OF MORTAR AND GROUT	INSPECT PROPORTIONING, MIXING AND RETEMPERING OF MORTAR AND GROUT.	ARTICLE 2.6 A&B	PERIODIC
3.	INSTALLATION OF MASONRY	INSPECT SIZE, LAYOUT, BONDING (RUNNING BOND ONLY) AND PLACEMENT OF MASONRY.	ARTICLE 3.3	PERIODIC
4.	MORTAR JOINTS	INSPECT CONSTRUCTION OF MORTAR JOINTS INCLUDING TOOLING AND FILLING OF HEAD JOINTS.	ARTICLE 3.3	PERIODIC
5.	REINFORCEMENT INSTALLATION	INSPECT BAR SIZE, SPACING, WALL END REINFORCING, AND PLACEMENT, POSITIONING AND LAPPING OF HORIZONTAL AND VERTICAL REINFORCING.	ARTICLE 3.4	CONTINUOUS
6.	ANCHORS AND TIES	INSPECT SIZE, LOCATION, SPACING AND EMBEDMENT OF DOWELS, ANCHORS AND TIES.	ARTICLE 3.4	PERIODIC
7.	GROUTING OPERATION	INSPECT PLACEMENT AND CONSOLIDATION OF GROUT. INSPECT MASONRY CLEAN-OUTS FOR HIGH-LIFT GROUTING. VERIFY PROPER COVER OF REINFORCING DURING GROUTING PROCEDURE.	ARTICLE 3.2F, 3.5	CONTINUOUS
8.	WEATHER PROTECTION	INSPECT COLD WEATHER AND HOT WEATHER PROTECTION PROCEDURES. VERIFY THAT WALL CAVITIES ARE PROTECTED AGAINST PRECIPITATION INFILTRATION.	ARTICLE 1.5	PERIODIC
9.	MIXING OF MORTAR AND GROUT	INSPECT PROPORTIONING, MIXING AND RETEMPERING OF MORTAR AND GROUT.	ARTICLE 1.8C, 1.8D	PERIODIC
10.	EVALUATION OF MASONRY STRENGTH	MASONRY MUST MEET ALL THREE CONDITIONS BELOW (UNIT STRENGTH METHOD) <ul style="list-style-type: none"><li>• UNITS CONFORM TO ASTM C90 AND MEET UNIT STRENGTH INDICATED IN MASONRY NOTES AND MASONRY TABLES.</li><li>• BED JOINTS &lt;= 5/8" THICK</li><li>• SAMPLE AND TEST COMPRESSIVE STRENGTH OF GROUT (ASTM C1019)</li></ul> TESTING FREQUENCY FOR GROUT STRENGTH <ul style="list-style-type: none"><li>• ONCE EACH DAY GROUT IS PLACED NOR LESS THAN</li><li>• ONCE EVERY 5,000 SQ FT OF WALL</li><li>• EACH TEST SHALL CONSIST OF MINIMUM (3) SAMPLES</li></ul> IF MASONRY DOES NOT MEET THE ABOVE REQUIREMENTS, COMPRESSIVE STRENGTH OF THE MASONRY PRISM SHALL BE TESTED (ASTM C1314)  TEST COMPRESSIVE STRENGTH OF MORTAR (ASTM C780). FREQUENCY OF TESTING SHALL BE AS PER GROUT STRENGTH TESTING FREQUENCY	ARTICLE 1.4	CONTINUOUS

STRUCTURAL STEEL (REF. IBC 1704.3)

ITEM NUMBER	ITEM	SCOPE	REFERENCE	FREQUENCY
1.	FABRICATOR CERTIFICATION AND SHOP QUALITY CONTROL	REVIEW SHOP FABRICATION AND QUALITY CONTROL PROCEDURES.  A FABRICATOR EXEMPT FROM MEETING IBC REQUIREMENTS SHALL SUBMIT A LETTER STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE IBC REQUIREMENTS.	-	PERIODIC
2.	MATERIAL CERTIFICATION	REVIEW CERTIFIED MILL TEST REPORTS AND IDENTIFICATION MARKS ON WIDE-FLANGE, CHANNEL, ANGLE AND TEE SHAPES, HIGH-STRENGTH BOLTS, NUTS AND WELDING ELECTRODES.	IBC 1708.4	PERIODIC
3.	STEEL BAR JOISTS AND GIRDERS	INSPECT JOIST INSTALLATION, FIELD WELDING AND BRIDGING.	-	PERIODIC
4.	BOLTING	INSPECT INSTALLATION AND TIGHTENING OF HIGH-STRENGTH BOLTS. VERIFY THAT THE SPLINES HAVE SNAPPED OFF FROM TENSION CONTROL BOLTS. VERIFY THE PROPER TIGHTENING SEQUENCE.  CONTINUOUSLY MONITOR THE INSTALLATION OF SLIP-CRITICAL BOLTS EXCEPT AS PERMITTED PER IBC 1704.3.3.2.	IBC 1704.3.3.2	CONTINUOUS
5.	WELDING	VISUALLY INSPECT ALL WELDS. INSPECT PRE-HEAT, POST-HEAT AND SURFACE PREPARATION BETWEEN WELD PASSES. VERIFY PROPER ELECTRODE USE. CVN TEST WELDS WHERE REQUIRED.  TWENTY FIVE (25) PERCENT OF ALL FILLET WELDS, SELECTED AT RANDOM, SHALL BE MEASURED AND TEN (10) PERCENT, SELECTED AT RANDOM, SHALL BE CHECKED BY MAGNETIC PARTICLE FINAL PASS ONLY.  TEST 100% OF ALL FULL AND PARTIAL PENETRATION WELDS EXCEEDING 5/16" AND ALL PARTIAL PENETRATION COLUMN SPLICE WELDS USING ULTRASONIC TESTING.  TEST 25% OF ALL FULL AND PARTIAL PENETRATION WELDS, LESS THAN 5/16", USING MAGNETIC PARTICLE TESTING.  CONTINUOUS INSPECTION REQUIRED FOR ALL WELD EXCEPT <ul style="list-style-type: none"><li>• SINGLE PASS FILLET WELDS &lt;= 5/16"</li><li>• FLOOR AND ROOF DECK WELDS</li></ul>	AWS D1.1 ASTM E-109	CONTINUOUS
6.	SHEAR CONNECTORS	VISUALLY INSPECT SIZE, NUMBER, POSITIONING AND WELDING OF SHEAR CONNECTORS. SOUND TEST ALL SHEAR CONNECTORS AND BEND TEST ALL QUESTIONABLE CONNECTORS.  RANDOMLY BEND TEST 15% OF SHEAR CONNECTORS TO 15 DEGREES FROM THE ORIGINAL AXIS.	AWS D1.1, SECTIONS 7.7 AND 7.8	PERIODIC
7.	STRUCTURAL DETAILS	INSPECT STEEL STRUCTURE FOR COMPLIANCE WITH THE STRUCTURAL AND STEEL SHOP DRAWINGS. COMPLIANCE INCLUDING BUT NOT LIMITED TO MEMBER CONFIGURATION, MEMBER SIZE, BRACING AND CONNECTIONS.	-	PERIODIC
8.	METAL DECK	INSPECT WELDING AND SIDE-LAP FASTENING OF FLOOR DECK AND METAL DECK. VERIFY PROPER BEARING AND LAPS FOR ALL DECKS.	-	PERIODIC

COLD FORM STEEL FRAMING (REF. IBC 1707.4)

ITEM NUMBER	ITEM	SCOPE	REFERENCE	FREQUENCY
1.	MEMBERS AND MATERIALS	VERIFY CONFORMANCE OF MEMBER SIZES, THICKNESS AND MATERIAL PROPERTIES WITH THE SPECIFICATIONS AND DRAWINGS. VERIFY LOCATIONS AND SPACING OF FRAMING MEMBERS.	AISI	PERIODIC
2.	CONNECTIONS	INSPECT WELDING, SCREW ATTACHMENTS, ANCHORS AND OTHER FASTENERS.	AISI	PERIODIC
3.	FRAMING DETAILS	INSPECT FRAMING DETAILS, BRIDGING AND BRACING FOR CONFORMANCE WITH THE STRUCTURAL DRAWINGS, SHOP DRAWINGS AND SPECIFICATIONS.	AISI	PERIODIC

PRECAST CONCRETE (REF. IBC 1704.2, 1704.4)

ITEM NUMBER	ITEM	SCOPE	REFERENCE (ACI)	FREQUENCY
1.	ERECTED PRECAST MEMBERS	INSPECT ERECTION OF PRECAST CONCRETE MEMBERS INCLUDING MEMBER CONFIGURATION, CONNECTIONS, WELDING AND GROUTING. VERIFY CONFORMANCE OF MEMBER SIZES AND TAGS WITH THE PRECAST SHOP DRAWINGS.	CHAPTER 16	PERIODIC
2.	CONNECTIONS	FOR STEEL CONNECTIONS PERFORM ADDITIONAL INSPECTIONS IN ACCORDANCE WITH STRUCTURAL STEEL INSPECTION SCHEDULE.	AISI	PERIODIC



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ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2018

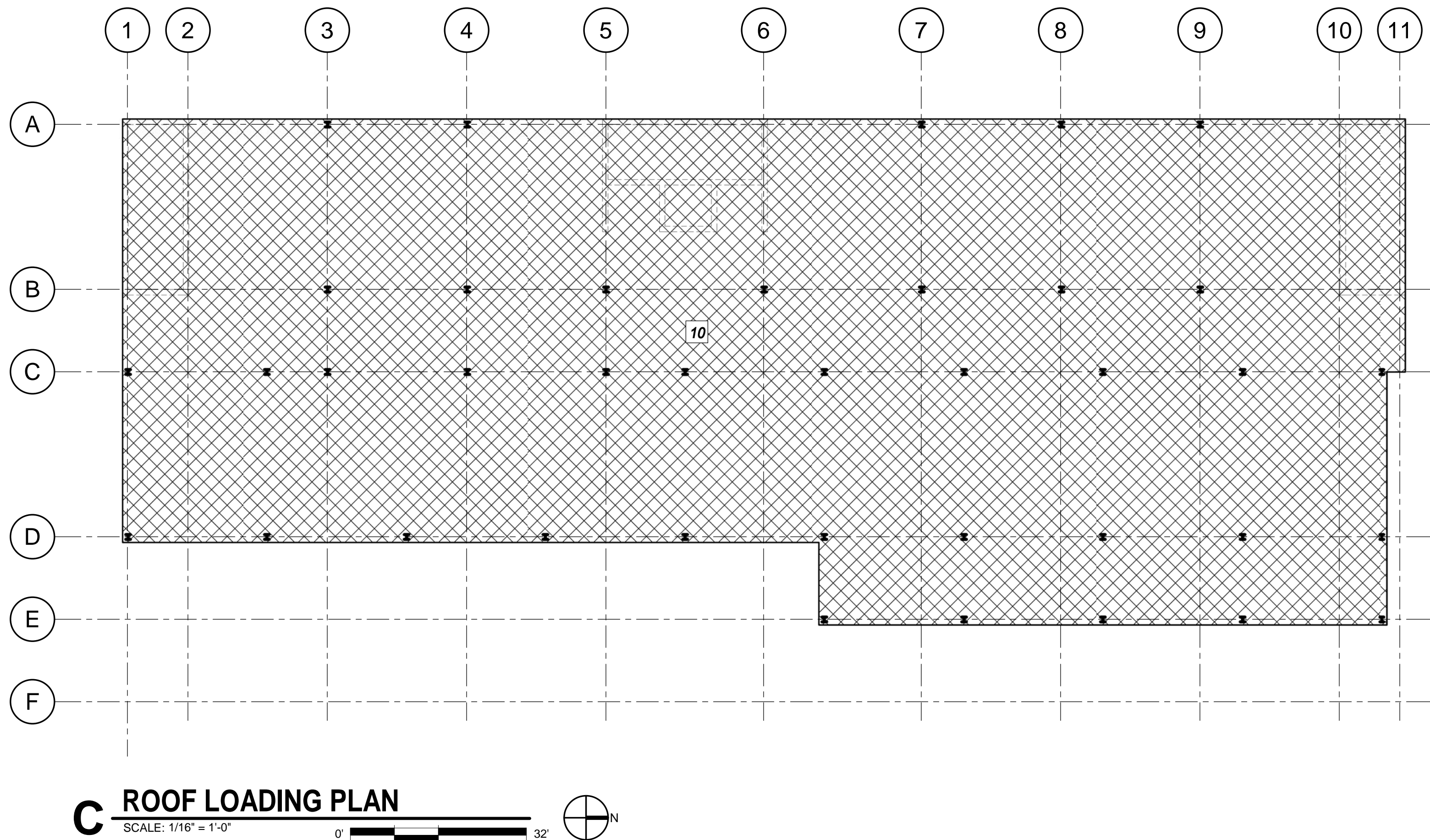
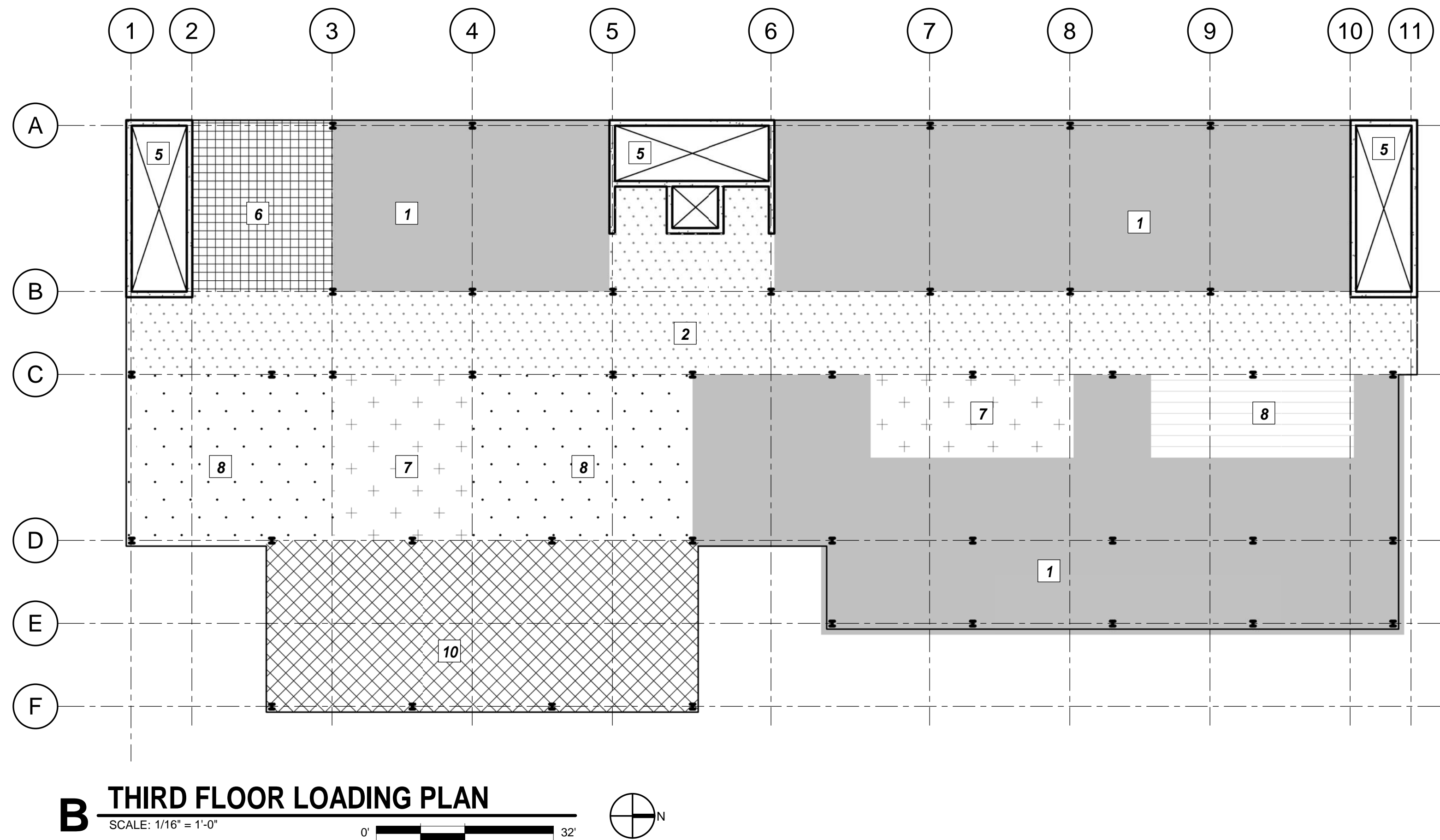
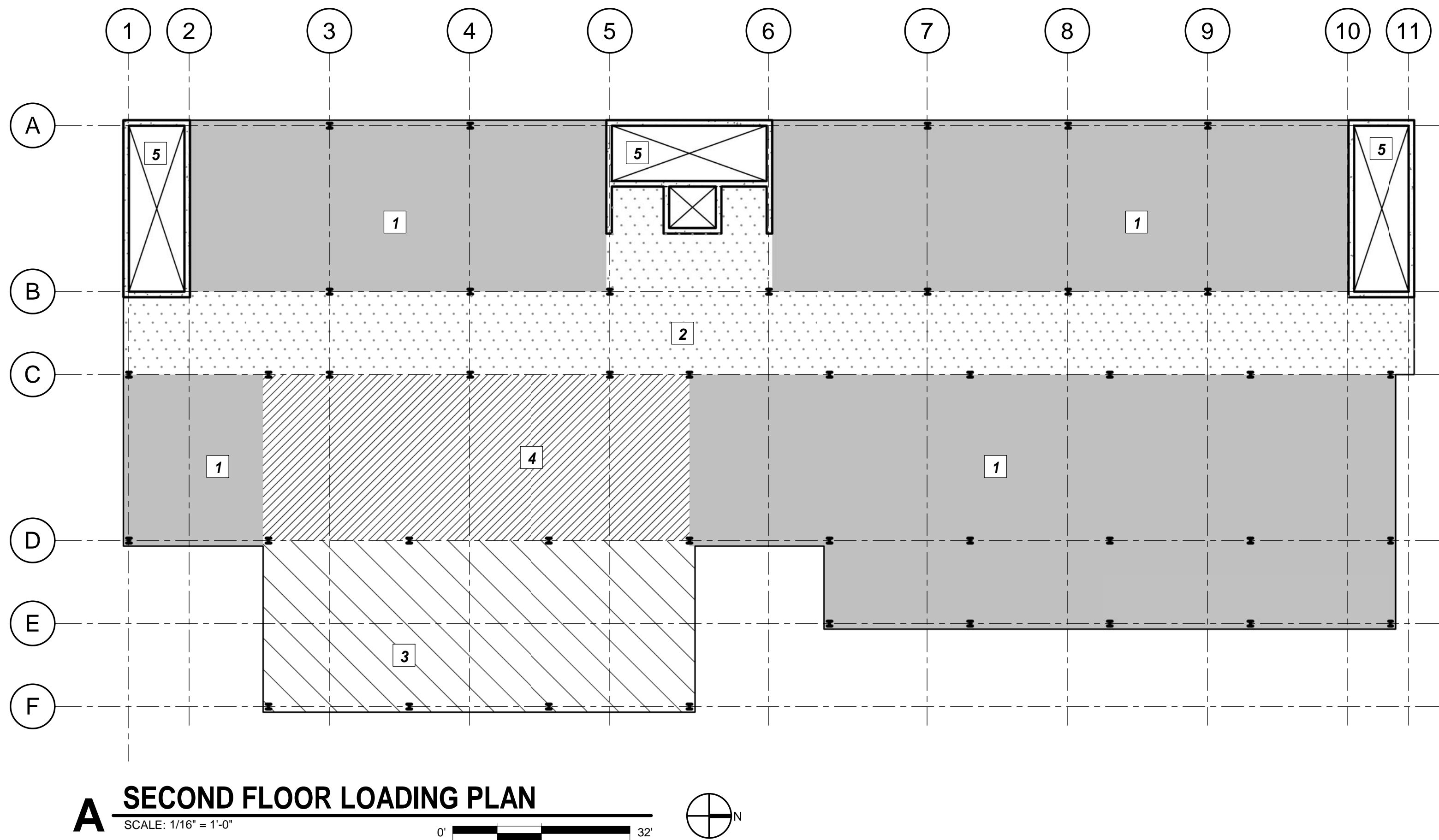
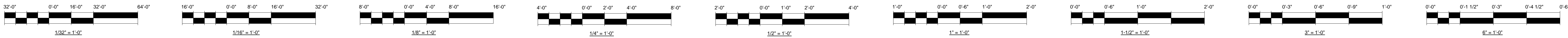
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Project No: 1814

TITLE  
TESTING AND INSPECTION  
NOTES


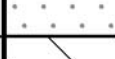

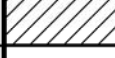
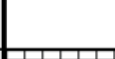
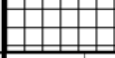

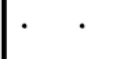


SHEET

S1-2





DESIGN LOAD CRITERIA  
GOVERNING CODE (CRITICAL OF)  
CHICAGO BUILDING CODE 2018+ASCE 7-5

DEAD, SUPERIMPOSED AND LIVE LOADS										
AREA ID	OCCUPANCY	LEGEND	DEAD LOAD (PSF)		SUPERIMPOSED DEAD LOAD (PSF)			LIVE LOAD (PSF)		REMARKS
			SLAB	STRUCT.	C+M+E	MISC.	OTHER	LIVE	PARTITION	
1	CLASSROOM		70	7	10	5	-	40	20	-
2	CORRIDOR		70	7	10	5	-	80	-	-
3	LIBRARY		88	7	10	5	-	150	-	-
4	CLASSROOM (ACC. FLOOR)		88	7	10	5	-	40	20	-
5	STAIRS		70	7	10	5	-	100	-	-
6	MECHANICAL		70	7	10	5	-	150	-	-
7	STORAGE		70	7	10	5		125	-	-
8	LABORATORY		70	7	10	5		125	-	-
8	OFFICE		70	7	10	5		50	20	-
10	ROOF		70	7	10	12	-	25	-	NOTE 3

NOTES: 1. "-" INDICATES REDUCIBLE LIVE LOAD.  
2. LIVE LOAD AT ROOF IS SNOW LOAD. SEE FLOOR LOAD PLAN FOR DRIFT DIAGRAM.  
3. FOR ROOFTOP UNIT WEIGHTS SEE FRAMING PLANS.

WIND LOADS	
DESCRIPTION	WIND LOAD (PSF)
MAIN WIND FORCE-RESISTING SYSTEM	20
CLADDING - TYPICAL	25
CLADDING - CORNER	30
UPLIFT (CANOPIES)	40

OTHER LOADS	
DESCRIPTION	LOAD
THRUST ON HAND RAILS	50 PLF (TOP AND HORIZ.) OR 200 LBS AT ANY POINT

FIRST FLOOR SLAB ON GRADE TYPICAL LIVE LOAD = 150PSF



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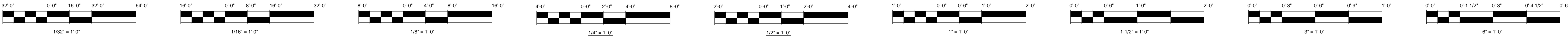
PBC Project Name: DIRKSEN ES. ANNEX & RESTORATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
STRUCTURAL LOADING  
DIAGRAMS

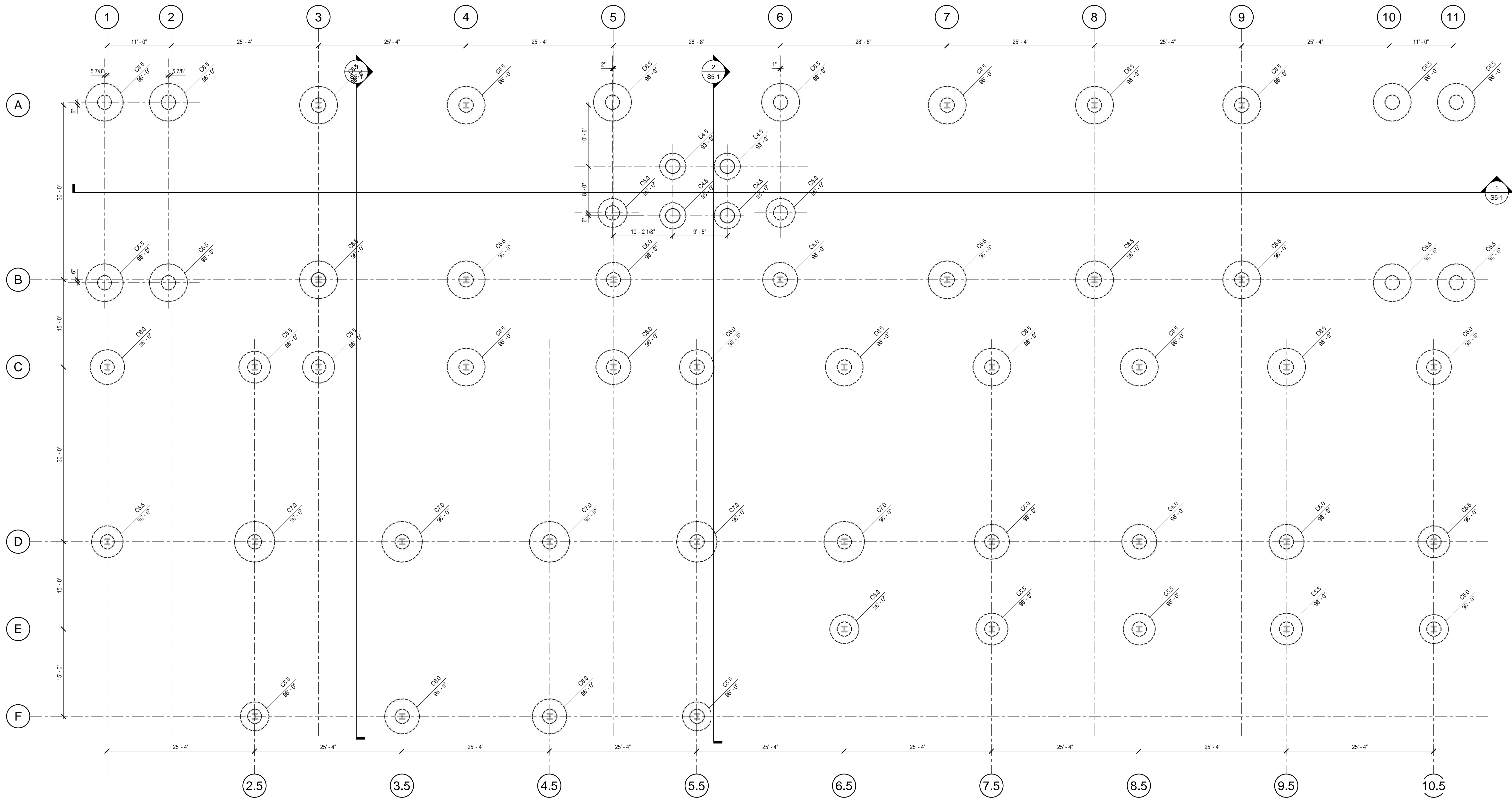
SHEET

S1-3





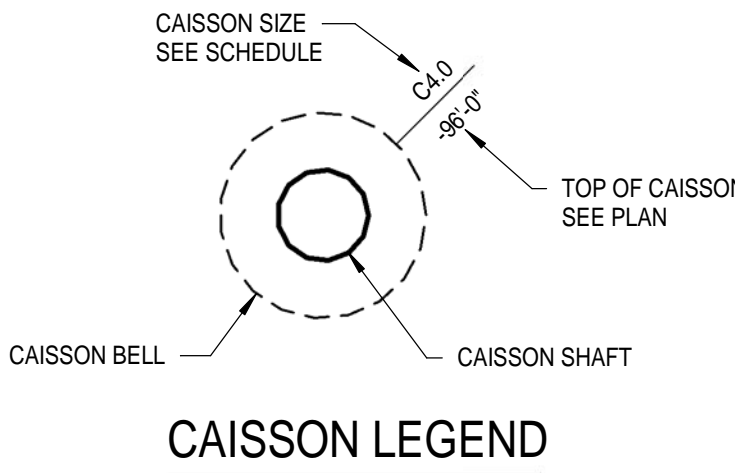
100'-0" ARCH = +xx.xx' C.C.D.



**A CAISSON LAYOUT PLAN**  
SCALE: 1/8" = 1'-0"  
0' 16'

CAISSON SCHEDULE							F <sub>y</sub> = 60 KSI ALLOWABLE BEARING = 12 KSF
MARK TYPE	F <sub>c</sub> (PSI)	SHAFT DIA.	BELL DIA.	REINFORCING		CAISSON CAPACITY (KIPS)	REMARKS
				VERTICAL	HORIZONTAL		
C4.5	5000	2'-6"	4'-6"	6 - #8	#4 - 16"	191	
C5.0	5000	2'-6"	5'-0"	6 - #8	#4 - 16"	236	
C5.5	5000	2'-6"	5'-6"	6 - #8	#4 - 16"	285	
C6.0	5000	2'-6"	6'-0"	6 - #8	#4 - 16"	339	
C6.5	5000	2'-6"	6'-6"	6 - #8	#4 - 16"	398	
C7.0	5000	2'-6"	4'-6"	6 - #8	#4 - 16"	462	

NOTES:  
1. SEE X/SX-X FOR CAISSON DETAIL.



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ISSUANCE		
MARK	DESCRIPTION	DATE
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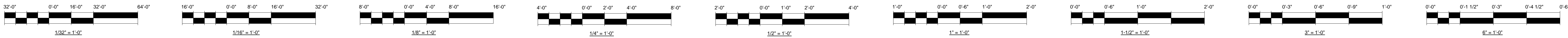
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PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
CAISSON LAYOUT PLAN

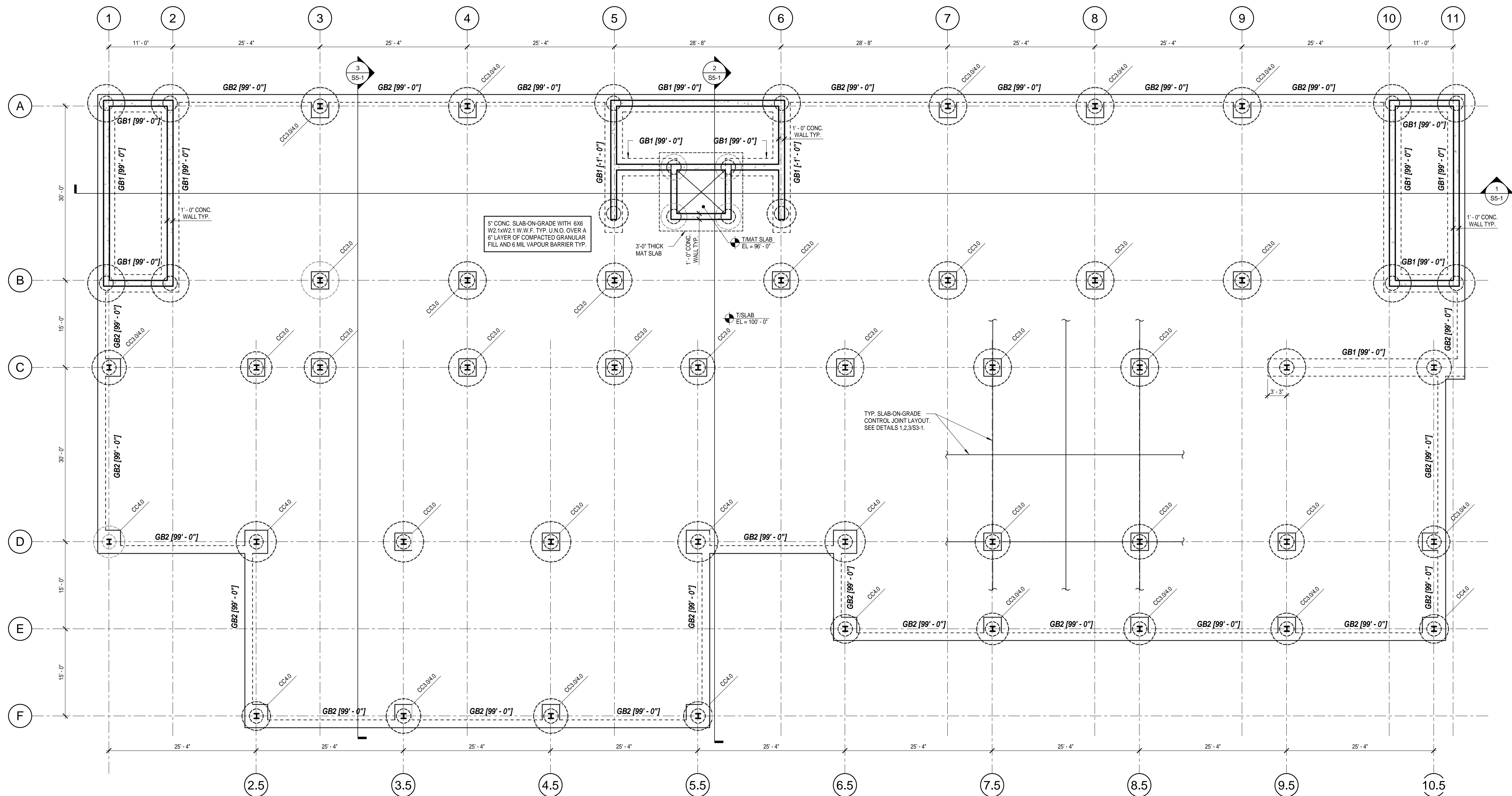
SHEET

S2-1





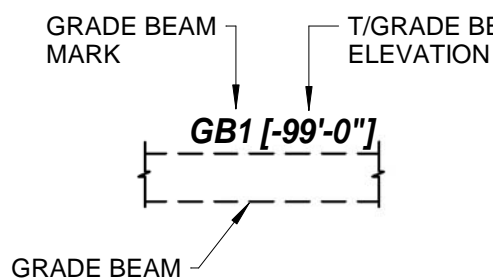
100'-0" ARCH = +xx.xx' C.C.D.



**A FOUNDATION AND FIRST FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

GRADE BEAM SCHEDULE								F <sub>c</sub> =5000 PSI F <sub>y</sub> =60 KSI	
MARK	BEAM SIZE		REINFORCING			STIRRUPS			REMARKS
	W (in)	H (in)	TOP BARS	BOTTOM BARS	SIDE BARS (EA. SIDE)	SIZE	SPACING	TYPE	
GB1	36	36							
GB2	16	36							

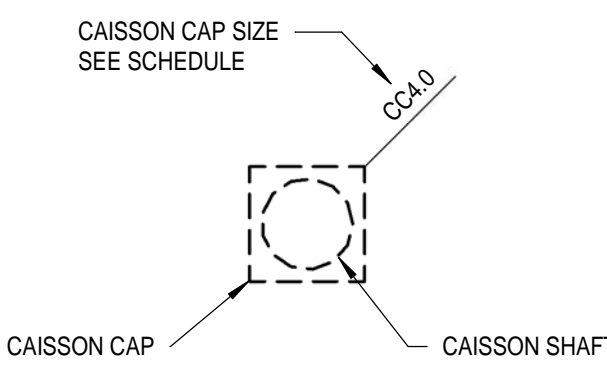
COLUMNS - W10X68 TYP.



GRADE BEAM LEGEND

CAISSON CAP SCHEDULE							F <sub>c</sub> = 5000 PSI F <sub>y</sub> = 60 KSI	
TYPE MARK	SIZE	DEPTH	VERTICAL REINF.		HORIZONTAL REINF.		REMARKS	
			SHORT WAY	LONG WAY				
CC3.0	3'-0" x 3'-0"	3'-0"	4 - #5	4 - #5	5 - #5			
CC3.0/4.0	3'-0" x 4'-0"	3'-0"	4 - #5	5 - #5	5 - #5			
CC4.0	4'-0" x 4'-0"	3'-0"	5 - #5	5 - #5	5 - #5			

NOTES: 1. SEE DETAIL X/SX-X FOR REINFORCEMENT LAYOUT IN CAISSON CAP



CAISSON CAP LEGEND



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PBC Project Name: DIRKSEN ES. ANNEX &  
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PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
FOUNDATION AND FIRST  
FLOOR FRAMING PLAN

SHEET

S2-2

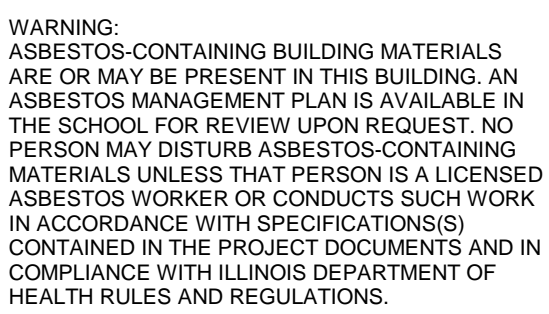




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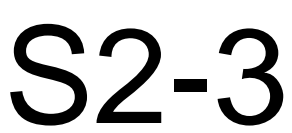
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PBC Project No:	0012080
Project No:	1814

TITLE

SECOND FLOOR FRAMING  
PLAN

SHEET

S2-3



SEE NOTE 4

BEAM SIZE

SEE NOTE 2

SEE NOTE 6

W14 x 22 (16)

[1/2"] (-2 1/2")

SEE NOTE 1

SEE NOTE 5

- NOTES:
1. [ ] DESIGNATES AMOUNT OF MIDSPAN CAMBER.
  2. ( ) DESIGNATES NUMBER OF 3/4" DIA. HEADED WELDED STUDS 5' LONG. (WELDED THRU DECK)
  3. ALL STEEL ASTM A992 GRADE 50 (TYP. U.N.O)
  4. ◀ INDICATES MOMENT CONNECTIONS.
  5. { } DESIGNATES TOP OF BEAM W.R. TO TYP. FLOOR STEEL.
  6. \* DESIGNATES TAPERED BEAM. SEE PROFILE THIS SHEET.

## BEAM LEGEND





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PBC Contract No:	PS0000
PBC Project No:	0012080
Project No:	1814

SHEET

SHEET

S2-4

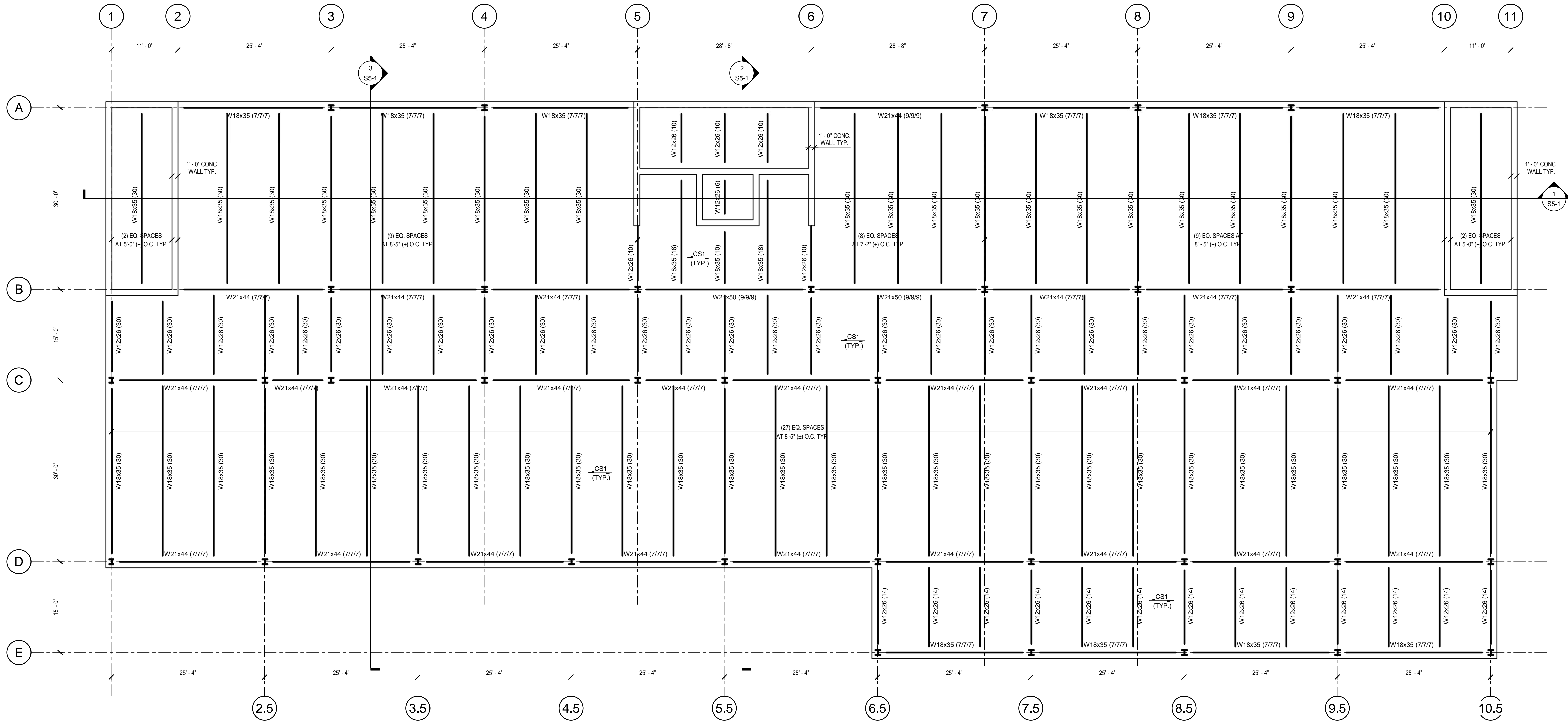
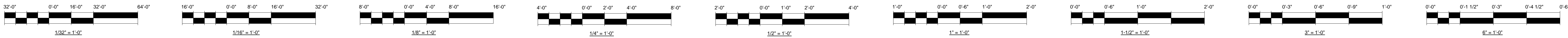


Diagram of a beam with various callouts and dimensions:

- SEE NOTE 4 (points to the left end of the beam)
- BEAM SIZE (points to the beam itself)
- SEE NOTE 2 (points to the right end of the beam)
- SEE NOTE 6 (points to the right end of the beam)
- W14 x 22 (16)\* (points to the beam itself)
- [1/2"] {-2 1/2"} (points to the beam itself)
- SEE NOTE 1 (points to the beam itself)
- SEE NOTE 5 (points to the beam itself)

- ## BEAM LEGEND





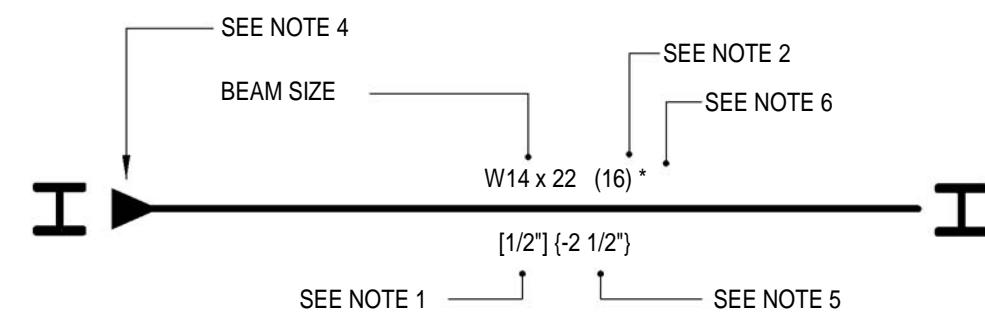
**A ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"  
0' 16'

CS1 = 2" COMPOSITE METAL DECK 18GA  
+ 4 1/2" NOR. WT. CONC. ( $f_c$  = 4000 PSI)  
SLAB W/ 6x6-W2.1xW2.1 W.W.F. (TYP.)

CS2 = 2" COMPOSITE METAL DECK 18GA  
+ 6" NOR. WT. CONC. ( $f_c$  = 4000 PSI)  
SLAB W/ 6x6-W2.1xW2.1 W.W.F. (TYP.)

3 SPAN CONT. (MIN.) METAL DECK

COORDINATE ALL SLAB OPENINGS WITH  
ARCHITECTURAL AND MEP DRAWINGS. SEE DETAILS  
X/S-X FOR TYPICAL SLAB OPENING DETAILS.



- NOTES:
- [ ] DESIGNATES AMOUNT OF MIDSPAN CAMBER.
  - ( ) DESIGNATES NUMBER OF 3/4" DIA. HEADED WELDED STUDS 5" LONG. (WELDED THRU DECK)
  - ALL STEEL ASTM A582, GRADE 50 (TYP. U.N.O.)
  - INDICATES MOMENT CONNECTIONS.
  - { } DESIGNATES TOP OF BEAM W.R. TO TYP. FLOOR STEEL.
  - \* DESIGNATES TAPERED BEAM. SEE PROFILE THIS SHEET.

## BEAM LEGEND



## DIRKSEN ES. ANNEX & RESTORATION

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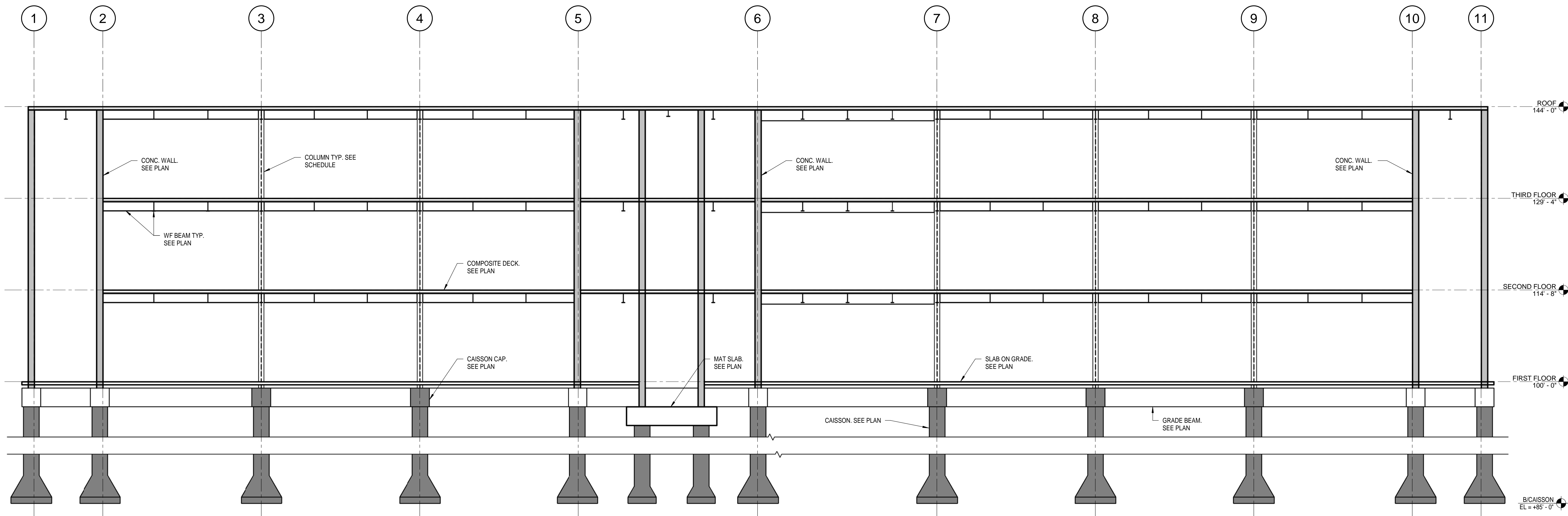
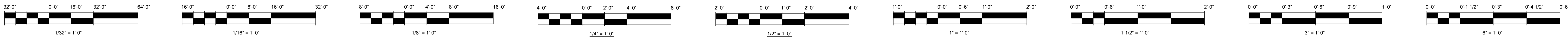
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MARK	DESCRIPTION	DATE
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PBC Project Name: DIRKSEN ES. ANNEX &  
RESTORATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

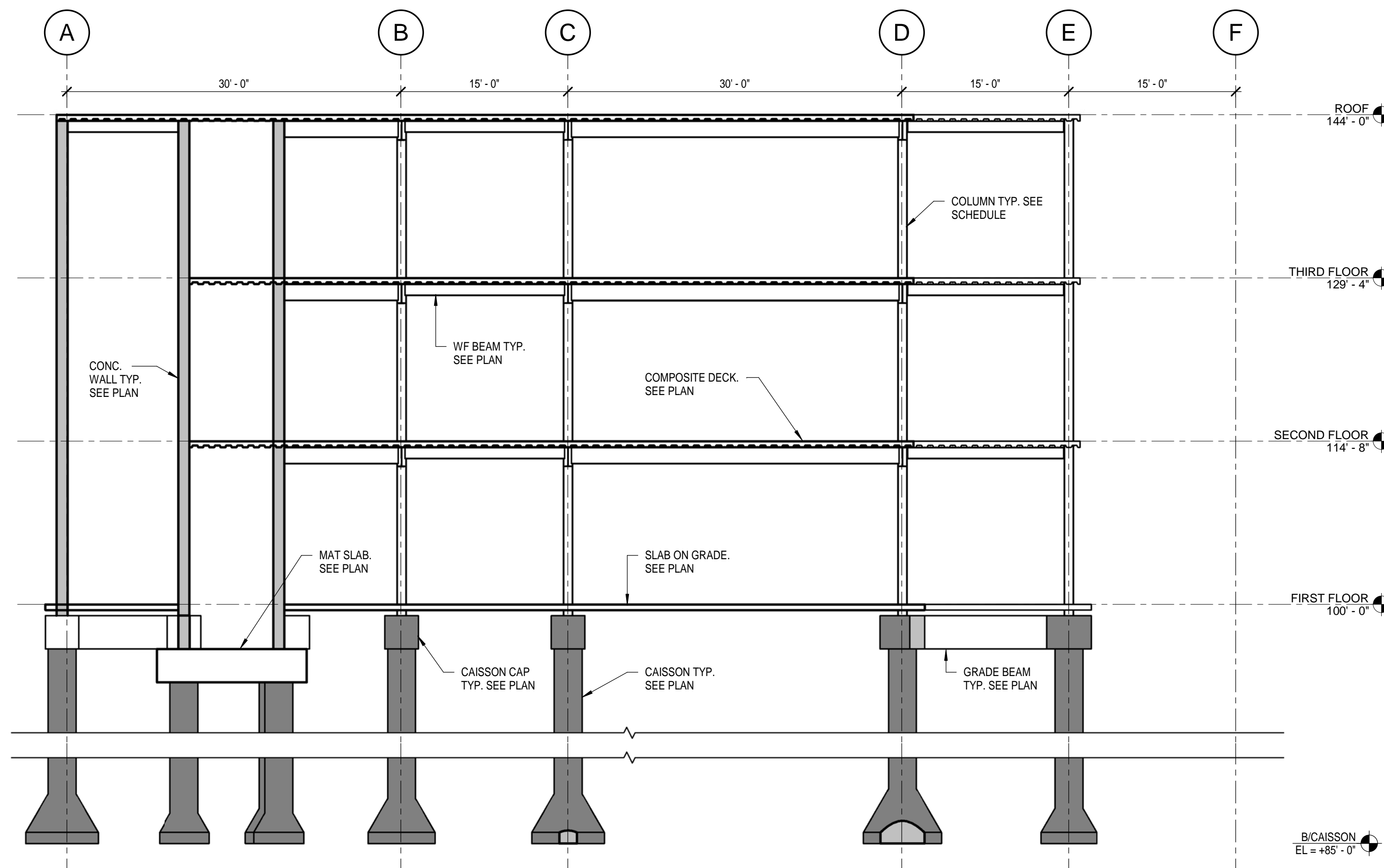
TITLE  
ROOF FRAMING PLAN

SHEET

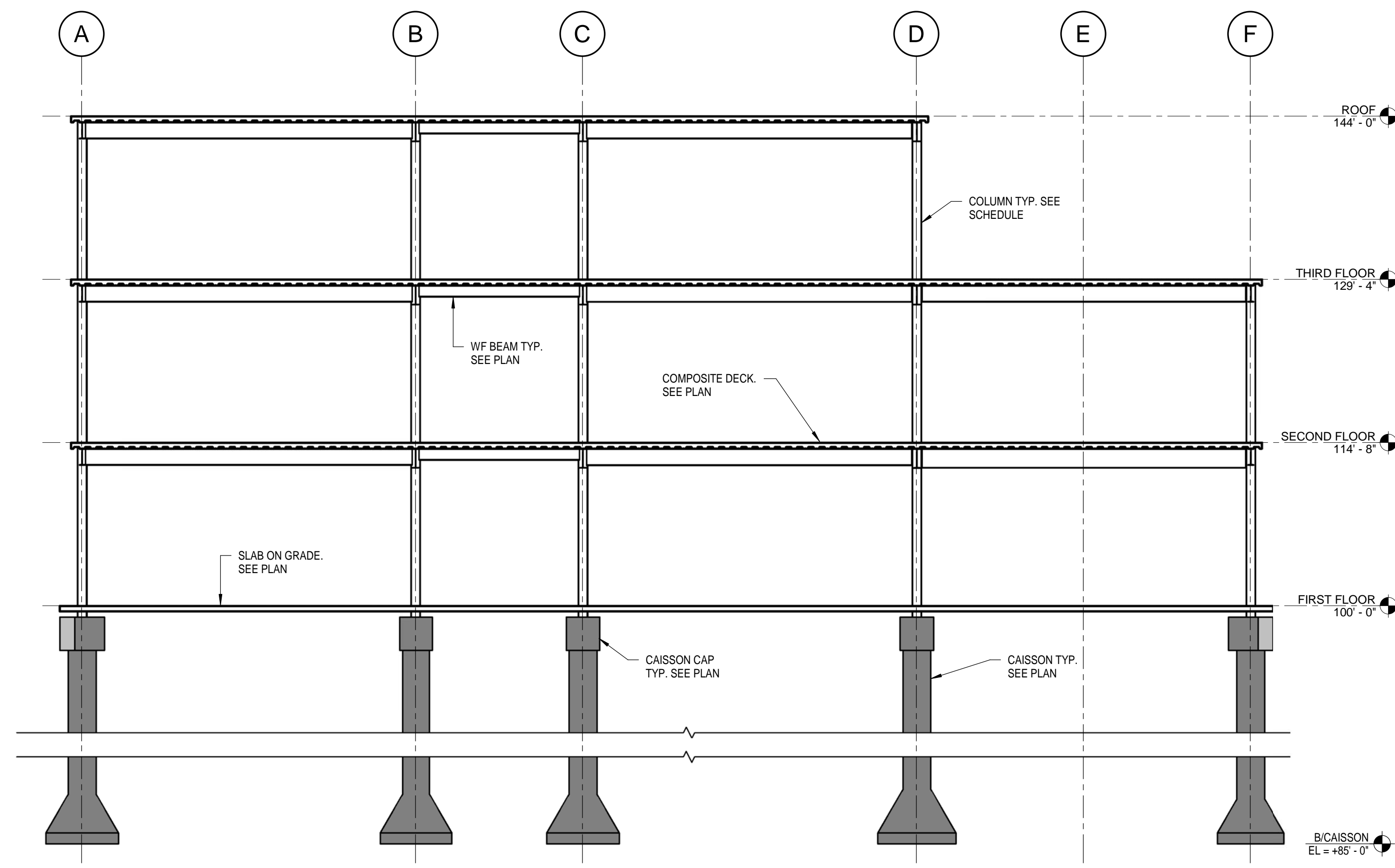
S2-5



**1 SECTION BETWEEN "A" AND "B"**  
SCALE: 1/8" = 1'-0"  
0' 16'



**2 SECTION BETWEEN "5" AND "6"**  
SCALE: 1/8" = 1'-0"  
0' 16'



**3 SECTION BETWEEN "3" AND "4"**  
SCALE: 1/8" = 1'-0"  
0' 16'



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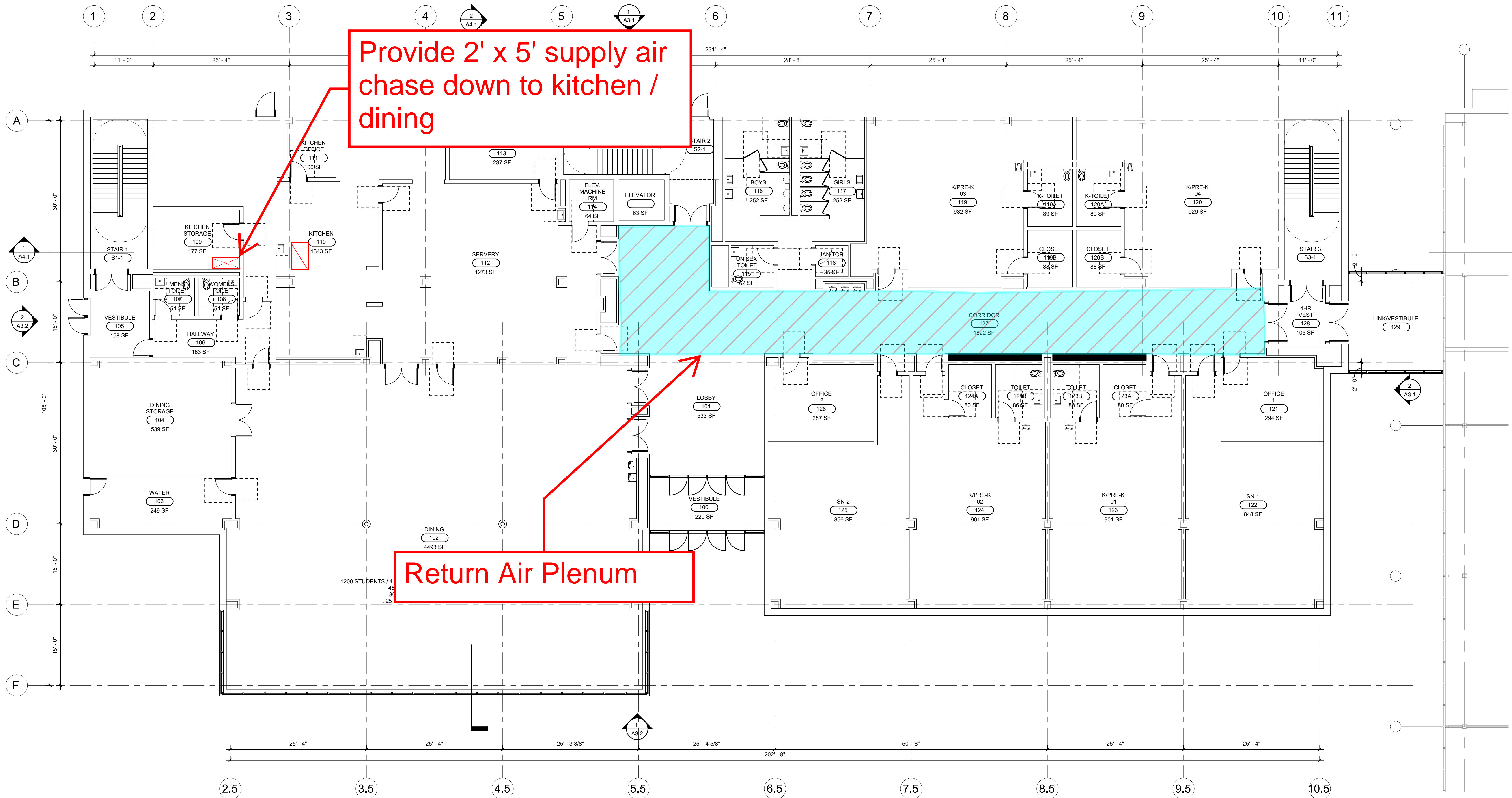
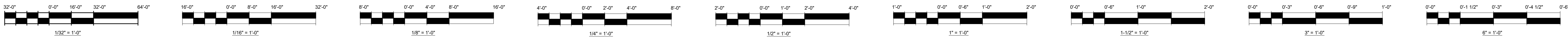
PBC Project Name: DIRKSEN ES. ANNEX &  
RESTORATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
STRUCTURAL BUILDING  
SECTIONS

SHEET

**S5-1**





1 FIRST LEVEL - ANNEX FLOOR PLAN  
1/8" = 1'-0"



# DIRKSEN ES. ANNEX & RENOVATION

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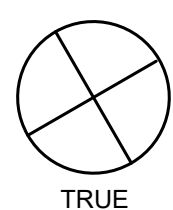
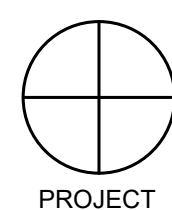
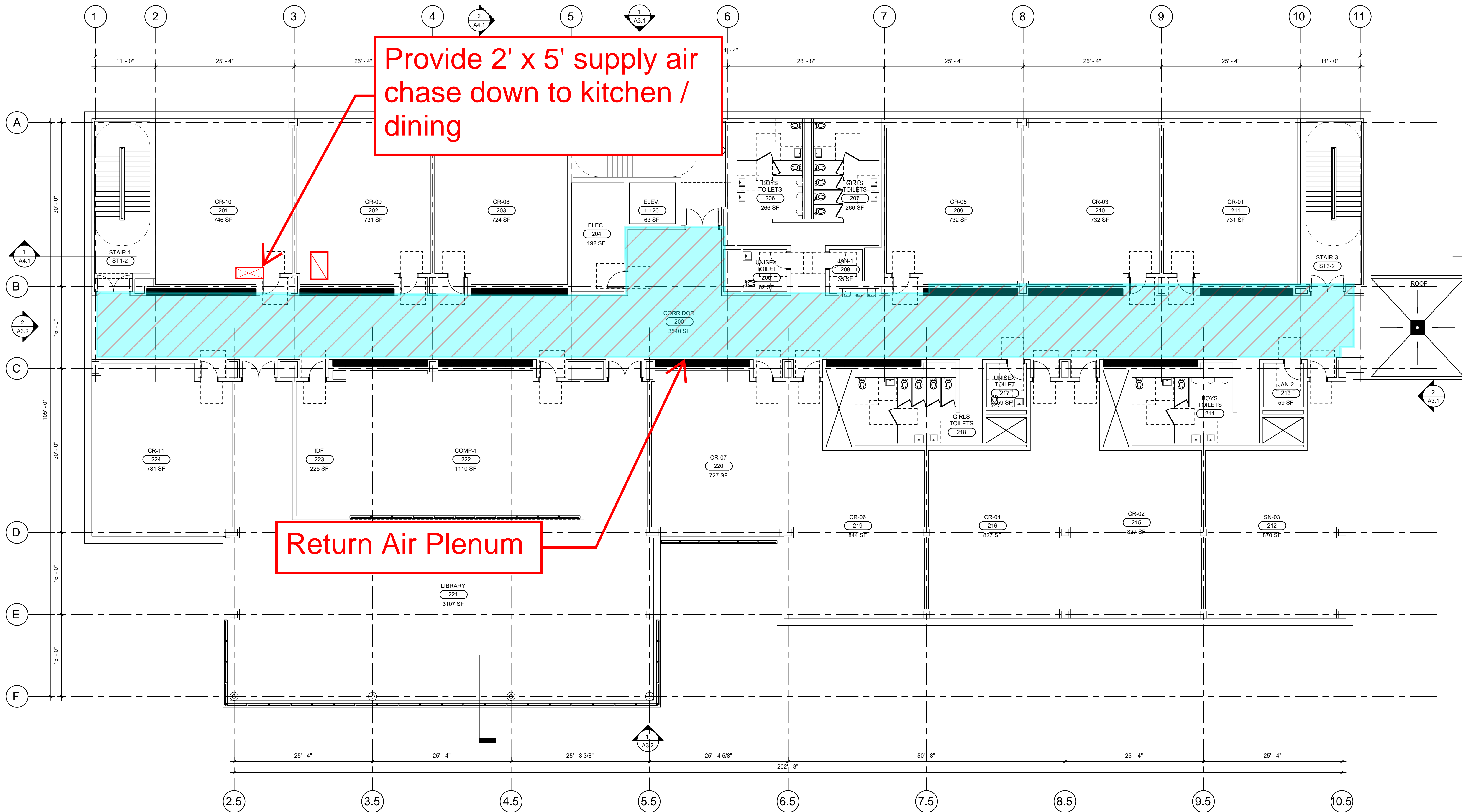
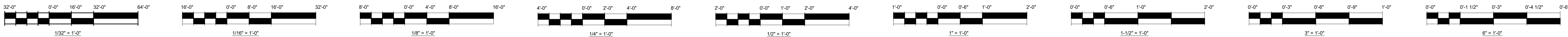
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RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
FIRST LEVEL  
MECHANICAL PLAN

SHEET  
M1.1A



1 SECOND LEVEL - ANNEX FLOOR PLAN  
1/8" = 1'-0"



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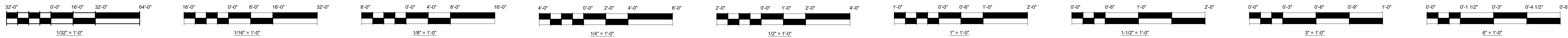
ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2013

PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: PS00000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
**SECOND LEVEL  
MECHANICAL PLAN**

SHEET  
**M1.2A**





HHW Boilers and Pumps

DHW Boilers

Chilled Water Pumps

Provide 2' x 5' supply air  
chase down to kitchen /  
dining

Provide 2' x 5' supply  
air chase up to AHU

Provide 3' x 5' return  
air chase up to AHU

Return Air Plenum

THIRD LEVEL - ANNEX FLOOR PLAN  
1/8" = 1'-0"



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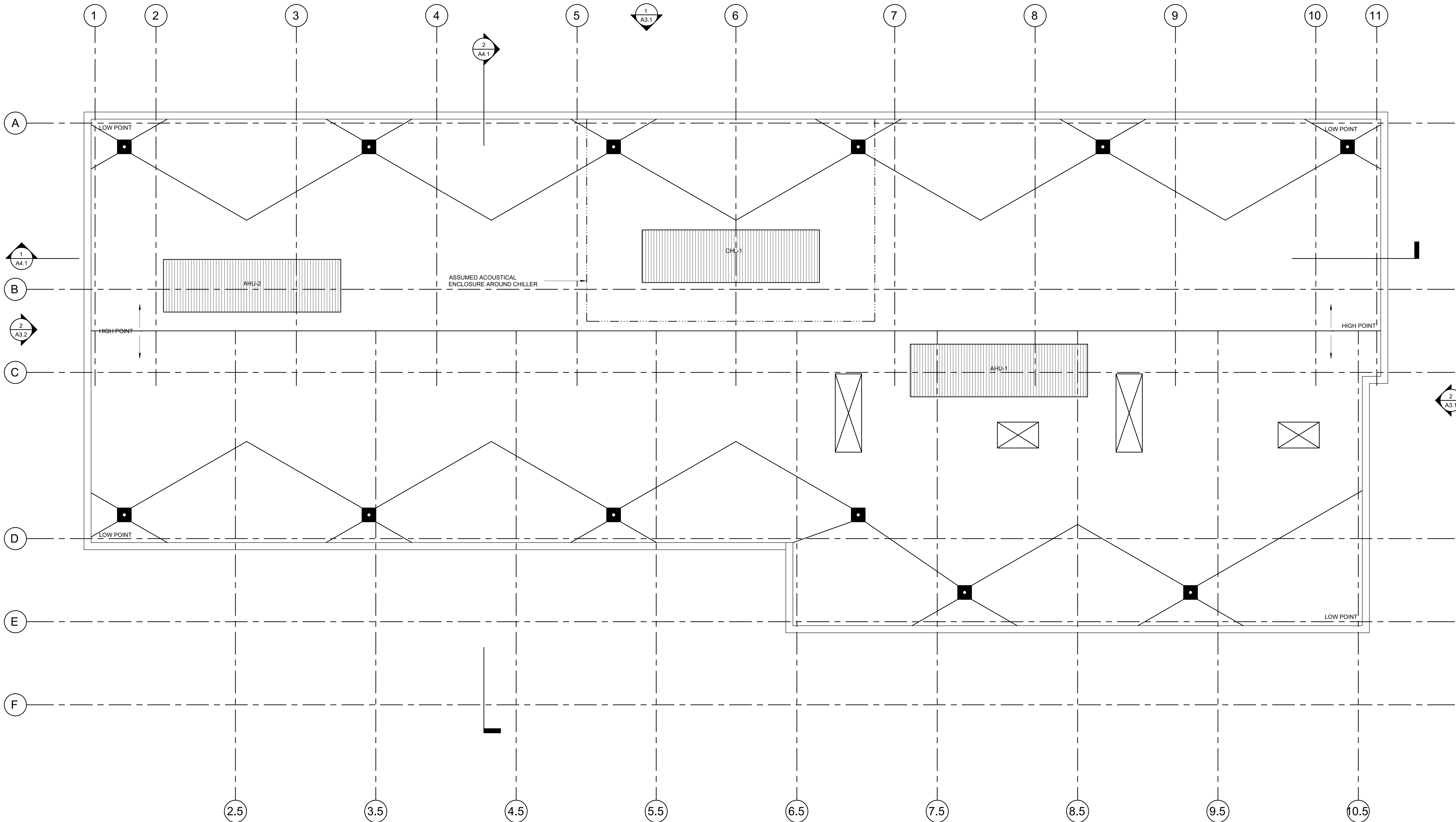
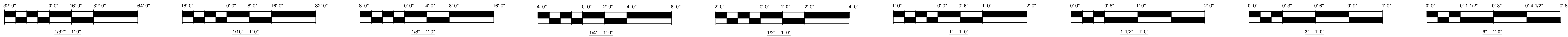
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ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2013

PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: P50000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
**THIRD LEVEL  
MECHANICAL PLAN**

SHEET  
**M1.3A**



PROJECT TRUE 1 ROOF LEVEL - ANNEX FLOOR PLAN  
1/8" = 1'-0"



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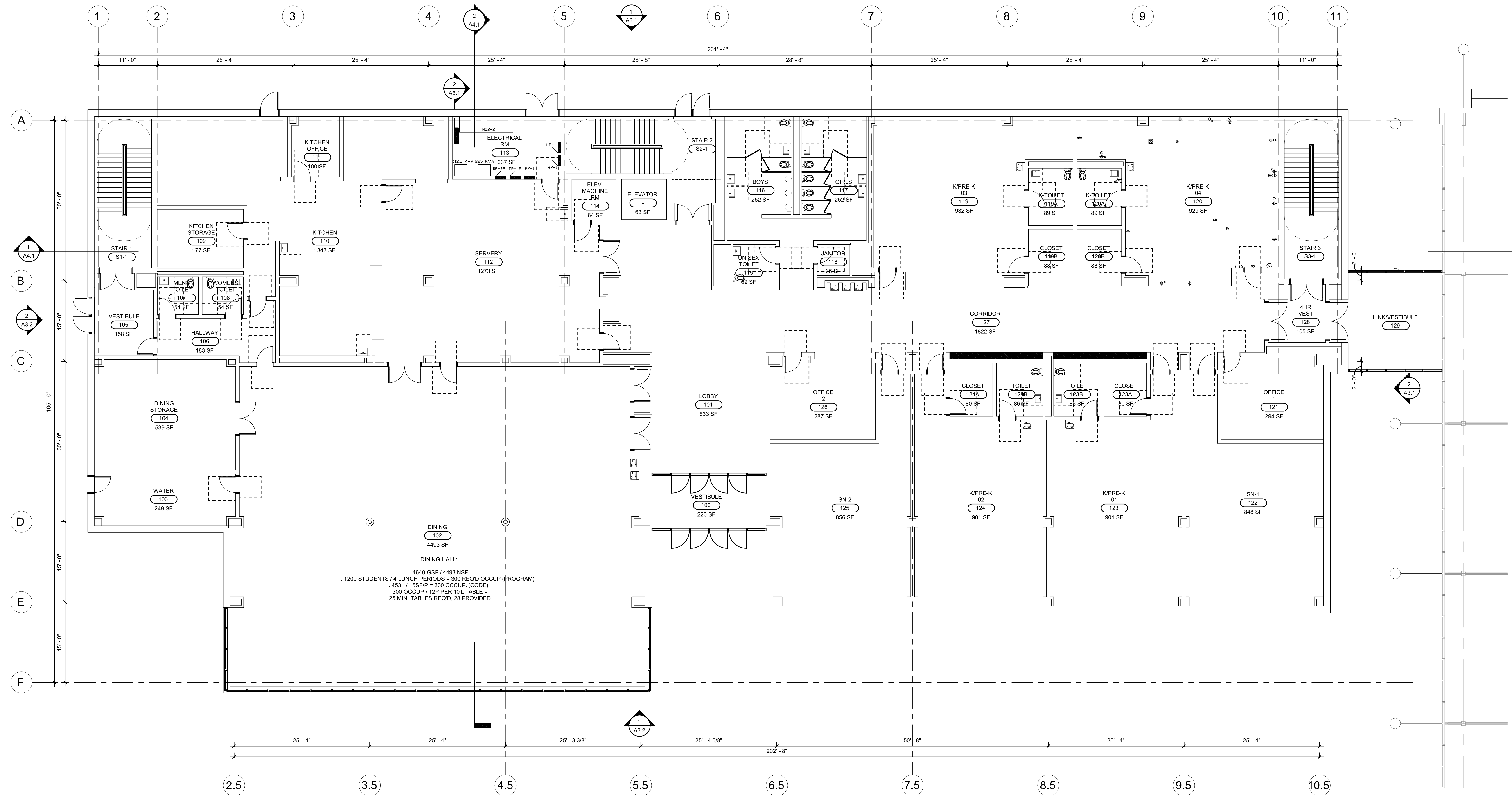
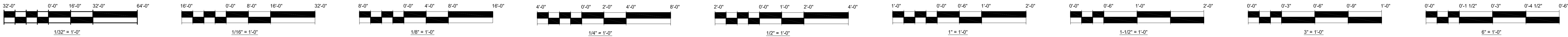
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MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2013

PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: PS00000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
ROOF LEVEL  
MECHANICAL PLAN

SHEET  
M1.4





PROJECT TRUE  
1 FIRST LEVEL - ANNEX FLOOR PLAN  
1/8" = 1'-0"



# DIRKSEN ES. ANNEX & RENOVATION

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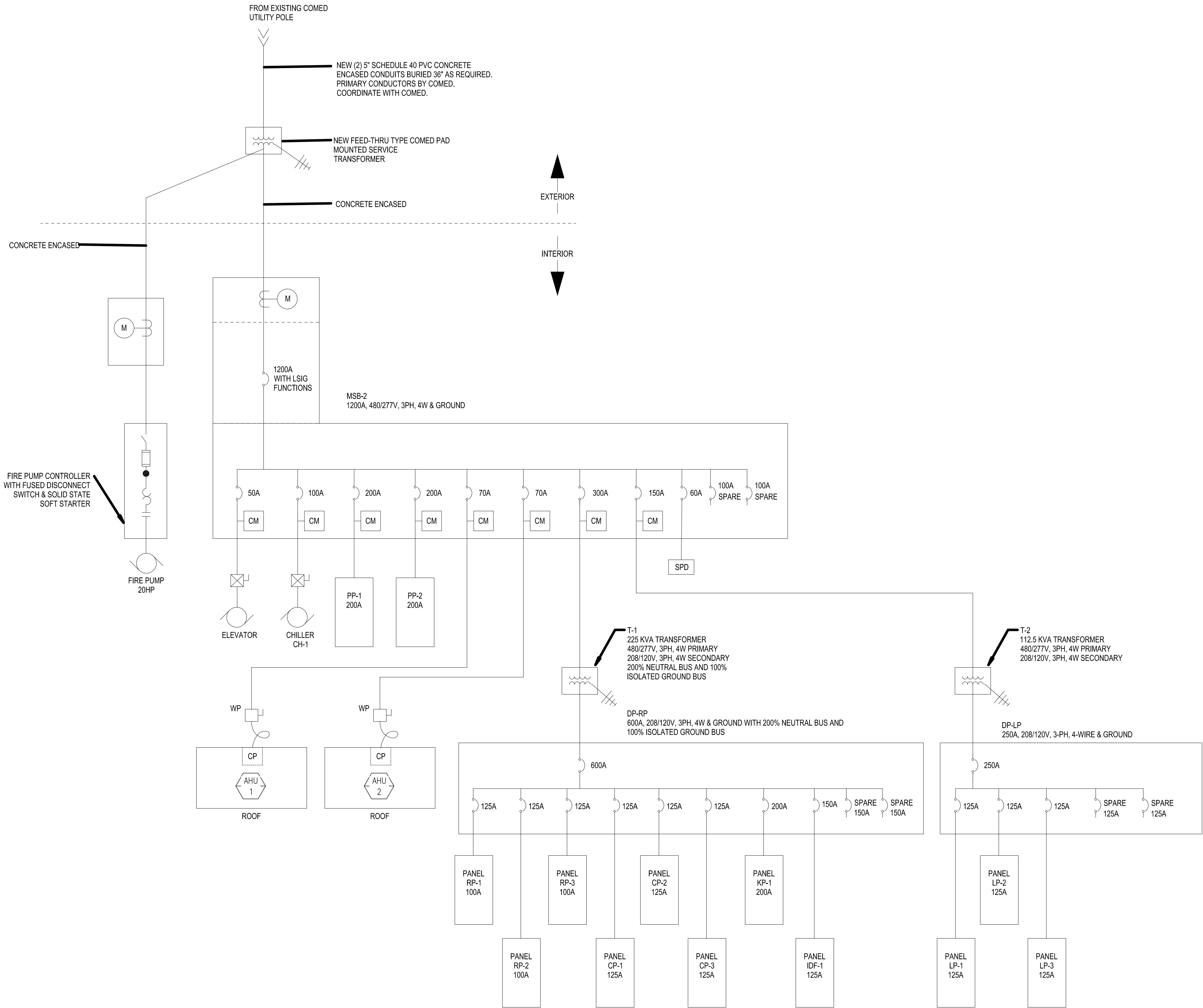
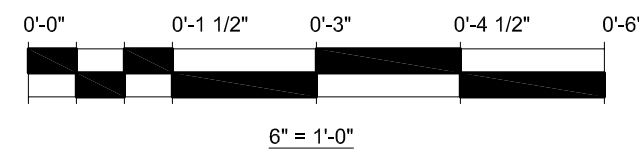
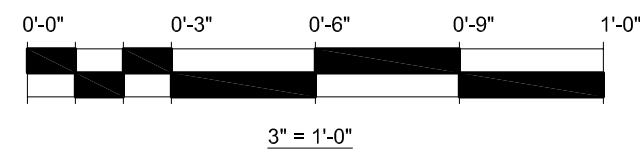
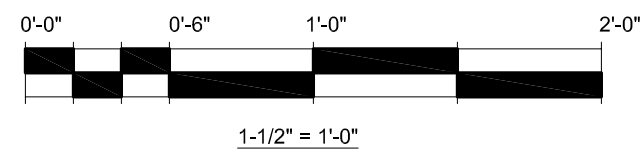
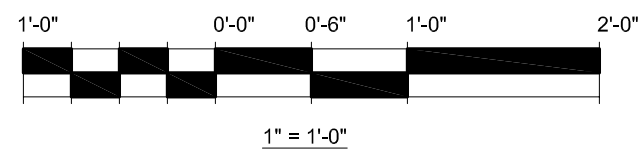
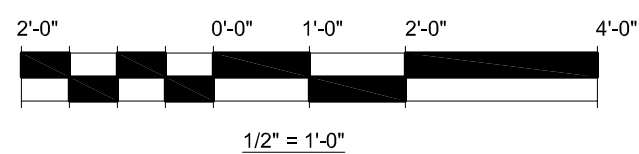
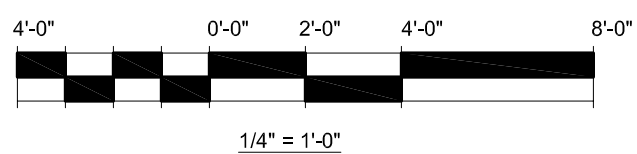
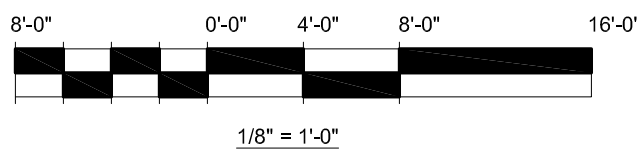
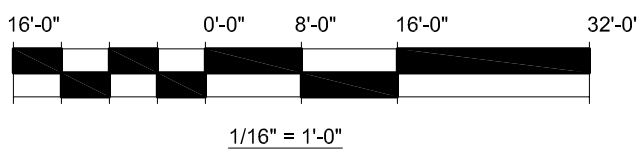
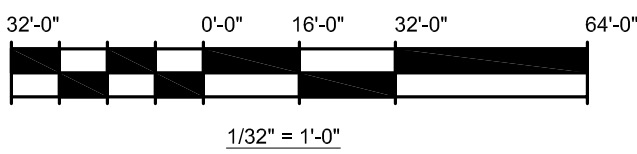
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MARK	DESCRIPTION	DATE
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PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: PS0000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
FIRST LEVEL  
ELECTRICAL PLAN

SHEET  
E1.1A



**DIRKSEN ES. ANNEX  
& RENOVATION**

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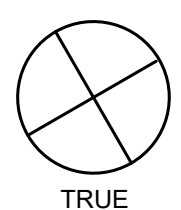
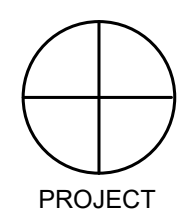
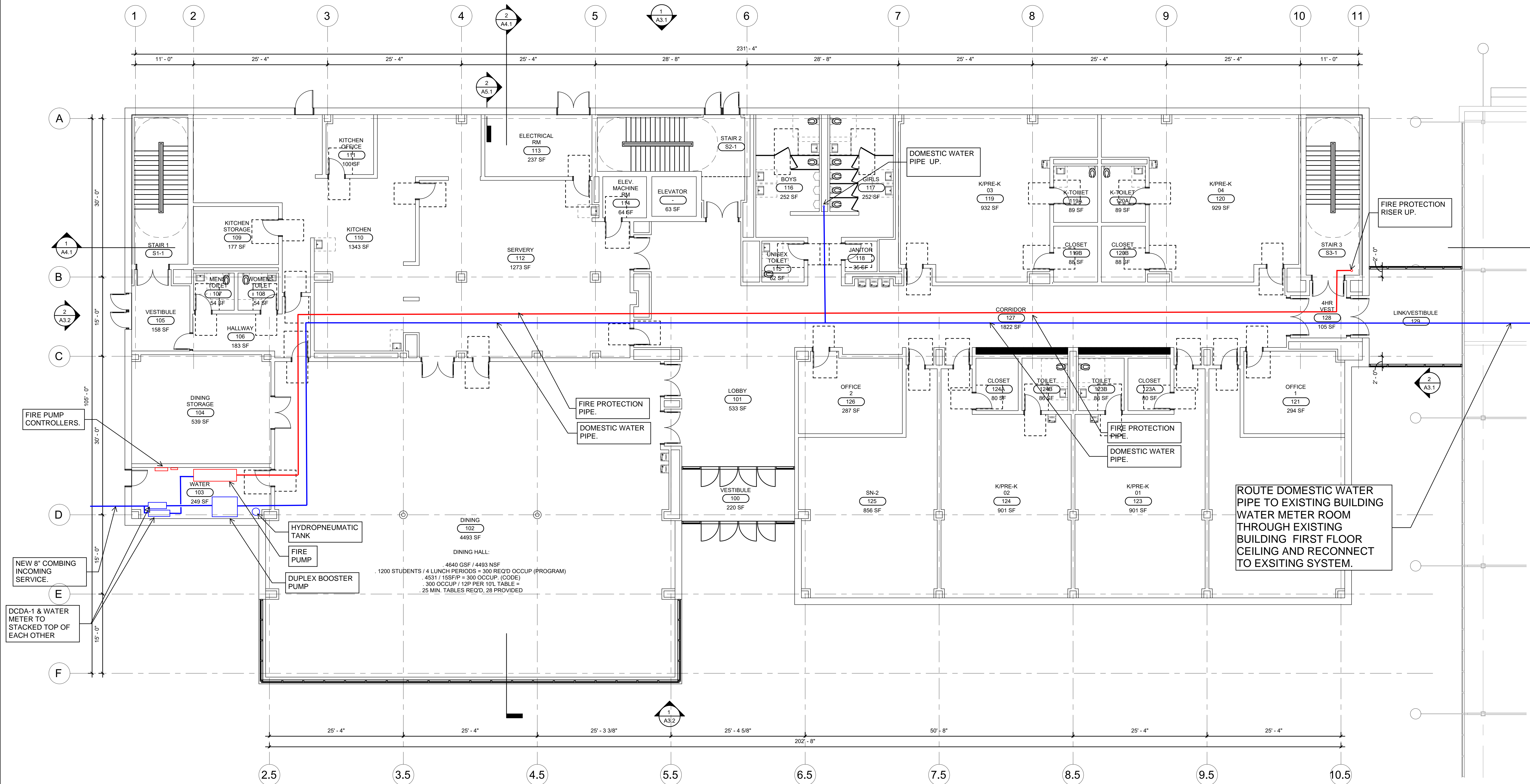
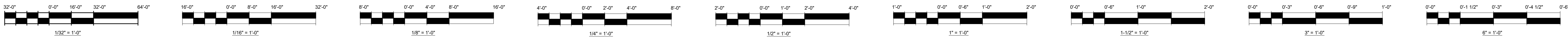
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1	50% SCHEMATIC DESIGN	11.02.2018

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PBC Project No: 0012080  
Project No: 1814

TITLE  
ELECTRICAL RISER DIAGRAM

SHEET  
**E4.0**





1 FIRST LEVEL - ANNEX FLOOR PLAN  
1/8" = 1'-0"



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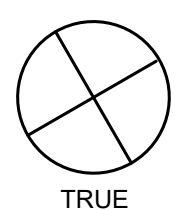
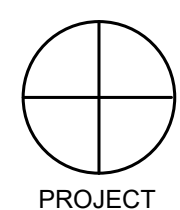
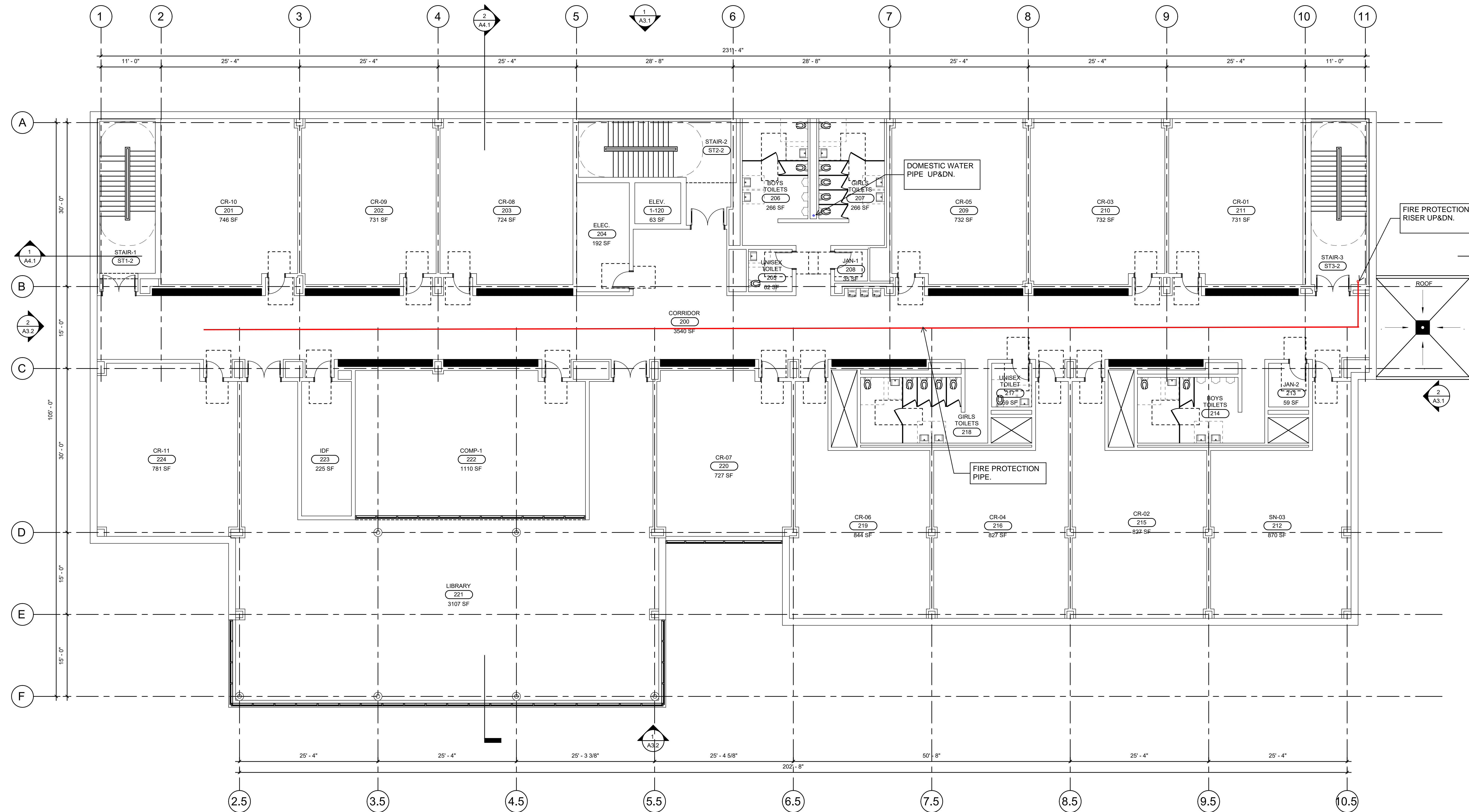
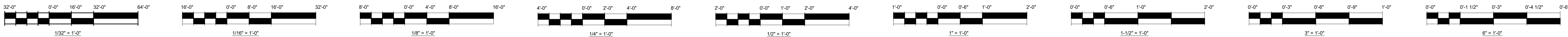
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MARK	DESCRIPTION	DATE
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PBC Contract No: P50000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
FIRST LEVEL  
PLUMBING PLAN

SHEET

P1.1A



1 SECOND LEVEL - ANNEX FLOOR PLAN  
1/8" = 1'-0"



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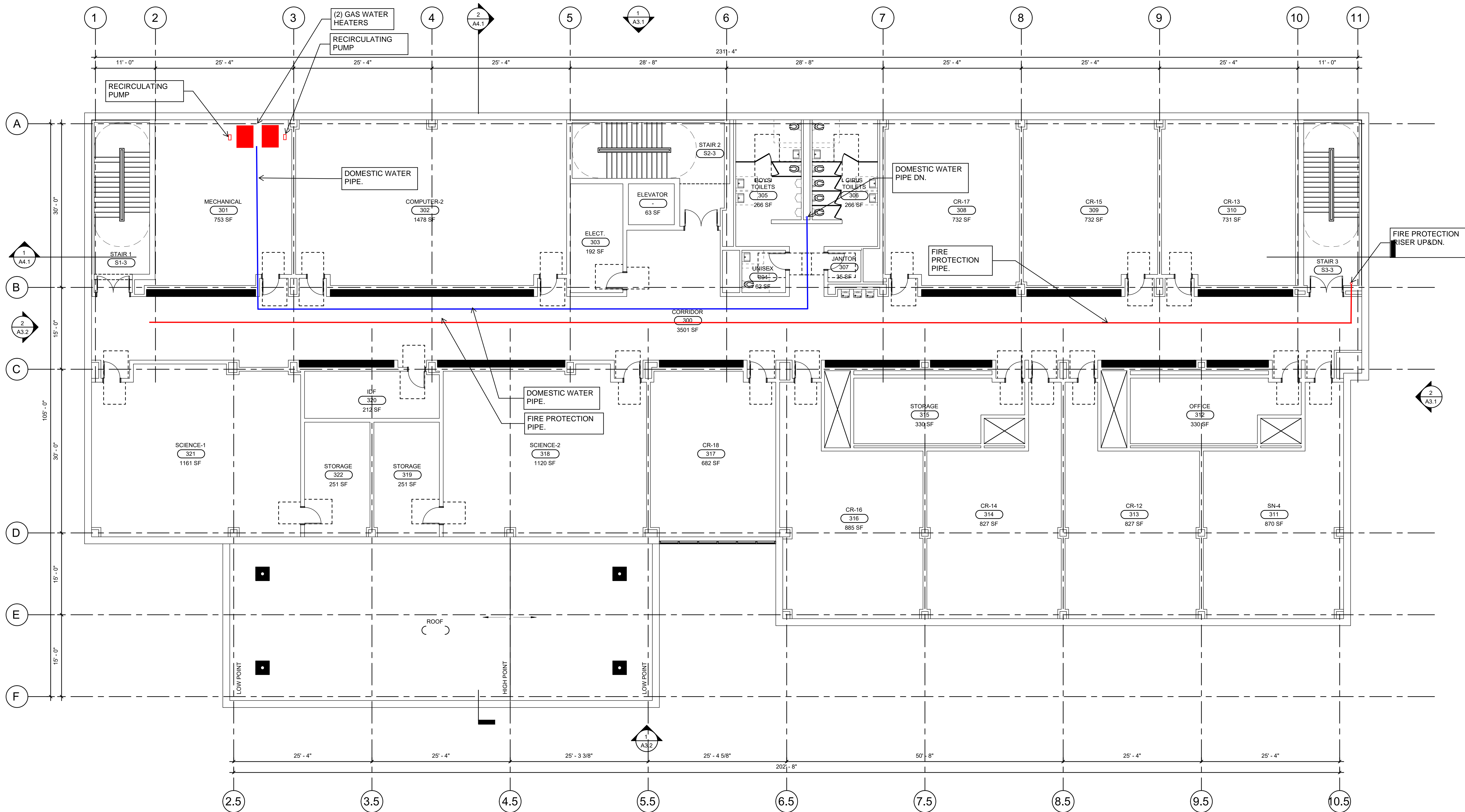
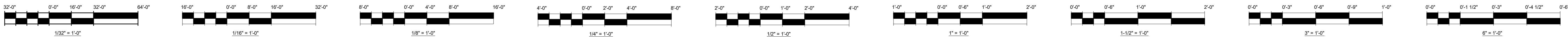
PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: P500000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
SECOND LEVEL  
PLUMBING PLAN

SHEET

P1.2A





PROJECT TRUE  
1 THIRD LEVEL - ANNEX FLOOR PLAN  
1/8" = 1'-0"



# DIRKSEN ES. ANNEX & RENOVATION

8601 W. FOSTER AVE.  
CHICAGO, IL 60656

ARCHITECT OF RECORD  
SMNG-A LTD.



ADDRESS: 943 W. SUPERIOR STREET  
PHONE: CHICAGO, ILLINOIS 60642  
FAX: 312.825.3355  
WEB: 312.825.6187  
www.smng-a.com

WARNING:  
ASBESTOS-CONTAINING BUILDING MATERIALS  
ARE OR MAY BE PRESENT IN THIS BUILDING. AN  
ASBESTOS MANAGEMENT PLAN IS AVAILABLE IN  
THE SCHOOL FOR REVIEW UPON REQUEST. NO  
PERSON MAY DISTURB ASBESTOS-CONTAINING  
MATERIALS UNLESS THAT PERSON IS A LICENSED  
ASBESTOS WORKER OR CONDUCTS SUCH WORK  
IN ACCORDANCE WITH SPECIFICATIONS(S)  
CONTAINED IN THE PROJECT DOCUMENTS AND IN  
COMPLIANCE WITH ILLINOIS DEPARTMENT OF  
HEALTH RULES AND REGULATIONS.

ISSUANCE		
MARK	DESCRIPTION	DATE
1	50% SCHEMATIC DESIGN	11.02.2013

PBC Project Name: DIRKSEN ES. ANNEX &  
RENOVATION  
PBC Contract No: P50000  
PBC Project No: 0012080  
Project No: 1814

TITLE  
THIRD LEVEL  
PLUMBING PLAN

SHEET

P1.3A